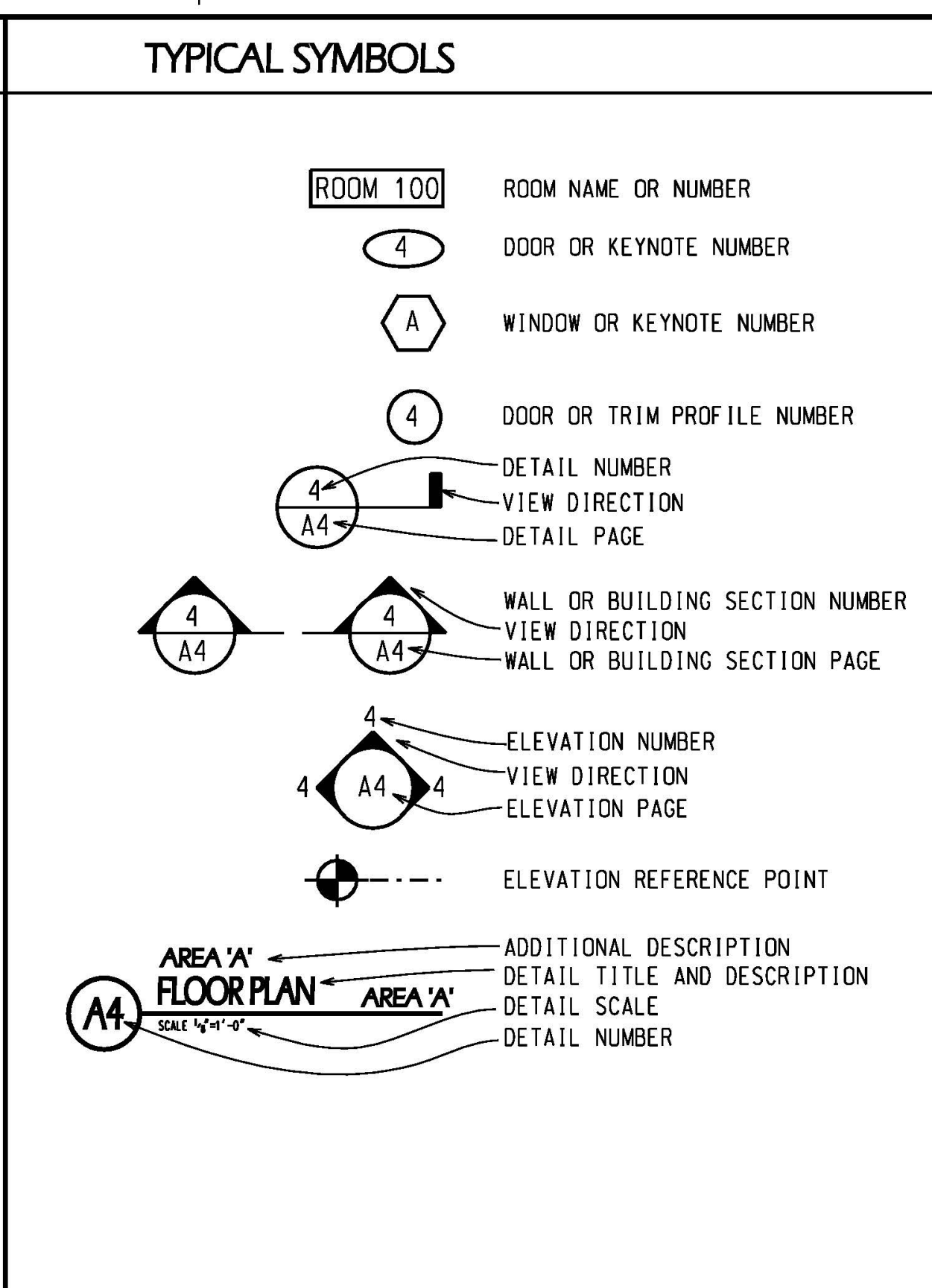


PROJECT TEAM	
OWNER BALDWIN COUNTY COMMISSION ROBERTSDALE CENTRAL ANNEX 22251 PALMER STREET ROBERTSDALE, ALABAMA 36567	MECHANICAL ENGINEERING WATFORD ENGINEERING INC 4452 CLINTON STREET MARIANNA, FLORIDA 32446 (850) 526-3447
ARCHITECT JOHN RANDALL WILSON, ARCHITECT 900 JANET DRIVE AUBURN, ALABAMA 36830 (334) 826-0103	PLUMBING ENGINEERING WATFORD ENGINEERING INC 4452 CLINTON STREET MARIANNA, FLORIDA 32446 (850) 526-3447
LANDSCAPE ARCHITECT	FIRE PROTECTION ENGINEERING WATFORD ENGINEERING INC 4452 CLINTON STREET MARIANNA, FLORIDA 32446 (850) 526-3447
CIVIL ENGINEERING	ELECTRICAL ENGINEERING WATFORD ENGINEERING INC 311 NORTH COLLEGE STREET AUBURN, ALABAMA 36830 (334) 209-0212
STRUCTURAL ENGINEER AUBURN STRUCTURAL DESIGN, INC 2008 JANABROOKE LANE AUBURN, ALABAMA (334) 826-8040	CODE AUTHORITY BUILDING DEPARTMENT ROBERTSDALE CENTRAL ANNEX 22251 PALMER STREET ROBERTSDALE, ALABAMA 36567

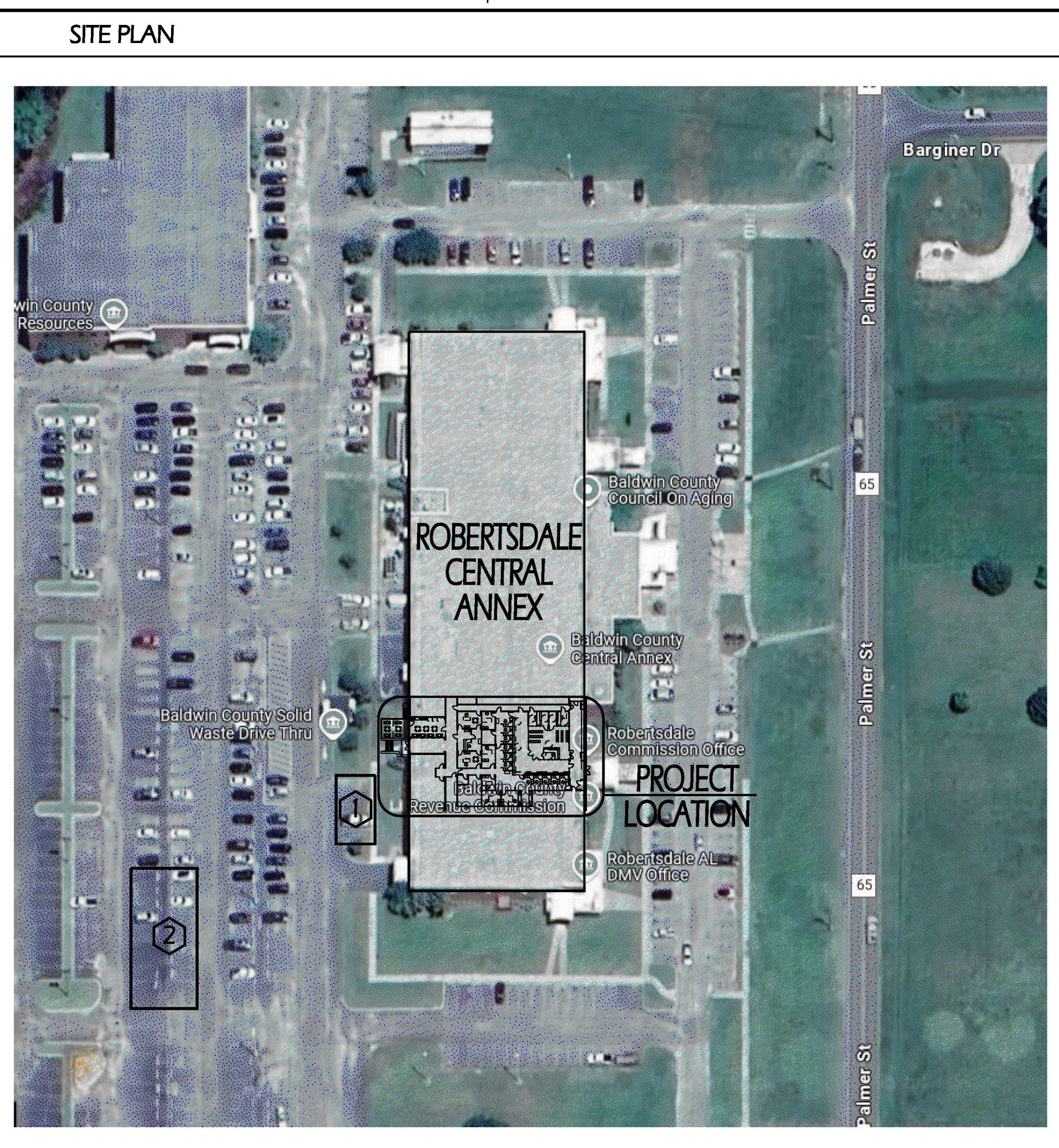
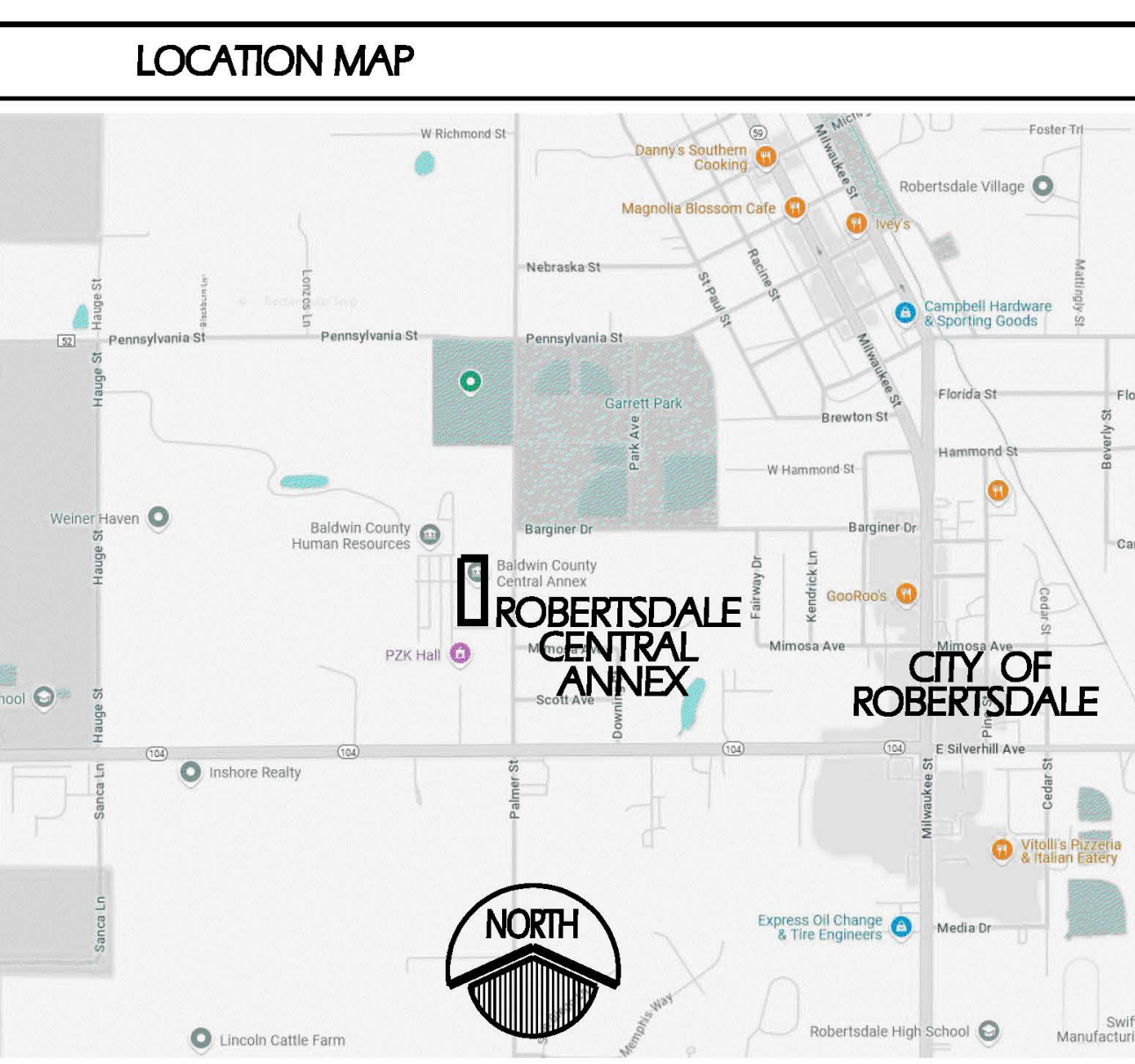


CODE REQUIREMENTS

Codes for Minimum Compliance

- 2015 INTERNATIONAL BUILDING CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2021 INTERNATIONAL MECHANICAL CODE
- 2021 INTERNATIONAL PLUMBING CODE
- 2021 NATIONAL ELECTRIC CODE
- 2021 INTERNATIONAL FIRE CODE
- 2009 INTERNATIONAL ENERGY CONSERVATION CODE
- 2010 ADA/ABA ACCESSIBILITY GUIDELINES FOR BUILDINGS AND FACILITIES

REFERENCE SHEET G1.0 FOR CODE ANALYSIS



1 CONTRACTOR SECURED 20' x 40' PRIMARY STAGING AREA

2 CONTRACTOR SECURED 40' x 80' SECONDARY STAGING AREA

NOTE: ALL EXTERIOR STORAGE OF MATERIALS SHALL BE ENCLOSED W/ 6' FENCING

C5 PARTIAL SITE PLAN

ROBERTSDALE CENTRAL ANNEX
22251 PALMER STREET
ROBERTSDALE, ALABAMA 36567

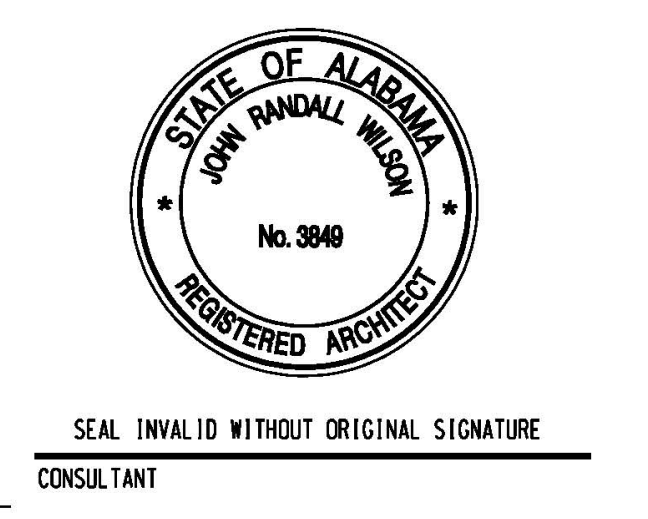
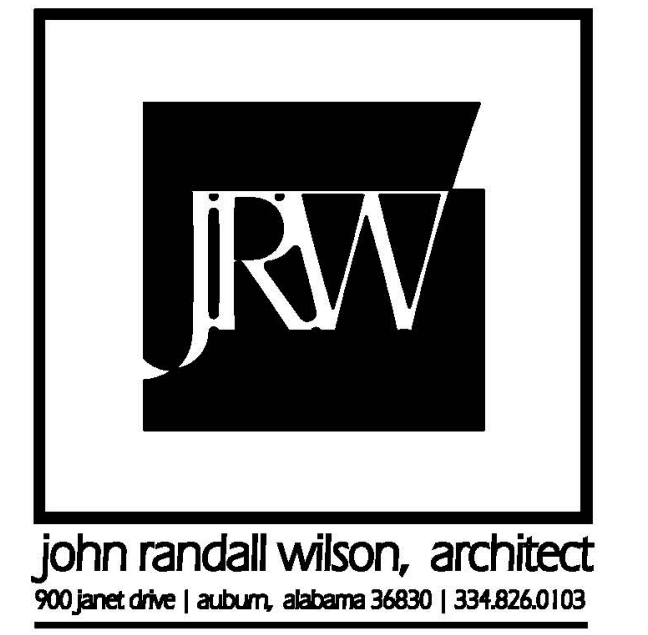
Baldwin County Probate & Revenue Offices Renovations

ROBERTSDALE ALABAMA



SHEET INDEX

SHEET #	TITLE / DESCRIPTION	OWNER REVIEW 11-12-24	OWNER CHECK SET 12-6-24
COVER			
CSH1	COVER SHEET	●	●
ARCHITECTURAL			
G1.0	LIFE SAFETY & CODE ANALYSIS	●	●
A1.0	FLOOR PLAN	●	●
A1.1	ENLARGED PARTIAL FLOOR PLAN	●	●
A1.2	ENLARGED PARTIAL FLOOR PLAN	●	●
A1.3	REFLECTED CEILING PLAN	●	●
A2.0	DOOR & FINISH SCHEDULES AND DETAILS	●	●
A2.1	WINDOW SCHEDULES AND DETAILS	●	●
A3.0	BUILDING SECTION / ELEVATION	●	●
A3.1	BUILDING SECTION / ELEVATION	●	●
A4.0	CABINERY ELEVATIONS AND DETAILS	●	●
A4.1	CABINERY ELEVATIONS AND DETAILS	●	●
A4.2	CABINERY ELEVATIONS AND DETAILS	●	●
A4.3	CABINERY ELEVATIONS AND DETAILS	●	●
A4.4	CABINERY ELEVATIONS AND DETAILS	●	●
A5.0	INTERIOR DETAILS	●	●
A5.1	INTERIOR DETAILS	●	●
FIRE PROTECTION			
FP0.1	FIRE PROTECTION LEGENDS, NOTES AND DETAILS	●	●
FP2.0	FIRE PROTECTION FLOOR PLAN	●	●
PLUMBING			
P2.1	PLUMBING NEW WORK PLANS	●	●
MECHANICAL			
M0.1	HVAC LEGENDS AND NOTES	●	●
M2.1	HVAC NEW WORK PLANS	●	●
M2.2	ENLARGED HVAC NEW WORK PLANS AND DETAILS	●	●
ELECTRICAL			
ED.1	ELECTRICAL GENERAL NOTES, LEGENDS AND DETAILS	●	●
E1.0	ELECTRICAL POWER PLAN	●	●
E2.0	ELECTRICAL LIGHTING PLAN	●	●
E3.0	FIRE ALARM PLAN	●	●
ED1.0	ELECTRICAL DEMOLITION PLAN	●	●



SEAL INVALID WITHOUT ORIGINAL SIGNATURE
CONSULTANT

JOB NAME

**BALDWIN COUNTY
Probate & Revenue
Renovations**

Robertsdale Central Annex
Robertsdale, Alabama

MARK	DATE	DESCRIPTION
PROJECT NUMBER	2023112	
PROJECT MANAGER		
PROJECT ARCHITECT		
DESIGN		
CIVIL		
STRUCTURAL		
MECHANICAL		
ELECTRICAL		
INTERIORS		
DRAWN BY		
ISSUE		

TITLE

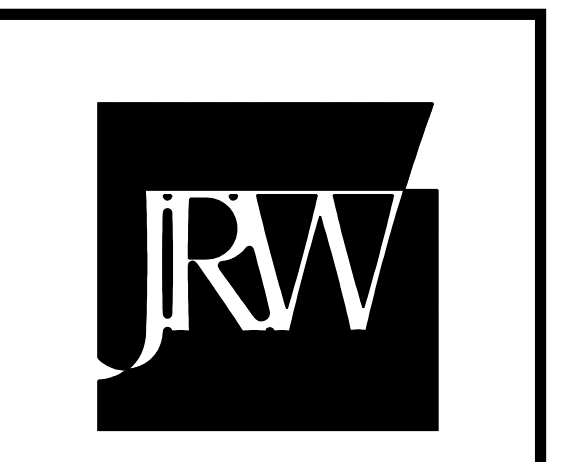
COVER SHEET

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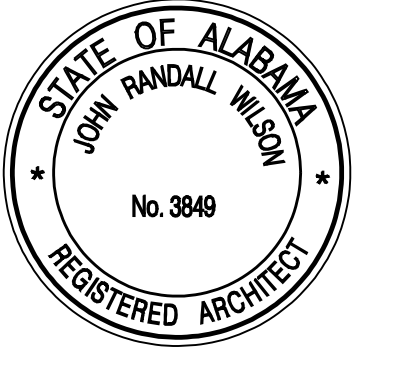
SCALE

SHEET NO.

CSH1.0



john randall wilson, architect
900 jones drive | auburn, alabama 36830 | 334.826.0103



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TITLE

FLOOR PLAN

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SCALE: 1/8"=1'-0"
SHEET NO.

A1.0

FILENAME: 2023112

MATERIALS & SYMBOLS LEGEND

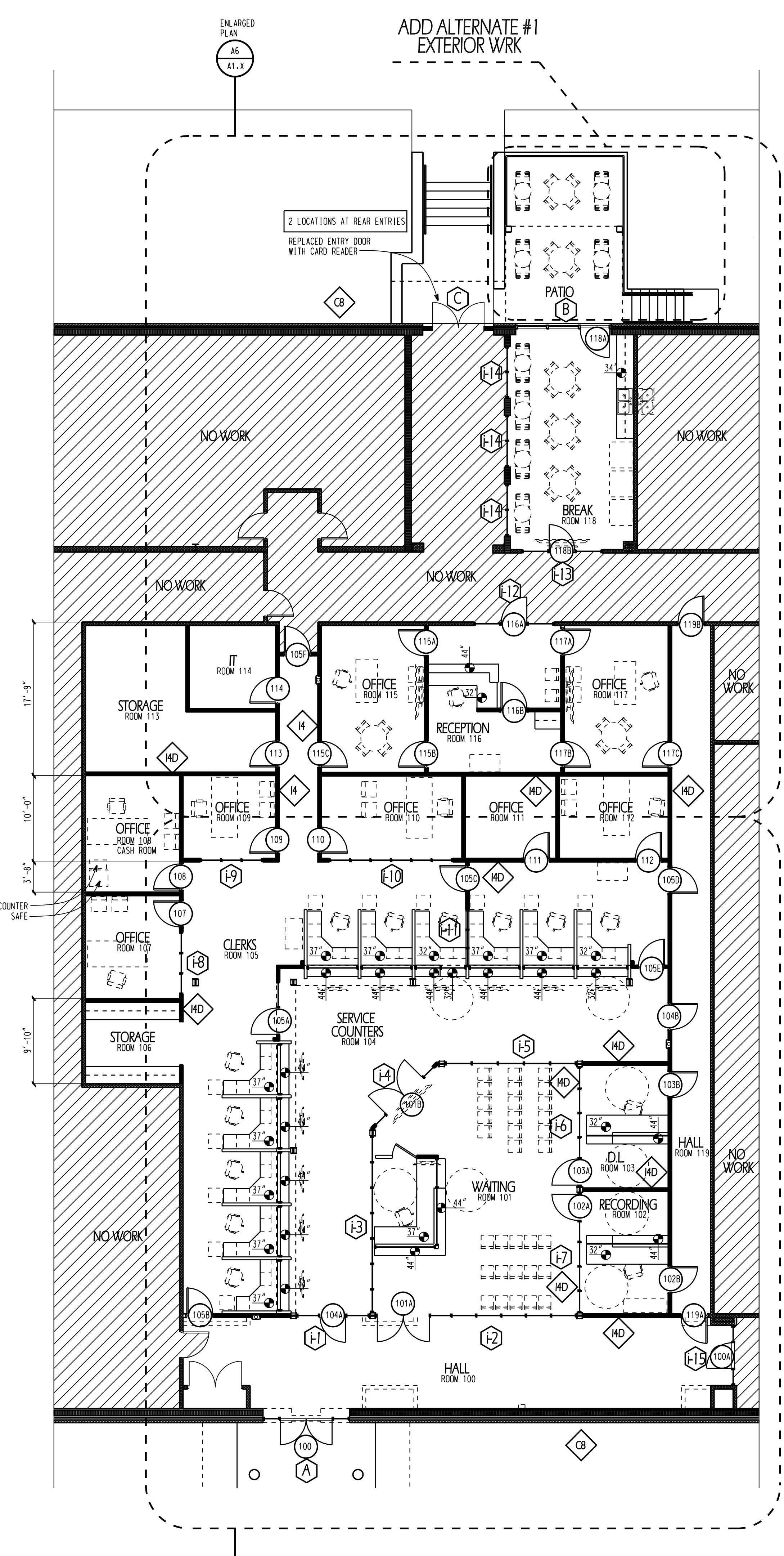
- NEW GYPSUM AND METAL STUD WALL HATCH
- EXISTING WALL TO REMAIN HATCH
- EXISTING 4" BRICK VENEER GRAPHIC WALL HATCH
- EXISTING 8" GRAPHIC WALL HATCH
- 8" CMU WALL (INTERIOR OR EXTERIOR)
- 4" INTERIOR METAL STUD WALL 16" O.C.
140 = WALL TO UNDERSIDE ROOF DECK
- 6" INTERIOR METAL STUD WALL 16" O.C.
160 = WALL TO UNDERSIDE ROOF DECK
- ALUMINUM STOREFRONT WINDOW WALL
- DOOR SCHEDULE MARK - SEE DOOR SCHEDULE SHEET A2.0
- EXTERIOR WINDOW SCHEDULE MARK - SEE WINDOW SCHEDULE SHEET A2.1
- INTERIOR WINDOW SCHEDULE MARK - SEE WINDOW SCHEDULE SHEET A2.1
- SEMI-RECESSED FIRE EXTINGUISHER CABINET - SEE SPECIFICATIONS

TYPICAL WALL NOTES

1. ALL UNMARKED WALLS SHALL BE 4" METAL STUD WALLS MINIMUM
2. ALL WALLS TO RECEIVE FULL DEPTH AND HEIGHT BATT INSULATION

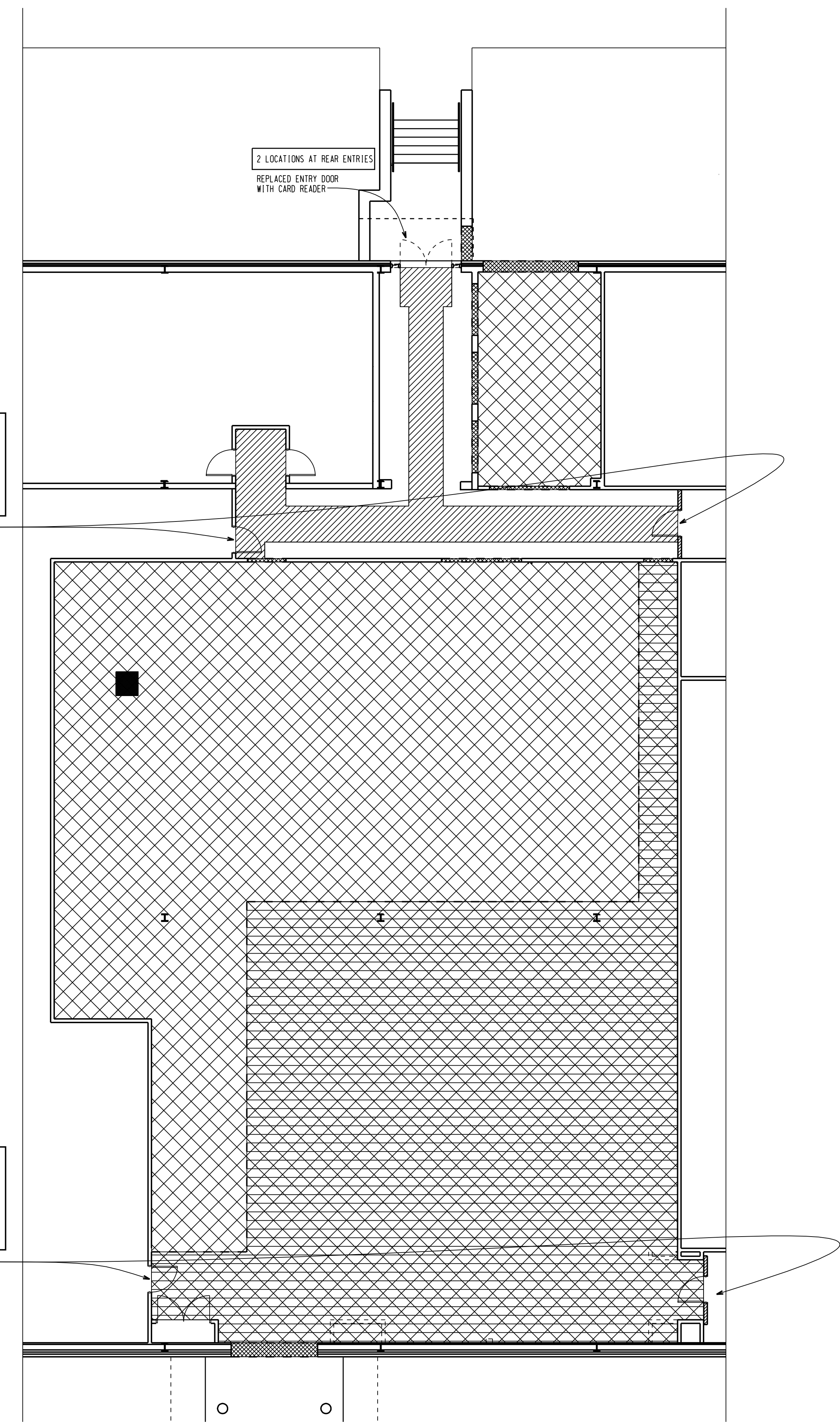
DEMOLITION KEY / LEGEND

- LIMITS OF INTERIOR CONSTRUCTION
REMOVE AND DISCARD OFFSITE ALL INFILL CONSTRUCTION INCLUDING, BUT NOT LIMITED TO:
WALLS, CEILING, FINISHES, MECHANICAL, PLUMBING, ELECTRICAL, CONDUIT, WIRING, FIXTURES.
SEE ALSO MEP PAGES FOR MORE INFORMATION
- REMOVE EXISTING WALL FOR NEW OPENING
SEE PLAN FOR DETAILS
- REFINISH EXISTING MAPLE FLOORING
SEE ALSO ALLOWANCES
- REQUIRED - OCCUPANTS 48" TOILET ACCESS & EMERGENCY EXIT PATH
CLEAR AND UNOBSTRUCTED PATH SHALL BE MAINTAINED
LIGHTING AND EXIT SIGNS SHALL BE MAINTAINED
MATERIALS DELIVERIES SHALL BE COORDINATED WITH OWNER
- REQUIRED - TEMPORARY SEPERATION WALLS
FLOOR TO CEILING
PROVIDE STUD WALL WITH PLYWOOD SHEATHING ONE SIDE MINIMUM
PROVIDE 3' 0" x 6' 0" DOOR WITH LEVER HANDLE, LOCKING HARDWARE
WALL AND DOOR SHALL PROVIDE SEALED CONSTRUCTION AREA
DOOR WILL REMAIN UNLOCKED DURING BUSINESS HOURS
- EXISTING STRUCTURAL COLUMN - DO NOT DISTURB
- OWNER'S EXISTING SAFE SHALL REMAIN IN SPACE AND BE PROTECTED DURING CONSTRUCTION. TARPULIN COVERED.
GC SHALL FIELD LOCATE AND OR MOVE SAFE AS NEEDED TO PERFORM CONTRACT WORK. FINAL LOCATION AS DIRECTED BY OWNER.



A5 FLOOR PLAN
SCALE: 1/8"=1'-0"
ENLARGED PLAN

- NOTES
1. SEE SHEET A1.1 & A1.2 FOR MORE DIMENSIONS AND OTHER NOTES.
 2. DASHED FURNISHINGS AND EQUIPMENT AND WALL MOUNTED TV MONITORS ARE BY OWNER



A2 DEMOLITION FLOOR PLAN
SCALE: 1/8"=1'-0"
ENLARGED PLAN

- NOTES
1. ALL DEMOLITION WORK SHALL BE COORDINATED WITH OWNER.
 2. ALL MAJOR DELIVERIES OF MATERIALS SHALL BE COORDINATED WITH OWNER.
 3. OWNER OCCUPIED BUILDING SHALL HAVE PRECEDENT IN ALL AREAS OF CONFLICT.
 4. ALL DIRT, DEBRIS, DUST AND CONSTRUCTION SHALL BE MAINTAINED WITHIN AREAS OF WORK.
 5. EMERGENCY EXITING AND TOILET ACCESS PATHWAYS SHALL BE MAINTAINED AT ALL TIMES.

**CONSTRUCTION ZONE
EMERGENCY ACCESS ONLY**
PROVIDE SIGN ON TENANT SIDE OF DOOR

**CONSTRUCTION ZONE
EMERGENCY ACCESS ONLY**
PROVIDE SIGN ON TENANT SIDE OF DOOR