



## Baldwin County Planning & Zoning Commission Agenda

Thursday, September 2, 2021

4:00 p.m.

Baldwin County Central Annex

Main Auditorium

22251 Palmer Street

Robertsdale, Alabama

[www.planning.baldwincountyal.gov](http://www.planning.baldwincountyal.gov)

1. **Call to order.**
2. **Invocation and prayer.**
3. **Pledge of Allegiance.**
4. **Roll call.**
5. **Approval of meeting minutes:**  

August 5, 2021 meeting minutes
6. **Announcements/Registration to address the Commission.**
7. **Consideration of Applications and Requests: Subdivision Cases**
  - a.) **Case S-21050, Southern Bell RV Park, Final Site Plan Approval**  

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Final Site Plan Approval to allow development of a 69-site RV Park on +/-9.2 acres.

Location: The subject property is located on the on the northwest corner of the intersection of US Hwy 98 and County Road 9.

**b.) Case S-21080 – Plantation RV Park Phase II, Final Site Plan Approval**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Final Site Plan Approval to allow development of a 54-site RV Park (Phase II) on 13.02 acres.

Location: The subject property is located on the west side of County Road 65 approximately 1.2 miles north County Road 12.

**c.) Case S-21082, Castiblanco Subdivision Development Permit Approval**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Development Permit Approval to allow development of a 2-lot subdivision on 0.81 acres.

Location: The subject property is located on the east side of County Road 9, approximately 850 feet south of County Road 28 in the Marlow Community, near Summerdale.

**d.) Case S-21085, Dyas Family Subdivision Variance Approval**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting a variance from section 4.2(a) of the *Baldwin County Subdivision Regulations* which pertains to the 30' width of ingress/egress.

Location: The subject property is located on the west side of Scenic Highway 98 several hundred feet south of Old Battles Rd.

**e.) Case S-21087, Two Lakes RV Park Subdivision Variance Approval**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b), Planning Commission By-Laws

Purpose: The applicant is requesting a variance from Article 5, section 5.1.1 of the *Baldwin County Subdivision Regulations* which pertains minimum lot size.

Location: The subject property is located on the west side of Roscoe Road, north of Burkowski Lane.

**f.) Case S-21089, Two Lakes RV Park Subdivision, Development Permit Approval**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b), Planning Commission By-Laws

Purpose: The applicant is requesting a Development Permit Approval for a 45-lot subdivision on 11.64 acres.

Location: The subject property is located on the west side of Roscoe Road, north of Burkowski Lane

**8. Consideration of Applications and Requests: Re-Zoning Cases**

**a.) Case P-21008, O & F Development Property**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b), Planning Commission By-Laws

Purpose: The applicant is requesting conditional use approval to allow a 500 sq. ft. drive-thru coffee shop on a parcel zoned B-3.

Location: 10185 Co Rd 64, in Planning District 15.

**b.) Case TA-21002, Amendments to the Baldwin County Zoning Ordinance, Article 3,4,5,6,7,8,10,12,13,19,21,22 and 23, Site Plan Approval and removal of Article 19.17, Agricultural Land.**

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b), Planning Commission By-Laws

Purpose: A proposed Text Amendment to the *Baldwin County Zoning Ordinance* as it pertains to incorporation of site

plan approvals for certain developments and removal of article 19.17, agricultural land.

**9. Old Business:**

**a.) Case S-19038, Deep South Boat Storage & RV Park, Final Site Plan Approval Extension Request.**

**10. New Business:**

**11. Public Comments:**

**12. Reports and Announcements:**

Staff Reports: **Update on proposed changes to the Subdivision Regulations.**

Legal Counsel Report:

Next Regular Meeting: **October 7, 2021**

**13. Adjournment.**

Baldwin County Planning & Zoning Commission  
Case No. S-21050 – Southern Belle RV Resort  
Final Site Plan Approval  
September 2, 2021  
Staff Report  
Agenda Item 7.a

This report is prepared by the Baldwin County Planning and Zoning Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021 Final Site Plan Approval (Pending)

**Attachments:** Vicinity Map  
Site Map  
Final Site Plan

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 14 – Unzoned

**Location of Property:** The subject property is located on the northwest corner of the intersection of US Hwy 98 and County Road 9.

**Parcel Number:** 05-55-09-30-0-000-005.000

**Report Prepared By:** Matthew Brown; Planning Director

**III. PLANNED DEVELOPMENT PROPOSAL:**

**Proposed Number of Sites:** 69 RV Sites

**Linear Feet of New Streets:** 2,618 feet PRIVATE STREETS

**Total Acreage:** +/- 9.2 acres

**Density:** +/- 7.6 units per acre

**Proposed Use:** Recreation Vehicle Park

**Applicant:** Mark L. Huggans  
Summerdale, AL 36580

**Request:** The applicant is requesting Final Site Plan approval for Southern Belle RV Resort from the Baldwin County Planning and Zoning Commission.

NOTE: A Final Site Plan for Southern Belle RV Resort was previously approved as S-18013 on May 3, 2018, by the Baldwin County Planning Commission, but the Applicant allowed the approval to lapse.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:**      Water:            On-site wells  
                                         Sewer:            On-site septic systems  
                                         Electricity:       Baldwin EMC

**Transportation:**                The applicant is proposing to construct internal streets with a gravel driving surface. These internal streets would be private and would not be maintained by Baldwin County.

**Storm Water Management:**    Stormwater runoff after development must be released at rate that is less than the runoff rate from the site prior to development for all critical storm events, up to and including the 100 year, 24-hour event, as required by the Baldwin County Subdivision Regulations. The Design Engineer has provided a stormwater report in accordance with the subdivision regulations.

**Permits and Approvals:**        The developer will be responsible for obtaining all applicable County, State, and Federal Permits required for a development of this magnitude prior to beginning any construction.

**V. STAFF COMMENTS:**

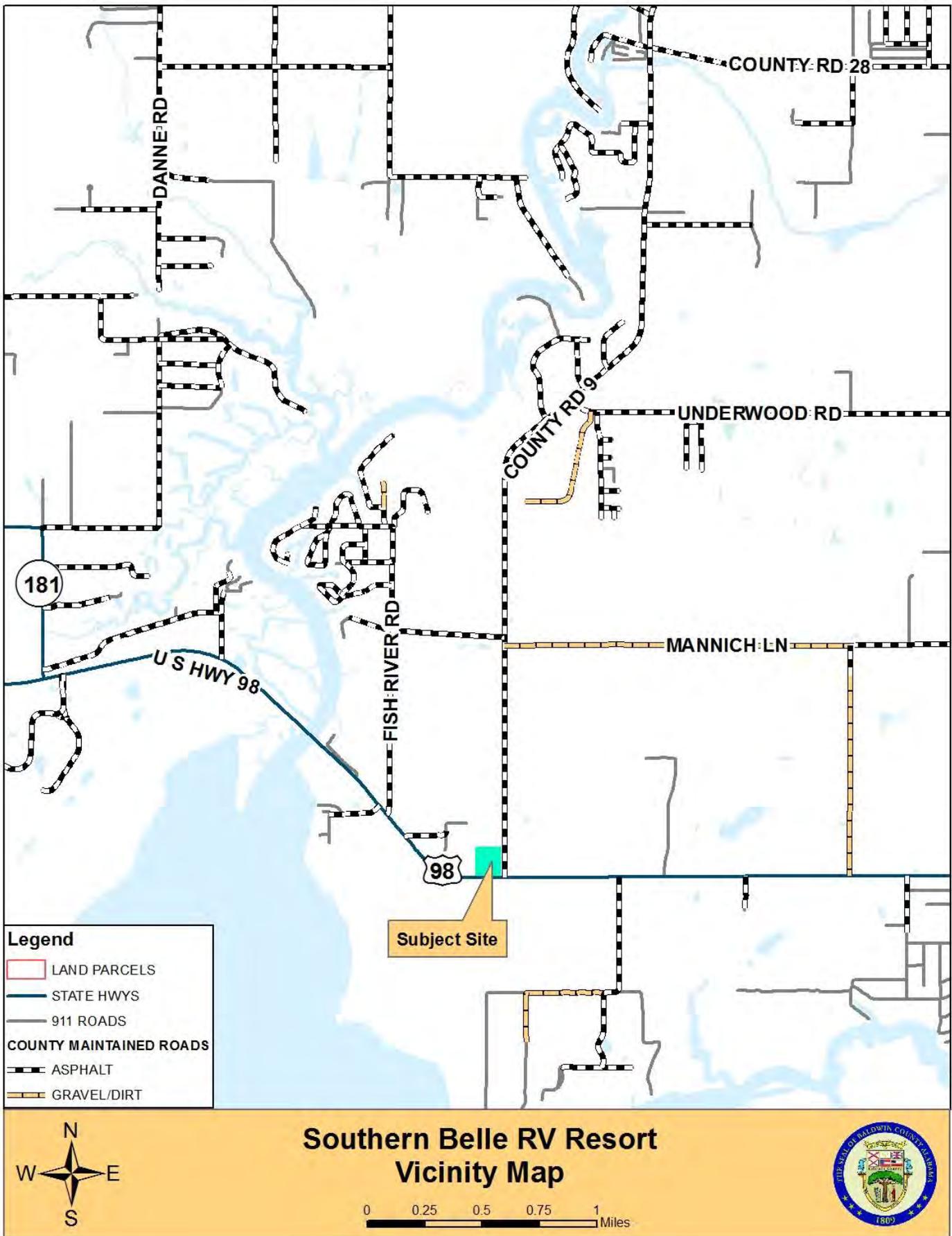
- This development falls under the requirements of Section 9 of the Baldwin County Subdivision Regulations. The proposed project is considered a small scale planned development based on its size.

Deficiencies:

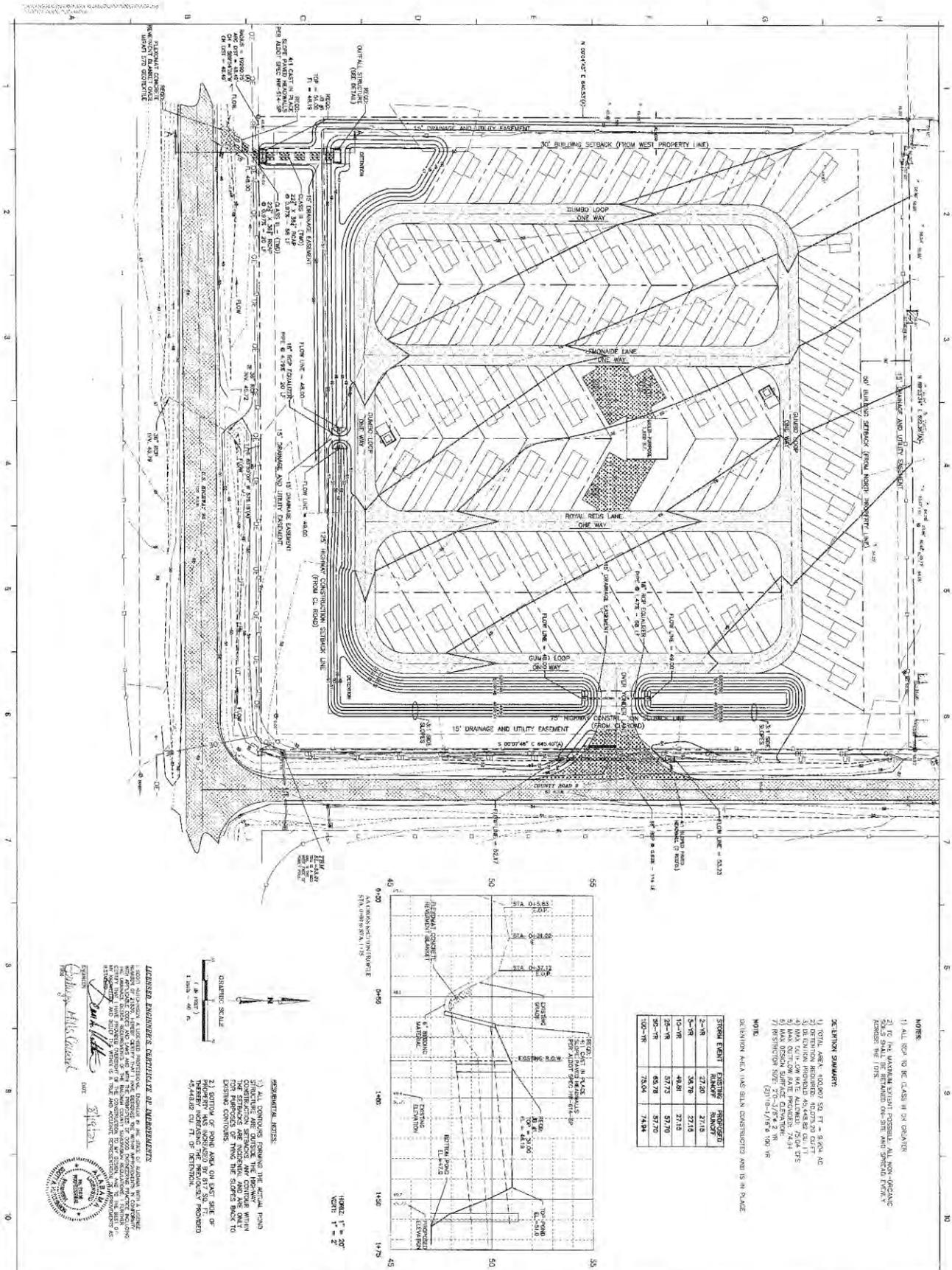
- N/A – the Applicant has resolved all deficiencies identified during the review process.

**VI. RECOMMENDATIONS:**

Staff recommends that the Final Site Plan for Case No. S-21050, Southern Belle RV Resort, be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations.







**SITE GRADING AND DRAINAGE PLAN**

**C-004**

**SOUTHERN BELLE RV RESORT**  
 MARK HUGGINS  
 MAGNOLIA SPRINGS, ALABAMA

GMCProject: CMOB190091

ISSUE DATE	APRIL 2021
INITIAL	APRIL 2021
REVISIONAL	AUGUST 8, 2021
REVISIONAL	AUGUST 8, 2021
DRAWN BY	
CHECKED BY	

2039 Main Street  
 Daphne, AL 36526  
 T 251.626.2626  
 GMCNETWORK.COM



Baldwin County Planning and Zoning Commission  
Case No. S-21080 – Plantation RV Park Phase II  
Planned Development Final Site Plan Approval Request  
Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 7.b

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This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021

Planned Development Final Site Plan Approval Pending

**Attachments:** Vicinity Map  
Site Map  
Proposed Site Plan

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 34 – The citizens of district 34 have not implemented zoning in this planning district

**Location of Property:** The subject property is located on the west side of County Road 65 approximately 1,000 feet south of Craft Farms Road, approximately 1.25 miles north of County Road 12

NOTE: Project is located outside Foley’s City Limits but inside Foley’s Planning Jurisdiction. However, Foley does not define an RV Park as a subdivision and therefore does not exercise jurisdiction.

**Parcel Number(s):** 05-60-01-01-0-000-006.002 (PIN 201667)

**Report Prepared By:** J. Buford King, MPA, LEED AP; Development Review Planner

**III. SUBDIVISION PROPOSAL:**

**Proposed number of RV spaces:** Phase II – 54 spaces (48 spaces in Phase I)

**Linear Feet of Streets:** 1,147 linear feet (12’ wide, crushed aggregate)

**Total Acreage:** ± 13.02 acres (Phase I and Phase II)

**Lot (RV Space) Sizes:** Smallest RV Space 1,940 square feet

**Owner/Developer:** Mr. Jason Slaten  
10321 County Road 65  
Foley, AL 36535

**Engineer of Record (EOR):**

Mr Chris Lieb, PE  
Lieb Engineering Co., LLC  
1290 Main Street Suite E  
Daphne, AL 36526

**Request:**

The applicant is requesting Final Site Plan Approval of Phase II of a Planned Development RV Park from the Baldwin County Planning and Zoning Commission. Phase I of this same RV park was approved on August 5, 2021, containing **48** RV spaces. Subject request of Phase II requests **54** RV spaces.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:**

Water: Onsite Well  
Sewer: Onsite Septic  
Electricity: Riviera Utilities

**Transportation:**

The proposed RV spaces will front on internal, privately maintained, one-way gravel roads comprised of 6” of ALDOT 825 crushed aggregate. The development itself will provide public access through two connections to CR 65. A traffic study was submitted for Phase II, more fully-described in “Staff comments” and “Recommendations”, below.

**V. STAFF COMMENTS:**

- After review, it appears the Applicant has resolved all Phase II deficiencies with the exception of minor text edits required for the site plan package (see contingencies, below).
- This Final Site Plan approval, if granted, will apply only to Phase II, however, staff has no objection to a singular recording of the site plan package that clearly reflects both phases (see contingencies, below)
- This Final Site Plan approval, if granted, will be site plan specific, meaning any major changes to the approved site plan will require a new application and approval by the Planning Commission. Minor changes may be reviewed and approved by the Baldwin County Planning Director.
- The traffic study submitted with the Phase II Panned Development RV Park application does not recommend the installation of turn lanes onto CR65. However, the Baldwin County Highway Department may require installation of turn lanes onto CR65 as a component of the construction plans review process. (see contingencies, below)

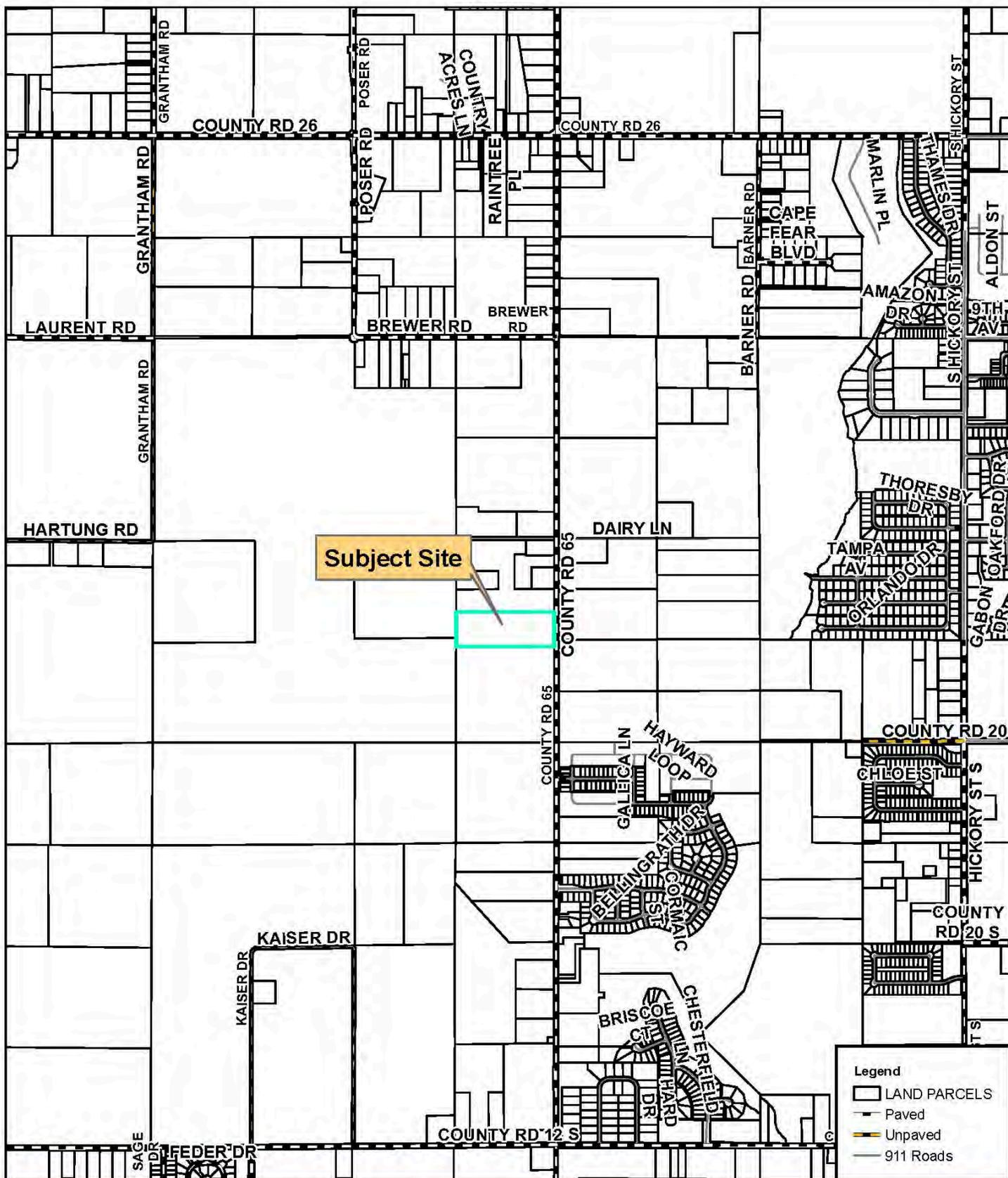
**VI. RECOMMENDATIONS:**

Staff recommends that the request for Final Site Plan approval for Case No. S-21080, Plantation RV Park Phase II be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations and with the following contingencies:

1. EOR shall coordinate the construction plans review with the Baldwin County Highway Department staff and reflect turn lanes onto CR 65 if required by the Baldwin County Highway Department as well as furnish any and all turnout permits, ROW permits, or license agreements and include with the construction plans review as required by the Baldwin County Highway Department staff.

2. The site plan package for Phase II shall not be recorded until construction plans review has been accomplished for Phase II and approval granted by the Baldwin County Highway Department in the form of a Subdivision Permit.
3. Routine text revisions to the site plan package and supporting documents provided by staff to the EOR on August 24, 2021 that were discovered during staff report preparation shall be reflected on the site plan package to be recorded.

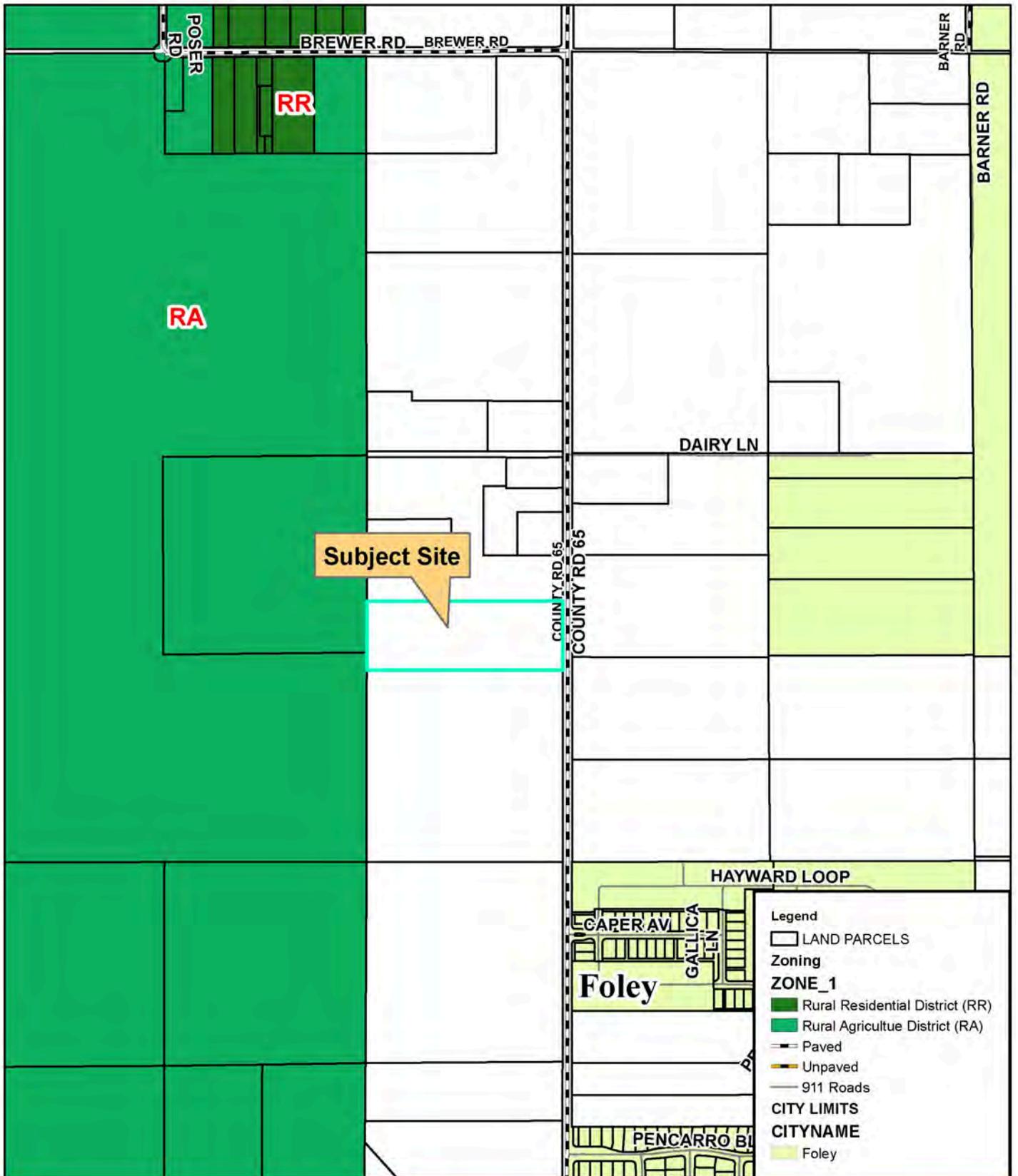
Contingency items shall be completed by 8:00 AM CST on December 1st, 2021. Further, this Final Site Plan approval will be **AUTOMATICALLY WITHDRAWN** if the proposed development fails to comply with any of the contingencies above at any time.



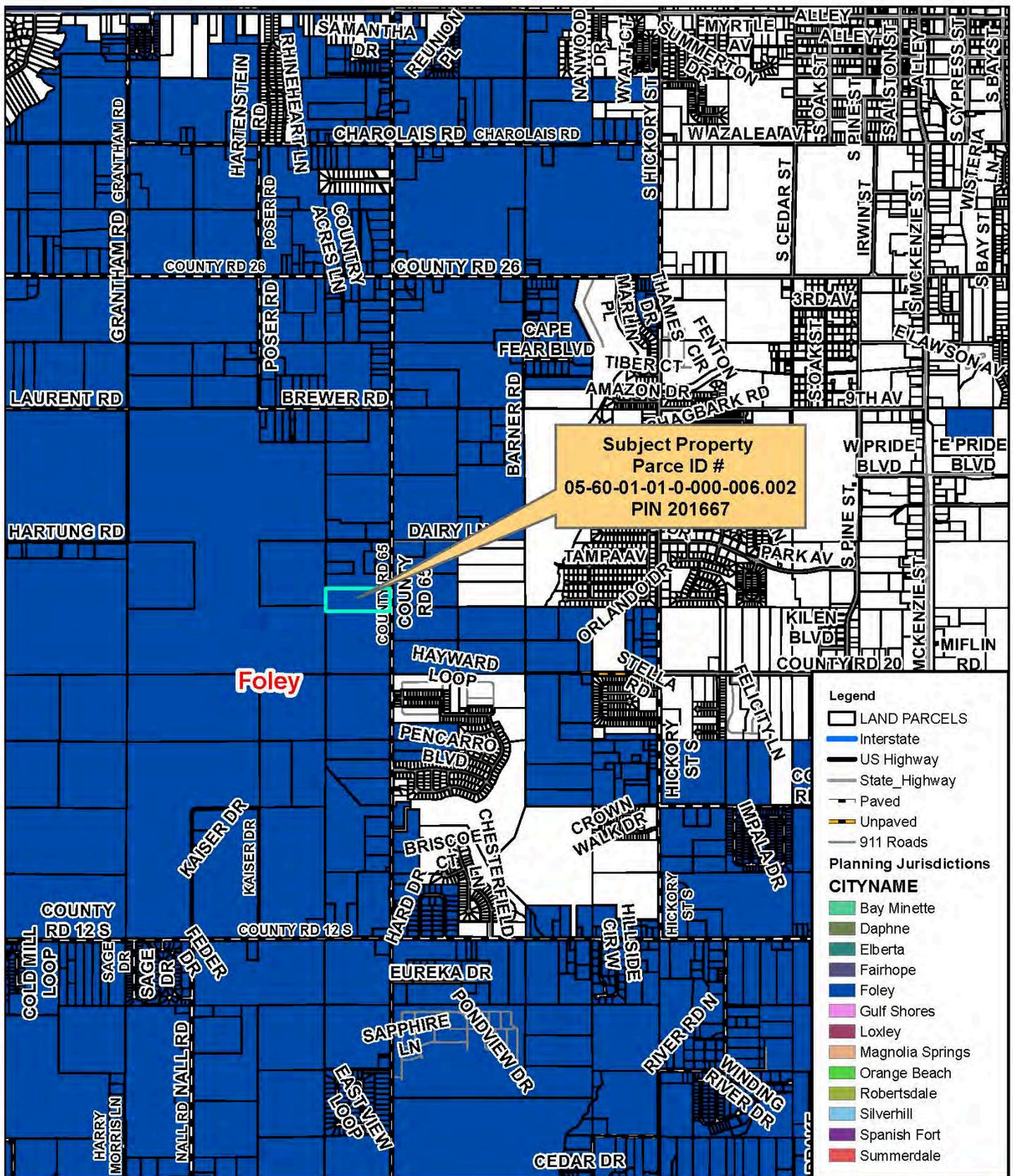
S-21080 Plantation RV Park Phase II  
Vicinity Map



S-21080 Plantation RV Park Phase II  
Site Map



S-21080 Plantation RV Park Phase II  
Zoning Map



Subject Property  
 Parcel ID #  
 05-60-01-01-0-000-006.002  
 PIN 201667

Foley

- Legend
- LAND PARCELS
  - Interstate
  - US Highway
  - State\_Highway
  - Paved
  - Unpaved
  - 911 Roads
- Planning Jurisdictions
- CITYNAME**
- Bay Minette
  - Daphne
  - Elberta
  - Fairhope
  - Foley
  - Gulf Shores
  - Loxley
  - Magnolia Springs
  - Orange Beach
  - Robertsdale
  - Silverhill
  - Spanish Fort
  - Summerdale



S-21080 Plantation RV Park Phase II  
 Planning Jurisdiction Map

# TRAFFIC IMPACT STUDY

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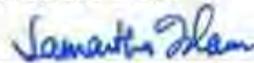
**Plantation RV Park**

Foley, Alabama

Prepared for:

**Mr. Jason Slaten**  
**Mrs. Karen Slaten**

Prepared by:



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**Samantha Islam, Ph.D., P.E.**  
ASSR Consultants, LLC  
3870 Branford Ct  
Mobile, AL 36619  
Ph: (251)-545-9681



## **6.0 CONCLUSIONS/RECOMMENDATIONS**

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A method recommended in the Highway Capacity Manual was used to evaluate the traffic operating conditions in 2022 without (no-build) and with the proposed development at two major intersections within the study area: County Road 26 at County Road 65 and County Road 12 at County Road 65. Based on this analysis, both intersections are expected operate inadequately without and with the proposed RV park. Since these intersections are expected to operate inadequately without or with the proposed development, it is recommended that these two intersections be further studied separately from this study to develop intersection improvement plans. In addition to the above intersection analyses, further analyses were performed to investigate how the proposed entrances at CR-65 will perform during the peak hours. It was found that the entrances will perform adequately during both peak hours.

Additionally, to determine if turn lanes are needed on County Road 65 for the generated traffic turning into the proposed development, a method provided in the NCHRP Report 457 was used. According to this method, no turn lanes are warranted on County Road 65 at the proposed entrances.

# New Facility for Plantation RV Park

## DRAINAGE REPORT

10321 County Road 65  
Foley, AL 36535



05/04/2021

**Christopher Lieb, P.E.**  
**Civil Engineer**

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**LIEB ENGINEERING**  
COMPANY

Page 1 of 4



PO Box 2266  
 Fairhope, AL 36533  
 Phone: 251 978-9779

### Section 1.0 Project Overview

This property, 10321 County Road 65, is a 13-acre site located in Foley, AL. The property is currently one drainage area. The site drains south to the adjacent property. It is mostly open pecan farm and will use an existing curve number of 74 for the site. The post development curve number will be 84. The pond is designed for the entire buildout of approximately 102 lots. The existing property is being developed into a new RV park. The post-development runoff will be captured into a proposed open, dry detention pond. The pond has been designed to detain the runoff to maintain the peak runoff rate from the 2-100 year storms to the rate of the pre development runoff. The pond outfall will continue to discharge storm water runoff into the existing swale on the southwest corner of the property. See the Grading and Drainage Plan as part of the construction documents.

### Section 2.0 Site Conditions

Currently the site sheet drains to the to the adjacent property to the south and west.

### Section 3.0 Design Frequency

The drainage will be conveyed to the detention pond on the south side of the property. The discharge of the pond ties to the ditches that accept the water in the predevelopment condition. The drainage improvements have been designed using the SCS Method. The discharge rates have been designed for the 2-100 year storm event. Hydraflow Storm Sewer Extension for AutoCAD Civil 3D 2017 was utilized for the calculations.

The development will have a net decrease in peak flows due to the improvements proposed to be installed.

#### West Detention Pond

Rainstorm	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
SCS	21.23	31.10	40.79	56.01	69.49	84.16	Pre Development Peak Runoff
SCS	27.90	38.13	47.90	63.01	76.26	90.64	Post Development Peak Runoff
SCS	21.18	29.98	36.52	48.84	58.93	69.95	Pond Discharge

The development will allow for a 2-100 year run off rate or less for the 2-100 year rainstorm event. Therefore, the development will have no negative impact to adjacent or downstream properties.





June 23, 2021

Mr. Brown  
Via Email

RE: Wetland Delineation Verification for Plantation RV Park

Mr. Brown,

EcoSolutions Inc. was asked to conduct a wetland delineation of the parcel on, County Road 65 (PIN: 201667). A small area in the southwest corner of the site met the definition of a wetland as defined by the U.S. Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual. I have verified that the wetland delineation performed by Lewis Cassidey is correct and the wetland flags are properly placed. The wetlands are presumed to be jurisdictional as they have a hydrologic connection to areas upstream and downstream.

The subject area is parcel number 05-60-01-01-0-000-006.002, located near Foley, AL. The parcel is located on the west side of County Road 65 and is 13 acres in size. The parcel is covered with mowed lawn grasses and a few patches of cogon grass. The soils on the site are sandy loams with Grady soils in the wetland area.

The site was evaluated for jurisdictional wetland areas as defined by the U.S. Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual and all, supplements and amendments thereto. There is a small area in the south west corner of the property that met the USACE criteria for wetlands. All comments are based on the professional judgment of the inspector and the conditions that existed on the site at the time of the inspection.

Please give us a call (251-621-5006) or email [Evan@ecosolutionsinc.net](mailto:Evan@ecosolutionsinc.net) if you have any questions or need any additional information.

Best regards,

Evan Wood  
EcoSolutions, Inc.

P.O. Box 361    MONTROSE, AL 36559    251.621.5006  
ECOSOLUTIONSINC@BELLSOUTH.NET



Legend

Wetland Line

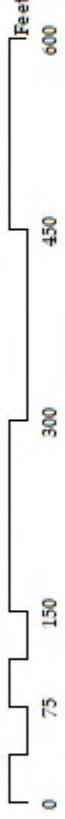
Wetland Area

Wetland Line

Wetland Area  
Presumed jurisdictional

Colors: Soil, Digitalis, GeoEye, Earthstar Geographics, CNES/Airbus D.B., USDA, USGS, AeroGRID, IGN, and the GIS User Community

Project: Plantation RV Park  
Applicant: Jason Slaten  
1 inch = 150 feet



T-8-S, R-3-E, Sect. 1  
Foley, AL



P.O. Box 361 Montrose, AL 36559  
Phone: 251-621-5006 Fax: 251-621-5058

**GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION.
- CONSTRUCTION SITE SAFETY, INCLUDING ALL ADEQUATE TEMPORARY BRACING AND SHORING, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO LIEB ENGINEERING IMMEDIATELY. THE CONTRACTOR SHALL EXERCISE DUE CARE TO PROTECT THEM FROM DAMAGE DURING EXCAVATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXCAVATIONS SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT OSHA STANDARDS AND SPECIFICATIONS.
- THIS PROPERTY IS IN ZONE "M" PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION/COMMUNITY PANEL 997 FOR BALDWIN COUNTY AND MAP NUMBER 0100300927M AS PER REVISED MAP DATED APRIL 19, 2019.
- SURVEY DATA WAS COMPILED FROM A BOUNDARY AND TOPOGRAPHIC SURVEY PROVIDED BY WOODLANDS GROUP, LLC.

**SITE DEMOLITION NOTES:**

- ALL EXISTING IMPROVEMENTS SHALL REMAIN WITHIN THE LIMITS OF CONSTRUCTION UNLESS SPECIFICALLY NOTED TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ITEMS TO BE SALVAGED, REMOVED AND REUSED, ETC. CONTRACTOR TO USE CAUTION NOT TO DAMAGE THESE ITEMS DURING REMOVAL AND/OR REUSE. ANY DAMAGED ITEMS SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.
- ANY AND ALL UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED OR RELOCATED. COORDINATE WITH UTILITY PROVIDER PRIOR TO REMOVAL/RELOCATION.
- SAVING EXISTING LANDSCAPES AT LIMITS OF REMOVAL. ASPHALT PAVING SHALL BE MILLED A MINIMUM OF 4" TO ENSURE A SMOOTH TRANSITION TO PROPOSED ASPHALT PAVING.
- CONTRACTOR TO DISPOSE OF ALL DEMOLITION AND CONSTRUCTION DEBRIS AT LEAST WEEKLY IN AN APPROVED MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.

**LAYOUT NOTES:**

- TOPOGRAPHY AND SITE BOUNDARIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. IMMEDIATELY NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE OUTSIDE FACE OF BUILDING TO THE BACK OF CURB, OR TO THE FACE OF SURFACING UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
- VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LIEB ENGINEERING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. SCALE IS FOR GUIDANCE PURPOSES ONLY. IF DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
- CONTRACTOR SHALL FOLLOW STATE REQUIREMENTS FOR SURVEY PRACTICES FOR CONSTRUCTION LAYOUT WORK.

**GRADING NOTES:**

- THE LIMITS OF CLEARING SHALL BE AT THE EDGE OF PROPOSED GRADING OR THE PROPERTY LINE, WHICHEVER IS LESS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
- ALL TOP SOIL WITHIN LIMITS OF CONSTRUCTION SHALL BE STRIPPED AND STOCKPILED ON SITE IN AN APPROVED MANNER. TOPSOIL SHALL BE SPREAD 6" DEEP ON ALL NON-HARDSCAPE AREAS TO BRING TO FINISHED GRADE. ANY EXCESS TOPSOIL SHALL BE DISPOSED OF OFF-SITE IN AN APPROVED MANNER.
- IN CUT AREAS, SUBGRADE SHALL BE SCARIFIED A MINIMUM OF 1" AND RECOMPACTED BEFORE PLACING FILL OR ANY OTHER IMPROVEMENTS. RECOMPACTATION SHALL MEET THE SPECIFIED DENSITY AND MOISTURE CONTENT IN GRADING NOTE #6.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPARED DUE TO INCLEMENT WEATHER AND CONSTRUCTION PRACTICE.
- ALL STRUCTURAL FILL MATERIAL SHALL BE A SANDY MATERIAL FREE OF ORGANICS, DEBRIS, AND OTHERWISE DELETERIOUS MATERIALS AND CONTAINING BETWEEN 12 AND 20 PERCENT PASSING THE NO. 200 SIEVE AND 85 PERCENT OR LESS PASSING THE NO. 40 SIEVE. BY WEIGHT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 98 PERCENT STANDARD PROCTOR DENSITY AS PER ASTM-0698, AT A FIELD MOISTURE WITHIN ± 3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE, MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- PIPE BEDDING SHALL BE "SELECT SAND." THE MATERIAL SHALL CONTAIN LESS THAN 10% PASSING THE #200 SIEVE AND 90% OR LESS PASSING THE #40 SIEVE. BY WEIGHT MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY AS PER ASTM-0698, AT A FIELD MOISTURE WITHIN ± 3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE, MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL. FOUNDATIONS, PAVING, ETC. ANY AREAS SHOWING SIGNS OF PUMPING, ROTTING OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT LISTED BELOW.
- THE MAXIMUM SLOPE IN HANDICAP PARKING AREAS SHALL NOT EXCEED 2:08 GRADE IN ANY DIRECTION. THE SLOPE IN ALL HANDICAP ACCESS ROUTES SHALL NOT EXCEED 5:08 GRADE IN THE DIRECTION OF TRAVEL AND 2:08 CROSS-SLOPE. HANDICAP RAMP SLOPE SHALL NOT EXCEED 1:12 SLOPE IN THE DIRECTION OF TRAVEL AND 2:08 CROSS-SLOPE.
- THE FINISHED GRADE SHALL SLOPE AWAY FROM THE BUILDING(S) AT LEAST 1:08. THE FINISHED GRADE SHALL BE 6" BELOW THE BUILDING FINISHED FLOOR ELEVATION UNLESS OTHERWISE NOTED ON DRAWINGS. WATERPROOFING SHALL BE REQUIRED AT ALL LOCATIONS WHICH THE FINISHED GRADE IS ABOVE THE FINISHED FLOOR ELEVATION. CONTRACTOR SHALL NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- FINISHED GRADES ARE SHOWN ON THIS PLAN. CONTRACTOR SHALL MAKE THE APPROPRIATE HOLDINGS FOR SUBGRADE ELEVATIONS.
- STORM DRAINAGE INLETS SHALL BE LOCATED AT THE LOWPOINTS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE FOR PERSONNEL AND VEHICULAR PROTECTION AT ANY OPEN EXCAVATIONS IN ACCORDANCE WITH 29 CFR PART 1926 AS WELL AS ANY REQUIREMENTS FOR EXCAVATIONS GREATER THAN FOUR (4) FEET IN DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ADJACENT TO EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING ALL EXCAVATION OPERATIONS. TYPE OF SHORING AND PROCEDURE TO BE FOLLOWED MAY BE SUBJECT TO THE ENGINEER'S REVIEW BUT THE STRUCTURAL ADEQUACY OF THESE SYSTEMS, AS WELL AS DAMAGES TO THE EXISTING FACILITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM EVERY 2,500 SQUARE FEET OF AREA PER 8" LIFT.
- COMPACTION WITHIN LIMITED SPACES (E.G. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. STONE BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES BY A VIBRATORY COMPACTOR.
- DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT-SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REDROUTE SURFACE WATER AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND GROUNDWATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED THROUGHOUT CONSTRUCTION. PONDING AND STANDING WATER SHALL BE KEPT TO A MINIMUM.
- A GLOTTED REPORT HAS NOT BEEN PERFORMED. ALL EARTHWORK OPERATIONS SHALL BE WITNESSED BY A GEOTECHNICAL ENGINEER.

**CONCRETE NOTES:**

- ALL NORMAL WEIGHT CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
- CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE.
- TEST CYLINDERS SHALL BE MADE AND TESTED AS OUTLINED IN THE ACI 301 SPECIFICATION, AND PER PROJECT SPECIFICATIONS.
- REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 AND PLACED IN ACCORDANCE WITH ACI-315, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- FABRICATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315.
- UNLESS OTHERWISE NOTED, CONCRETE COVER FOR REINFORCING BARS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF ACI 318.
- PROVIDE 3/4" BY 45 DEGREE CHAMFER ON ALL EXPOSED CONCRETE EDGES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- TYPE II PORTLAND CEMENT SHALL BE USED IN THE MANUFACTURE OF ALL CONCRETE UNLESS OTHERWISE NOTED. PORTLAND CEMENT SHALL CONFORM TO C150. ONLY ONE BRAND OF CEMENT SHALL BE USED FOR ALL CONCRETE FOR EXPOSED SURFACES OF ADJACENT STRUCTURES.
- AGGREGATE, BOTH COARSE AND FINE, USED IN THE MANUFACTURE OF CONCRETE SHALL CONFORM TO ASTM C33 UNLESS OTHERWISE NOTED.
- CONTRACTOR MAY SUBSTITUTE CONSTRUCTION JOINTS IN LIEU OF CONTROL JOINTS AS NEEDED.
- EXPANSION JOINT MATERIAL SHALL BE BITUMINOUS TYPE PER ASTM D994.
- SEALANT SHALL BE BASF SONOLASTIC SL2, OR OTHER ELASTOMERIC JOINT SEALANT AS APPROVED. ALL SEALANT MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- PAVEMENT SURFACE SHALL HAVE BROOM FINISH.

**STORM DRAINAGE NOTES:**

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO LIEB ENGINEERING PRIOR TO INSTALLATION AND/OR FABRICATION.
- ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT THE LOWPOINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE GRADES AND POINTS OF CONNECTION PRIOR TO INSTALLATION. LIEB ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
- PROPOSED STORM PIPES SHALL BE BEDDED IN 6" OF SAND.
- ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATER TIGHT JOINTS UNLESS OTHERWISE NOTED.
- ALL SLOPE PAVED HEADWALLS SHALL BE PER ALDOT SPECIAL DRAWING #HW-614-SP.

**UTILITY NOTES:**

- THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICES (WATER, ELECTRICAL, TELEPHONE, CABLE TV) FROM THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING.
- REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. PLANS FOR ALL PROPOSED UTILITY POINTS OF CONNECTION AT THE BUILDING. NOTIFY ARCHITECT, LIEB ENGINEERING OF ANY DISCREPANCIES.
- BACKFLOW PREVENTION AND METERING SHALL BE PROVIDED ON THE FIRE, DOMESTIC, AND IRRIGATION SERVICES IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY AND THE DEPARTMENT'S REQUIREMENTS.
- WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY'S REQUIREMENTS. ALL MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER UNLESS OTHERWISE INDICATED ON PLANS.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PVC 30R 25 UNLESS OTHERWISE REQUIRED BY THE LOCAL UTILITY COMPANY.
- ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN PVC CONDUIT OR CONCRETE ENCASED DUCT BANK WITH FULL WIRE MEETING THE LOCAL UTILITY COMPANY'S REQUIREMENTS. INFORMATION SHOWN ON CIVIL DRAWINGS FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR SPECIFIC INFORMATION.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED FILL PLACED IN 6" AND LOOSE LIFTS. FILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR AND OPTIMUM MOISTURE, CONTENT WITHIN ±3%.
- WHEN INSTALLING UTILITIES IN EXISTING PAVED AREAS OR IN AREAS WHERE SOILS ARE CONSIDERED UNSUITABLE FOR BEDDING OR BACKFILLING, UTILITY TRENCHES SHALL BE BACKFILLED FULL DEPTH WITH SAND.
- WHERE UTILITIES ARE TO BE INSTALLED IN AREAS OF EXISTING PAVING, HARDSCAPE, SIDEWALKS, ETC. CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING PAVING, HARDSCAPE, SIDEWALK, ETC. AND REPLACE IN LIKE AND ANY RESTORE, AS NECESSARY. BACKFILL TRENCH FULL DEPTH WITH SAND.

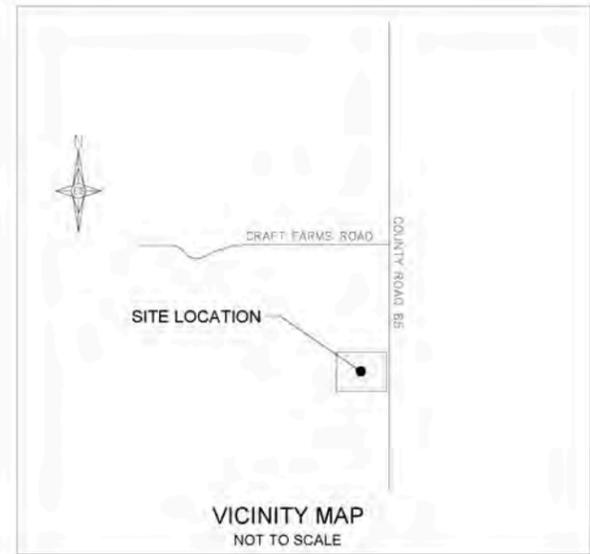
**TRAFFIC CONTROL NOTES:**

- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISION OF PART VI OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART VI OF THE MUTCD.
- PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR APPROPRIATE FOR THE CURRENT CONDITIONS SHALL BE COVERED OR REMOVED.
- THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
- IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SNAKE, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CHANNELIZING CURB AND TYPE "A" REFLECTIVE SHEETING SHALL BE MOUNTED ON ALL SIGNS.
- HAZARDOUS CONDITIONS ON OPEN ROADWAYS SUCH AS PAVEMENT DROPS-OFFS IN EXCESS OF 2", CONSTRUCTION MATERIALS, VEHICLES, OR EQUIPMENT STORED OR PLACED WITHIN THE ROADWAY RIGHT-OF-WAY, AND OPEN TRENCHES ACROSS OR NEAR THE ROADWAY SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON-SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
- THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
- TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE A.L.D.D.'S STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
- CHANNELIZING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG MINIMUM 20' BARDY TO CHANNELIZE TRAFFIC INTO AND OUT OF INTERSECTING ROAD AND DRIVES WITHIN AREAS WHERE CHANNELIZING DEVICES ARE REQUIRED. TEMPORARY REGULATORY SIGNS SUCH AS STOP SIGNS AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.

**EROSION CONTROL NOTES:**

- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A NOTICE OF REESTABLISHMENT FROM ADEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONITORING, INSPECTIONS, ETC. TO ENSURE THE OWNER THAT THE SITE IS AT ALL TIMES IN ACCORDANCE WITH ADEM RULES & REGULATIONS. DOCUMENTATION OF INSPECTIONS BY A D.C. OR V.E.P. SHALL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO THE OWNER AT HIS/HER REQUEST. ANY AND ALL FEES, FINES, ETC. SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SLOTTING, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
- EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED, TO THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW BATTLES, CHECK DAMS, FILTER BERMS, SILE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL. GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND 40% SUSTAINED WINDS GREATER THAN 20 MPH BY A 24 HOUR PERIOD.
- AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEARED AND DRESSED.
- DEWATERING OPERATIONS MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, RIVERS, OR PUBLIC ROADWAYS.
- A GRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH-SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
- ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 13 DAYS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH ALDOT SPECIFICATIONS SECTION 882 AND 886.
- ALL PREVIOUSLY GRADED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
- PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND GRAVELED ACCESS DRIVES SHALL BE INSTALLED.
- GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON-SITE DAILY TO PREVENT POLLUTION SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PICKUP AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORING CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLICIZING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
- AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SLOTTING, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT MITIGATED OR UNFORESEEN BY THIS SET OF PLANS.

**ALABAMA ONE-CALL**  
 THE CONTRACTOR IS REQUIRED TO CALL "ALABAMA ONE-CALL" 1-800-552-2525 AT LEAST 48 HOURS PRIOR TO ANY EXCAVATION AND SHALL EXERCISE EXTREME CARE TO AVOID DAMAGING EXISTING UTILITIES.



**ISSUED FOR REVIEW**

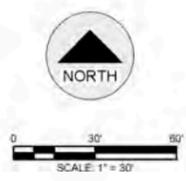
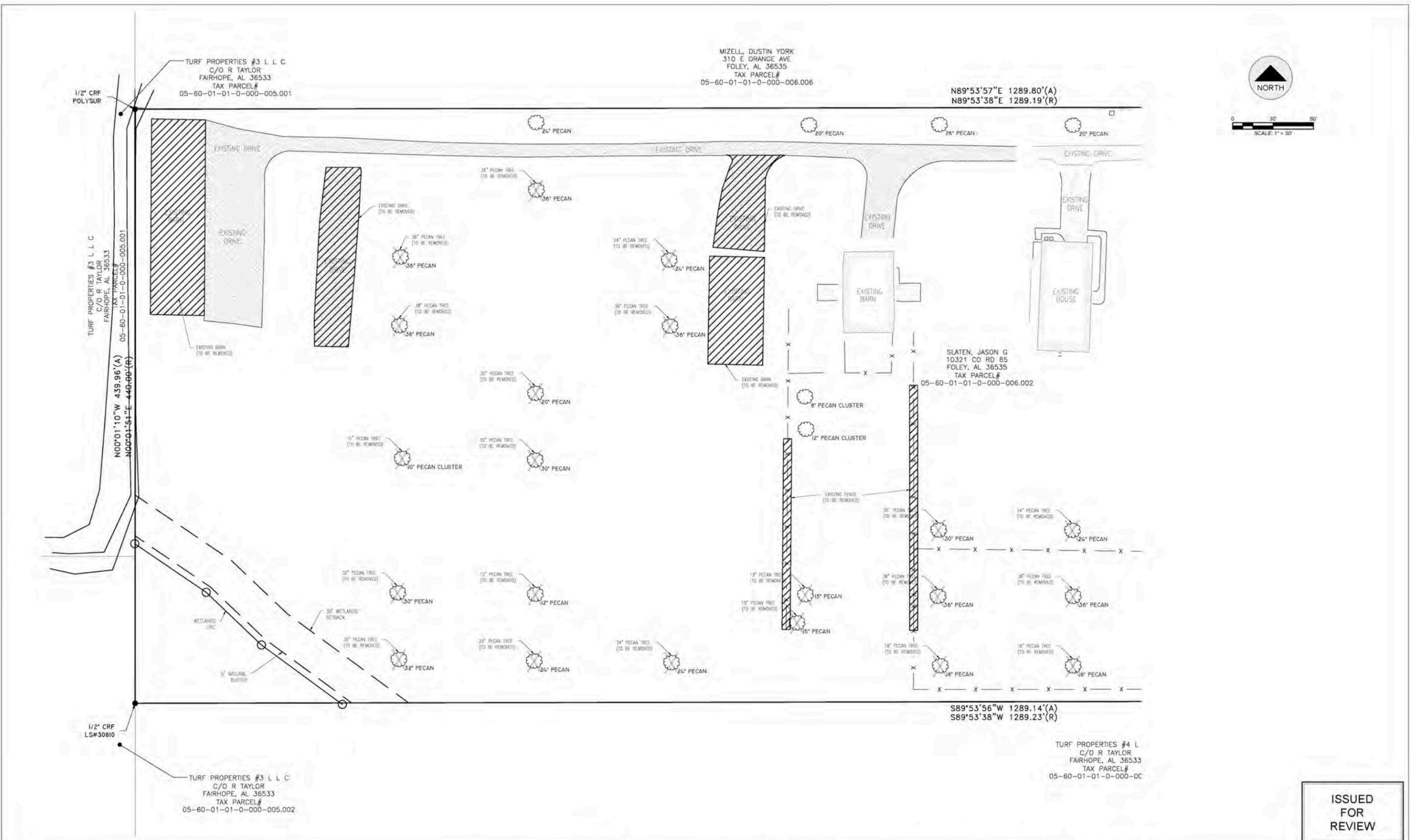
REVISIONS		
A	ISSUED FOR REVIEW	06/03/21
B	ADDRESSING COUNTY COMMENTS	06/23/21

**LIEB ENGINEERING COMPANY**  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER. ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938			
JOB NUMBER	DRAWN BY: JLG	DATE: 06/03/2021	SCALE: AS SHOWN
2021-017	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

PLANTATION BY PARK PHASE 3	
CIVIL NOTES	
FOLEY, AL	
OWNER: JASON & KAREN SLATEN	
SHEET NUMBER	1 OF 7

**ALABAMA REGISTERED PROFESSIONAL ENGINEER**  
 No. 8204  
 Christopher Jay Lieb  
 06/23/2021



**ISSUED FOR REVIEW**

REVISIONS		
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JOB NUMBER: 2021-017  
DRAWN BY: JLG  
CHECKED BY: CJL  
DATE: 06/03/2021  
APPROVED BY: CJL  
SCALE: 1"=30'  
ENGR: CJL

PLANTATION RV PARK PHASE 2  
EXISTING CONDITIONS & DEMOLITION PLAN  
FOLEY, AL  
OWNER: JASON & KAREN SLATEN

SHEET NUMBER: 2 OF 7  
C2.0 B



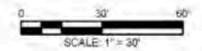
06/03/2021

THE INTERNAL RIGHTS-OF-WAY, ROADS, EASEMENTS, DRAINAGE FACILITIES, COMMON OPEN AREAS, BUILDING AND OTHER FACILITIES ARE PRIVATE AND WILL BE MAINTAINED BY THE DEVELOPER/OWNER. THE INTERNAL RIGHTS-OF-WAY, ROADS, EASEMENTS AND DRAINAGE FACILITIES WILL NOT BE MAINTAINED BY BALDWIN COUNTY. IF INDIVIDUAL LOTS, SITES, UNITS, ETC., ARE TO BE SOLD, THE DEVELOPER/OWNER SHALL BE REQUIRED TO MEET THE CURRENT BALDWIN COUNTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME, AND THE PROPERTY SHALL BE BROUGHT INTO COMPLIANCE WITH THOSE REGULATIONS PRIOR TO SUCH SALE OR ATTEMPTED SALE.

MIZELL, DUSTIN YORK  
310 E ORANGE AVE  
FOLEY, AL 36535  
TAX PARCEL#  
05-60-01-01-0-000-006.006

FLOOD ZONE:  
THIS PROPERTY IS IN ZONE "X" AS SHOWN ON THE FLOOD HAZARD ZONING MAP, FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, COMMUNITY PANEL NUMBER 527 FOR BALDWIN COUNTY AND MAP NUMBER 010000927M AS PER REVISED MAP DATED APRIL 19, 2019.

N89°53'57"E 1289.80'(A)  
N89°53'38"E 1289.19'(R)



**LEGEND**

	EXISTING ASPHALT PAVING
	EXISTING CONCRETE PAVING
	GRAVEL PAVING

**PROJECT NARRATIVE:**  
THE PROJECT CONSISTS OF DEVELOPING AN OPEN FIELD INTO AN RV PARK ON 13 ACRES. THE ROAD INFRASTRUCTURE IS SLATED TO BE GRAVEL. THERE WILL BE A TOTAL OF 102 HOOKUPS. THE WATER SUPPLY WILL BE PROVIDED BY WATER WELLS. THE SEWER WILL BE ON SITE SEPTIC SYSTEMS.

**PHASING SEQUENCE:**  
4B LOTS IN PHASE 1 WILL BE BUILT FIRST AND THEN 54 LOTS IN PHASE 2 WILL BE BUILT.

**SITE PLAN DATA:**

UNIT SIZE:	13.02 AC.±
USE:	RV PARK
SMALLEST SPACE SIZE:	1,940 S.F.
TOTAL NUMBER OF HOOKUPS:	54
PARKING SPACES:	54
LINEAR FEET OF PRIVATE ROADS:	1,147 LF
TOTAL IMPERVIOUS AREA:	13,800 SF
DENSITY:	7.83 HOOKUPS/ACRE
TOTAL USABLE OPEN SPACE:	301,000 SF
COUNTY:	BALDWIN
CITY & STATE:	FOLEY, AL
STREET:	COUNTY ROAD 65
ZONING:	NONE
OPEN SPACE:	6.91 AC/53.07%
FRONT SETBACK:	50'
REAR SETBACK:	30'
SIDE SETBACK:	30'

**CONTACT INFORMATION:**

**OWNER:**  
JASON SLATEN  
10321 COUNTY ROAD 65  
FOLEY, AL 36535  
(251) 597-9348

**ENGINEER:**  
LIEB ENGINEERING COMPANY, LLC  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
(251) 978-9779  
CONTACT: CHRIS LIEB, PE

**SURVEYOR:**  
THE WOODLANDS GROUP, LLC  
22881 HWY 98 SUITE J  
FAIRHOPE, AL 36532  
(601) 479-3408

**UTILITY PROVIDERS**

PHONE: N/A  
WATER: WELL  
POWER: RIVIERA UTILITIES  
GAS: N/A  
SEWER: SEPTIC TANK

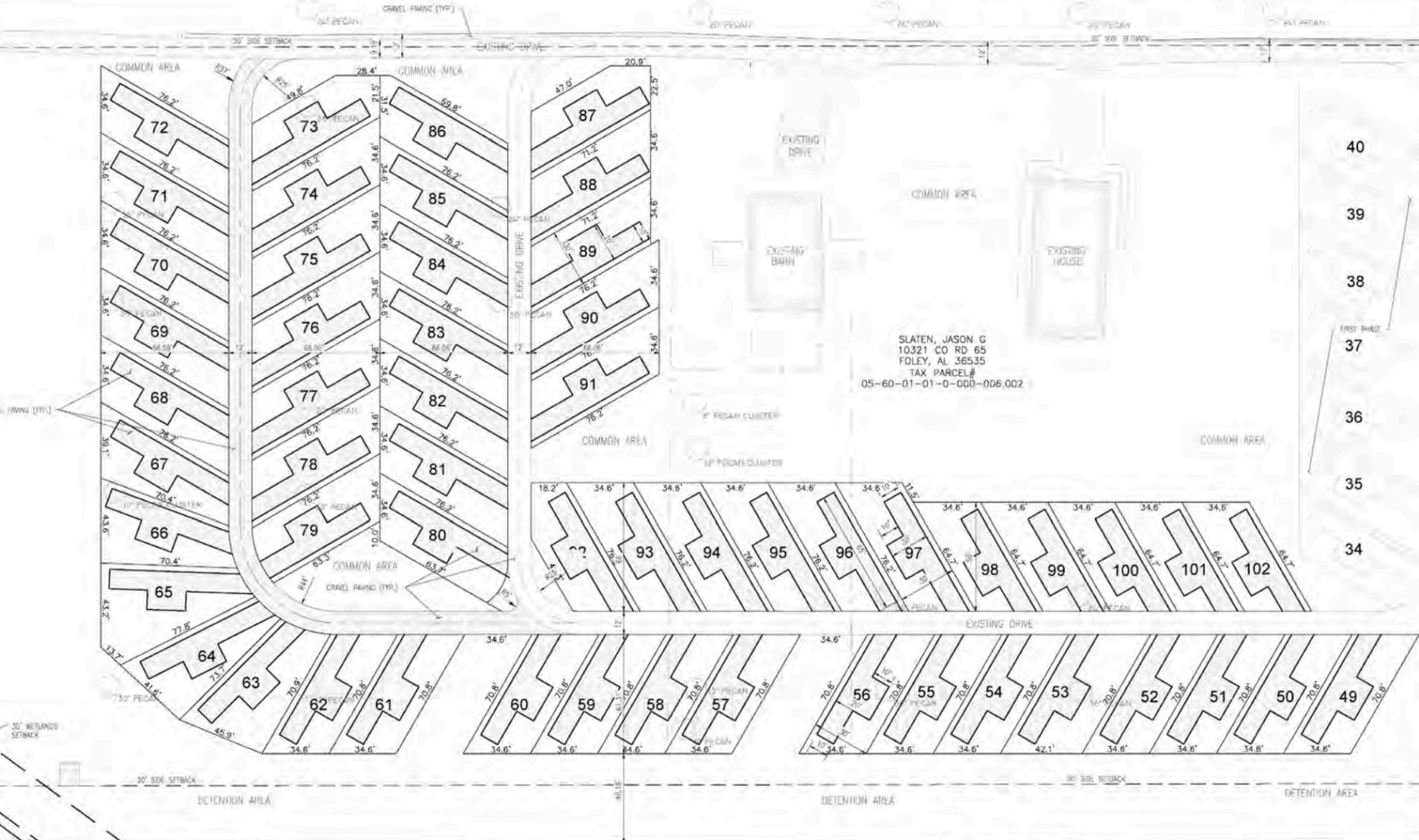
**ISSUED FOR REVIEW**

TURF PROPERTIES #3 L L C  
C/O R TAYLOR  
FAIRHOPE, AL 36533  
TAX PARCEL#  
05-60-01-01-0-000-005.001

TAX PARCEL#  
05-60-01-01-0-000-005.001  
N00°01'10"W 439.96'(A)  
N00°01'51"E 449.09'(R)

SLATEN, JASON G  
10321 CO RD 65  
FOLEY, AL 36535  
TAX PARCEL#  
05-60-01-01-0-000-006.002

TURF PROPERTIES #4 L L C  
C/O R TAYLOR  
FAIRHOPE, AL 36533  
TAX PARCEL#  
05-60-01-01-0-000-006.007



Parcel #	Area												
49	2123	57	2123	65	2720	73	2136	81	2286	89	2135	97	2286
50	2123	58	2123	66	2182	74	2286	82	2286	90	2286	98	1940
51	2123	59	2123	67	2128	75	2286	83	2286	91	2286	99	1940
52	2123	60	2123	68	2286	76	2286	84	2286	92	2052	100	1940
53	2581	61	2123	69	2286	77	2286	85	2286	93	2286	101	1940
54	2123	62	2123	70	2286	78	2286	86	2277	94	2286	102	1940
55	2123	63	2464	71	2286	79	2147	87	2009	95	2286		
56	2123	64	2144	72	2286	80	2186	88	2135	96	2286		

**REVISIONS**

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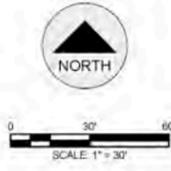
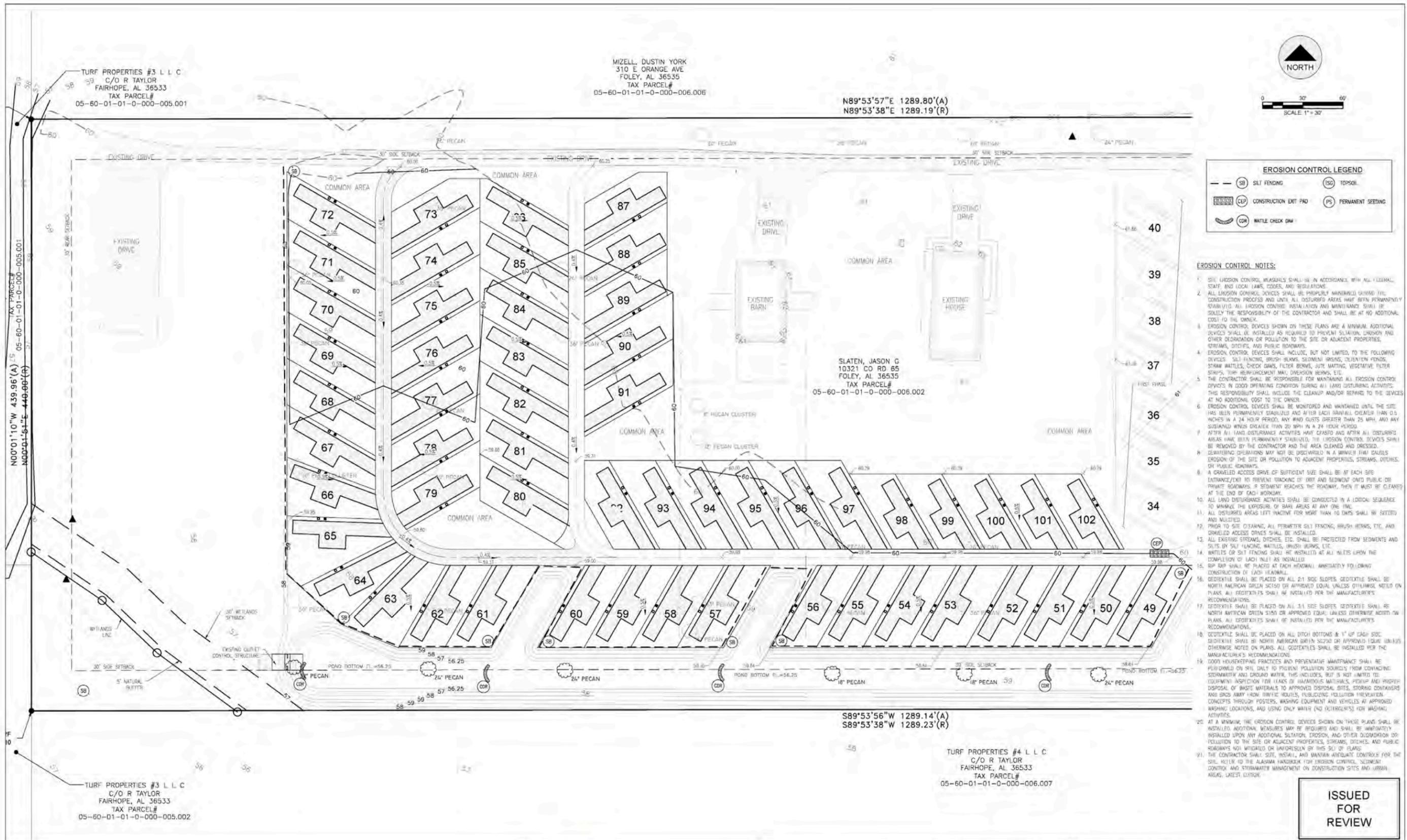
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SCALE: 1"=30'  
ENGR: CJL

PLANTATION RV PARK PHASE 2  
OVERALL SITE PLAN  
FOLEY, AL  
OWNER: JASON & KAREN SLATEN

SHEET NUMBER: 3 OF 7

06/03/2021



**EROSION CONTROL LEGEND**

	SILT FENCING		TOPSOIL
	CONSTRUCTION EXIT PAD		PERMANENT SEEDING
	WATTLE CHECK DAM		

- EROSION CONTROL NOTES:**
1. ALL EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
  2. ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
  3. EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
  4. EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO THE FOLLOWING DEVICES: SILT FENCING, BRUSH BUNKERS, SEDIMENT BASINS, SLOTTED SAND TRAPS, STRAW BATTLES, CHECK DAMS, FILTER BERM, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
  5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
  6. EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL EVENT GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
  7. AFTER ALL LAND DISTURBING ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
  8. DRAINAGE OPERATIONS MAY NOT BE DISRUPTED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
  9. A GRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
  10. ALL LAND DISTURBING ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
  11. ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 10 DAYS SHALL BE SEEDING AND MULCHED.
  12. PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BUNKERS, ETC. AND GRAVELED ACCESS DRIVES SHALL BE INSTALLED.
  13. ALL EXISTING STREAMS, DITCHES, ETC. SHALL BE PROTECTED FROM SEDIMENTS AND SILTS BY SILT FENCING, WATTLES, BRUSH BUNKERS, ETC.
  14. WATTLES OR SILT FENCING SHALL BE INSTALLED AT ALL INLETS UPON THE COMPLETION OF EACH INLET AS INSTALLED.
  15. RP RAP SHALL BE PLACED AT EACH HEADWALL IMMEDIATELY FOLLOWING CONSTRUCTION OF EACH HEADWALL.
  16. GEOTEXTILE SHALL BE PLACED ON ALL 2:1 SLOPE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S2230 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
  17. GEOTEXTILE SHALL BE PLACED ON ALL 3:1 SLOPE SLOPES. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S150 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
  18. GEOTEXTILE SHALL BE PLACED ON ALL DITCH BOTTOMS & 1" OF CRIP SID. GEOTEXTILE SHALL BE NORTH AMERICAN GREEN S2230 OR APPROVED EQUAL UNLESS OTHERWISE NOTED ON PLANS. ALL GEOTEXTILES SHALL BE INSTALLED PER THE MANUFACTURER'S RECOMMENDATIONS.
  19. GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE FULFILLED ON SITE ONLY TO PREVENT POLLUTION SOURCES FROM CONTACTING: STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PROPER AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORAGE CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLISHING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
  20. AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT MENTIONED OR UNDESIGNED BY THIS SET OF PLANS.
  21. THE CONTRACTOR SHALL SITE, INSTALL, AND MAINTAIN ADEQUATE CONTROLS FOR THE SOIL, REFER TO THE ALABAMA HANDBOOK FOR EROSION CONTROL, SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS, LATEST EDITION.

**ISSUED FOR REVIEW**

**REVISIONS**

NO.	DESCRIPTION	DATE
A	ISSUED FOR REVIEW	06/03/21
B	ADDRESSING COUNTY COMMENTS	06/23/21


LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2021-017  
DRAWN BY: JLG  
CHECKED BY: CJL  
DATE: 06/03/2021  
APPROVED BY: CJL  
SCALE: 1"=30'  
ENGR: CJL

PLANTATION RV PARK PHASE 2  
GRADING, DRAINAGE & EROSION CONTROL PLAN  
FOLEY, AL  
OWNER: JASON & KAREN SLATEN

SHEET NUMBER: 4 OF 7

06/23/2021



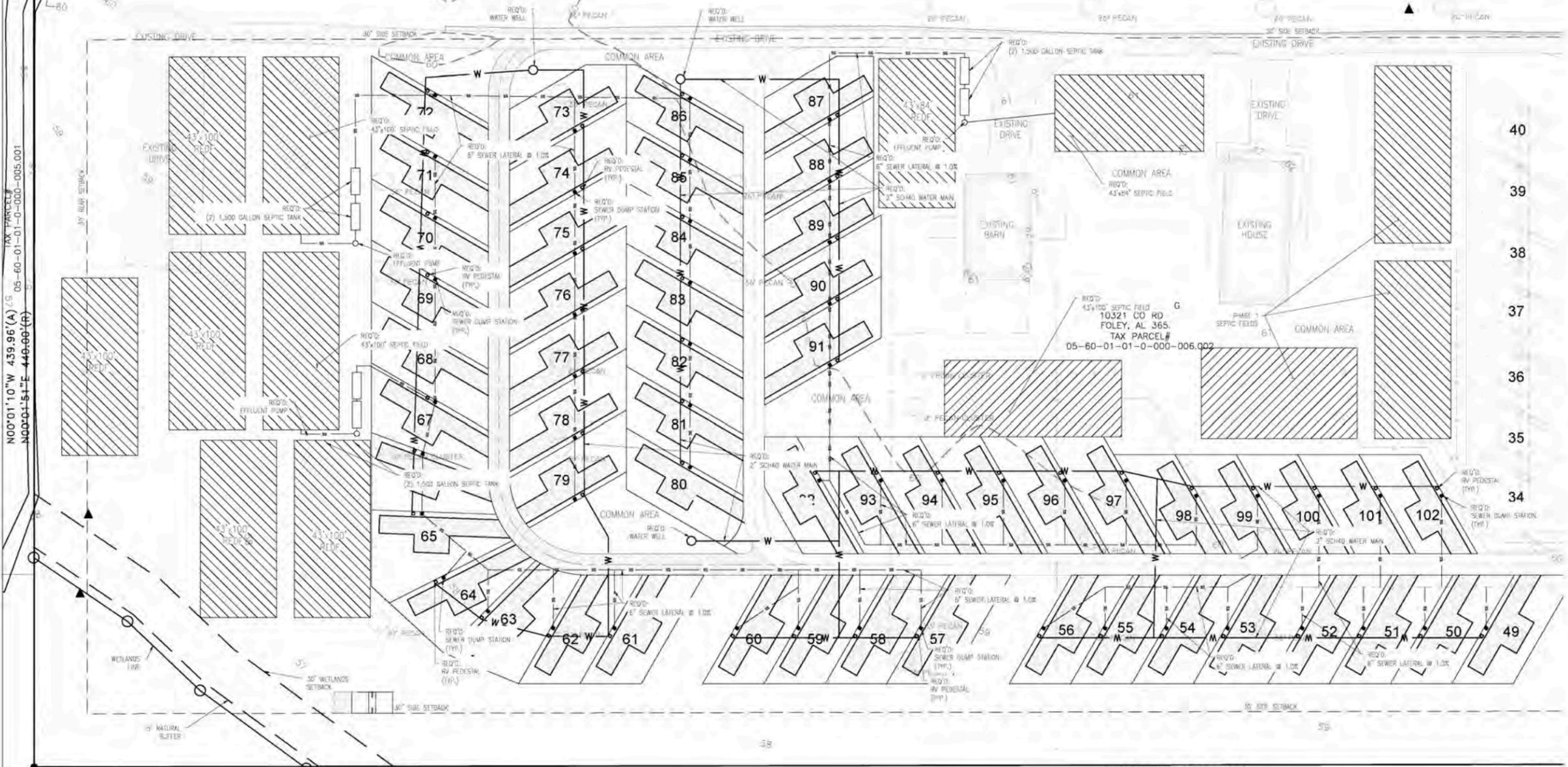
0 30' 60'  
SCALE 1"=30'

MIZELL, DUSTIN YORK  
310 E ORANGE AVE  
FOLEY, AL 36535  
TAX PARCEL#  
05-60-01-01-0-000-006.006

N89°53'57"E 1289.80'(A)  
N89°53'38"E 1289.19'(R)

TURF PROPERTIES #3 L L C  
C/O R TAYLOR  
FAIRHOPE, AL 36533  
TAX PARCEL#  
05-60-01-01-0-000-005.001

N00°01'10"W 439.96'(A)  
N00°01'51"E 440.00'(R)



S89°53'56"W 1289.14'(A)  
S89°53'38"W 1289.23'(R)

TURF PROPERTIES #4 L L C  
C/O R TAYLOR  
FAIRHOPE, AL 36533  
TAX PARCEL#  
05-60-01-01-0-000-006.007

TURF PROPERTIES #3 L L C  
C/O R TAYLOR  
FAIRHOPE, AL 36533  
TAX PARCEL#

ISSUED  
FOR  
REVIEW

REVISIONS		
A	ISSUED FOR REVIEW	06/03/21
B	ADDRESSING COUNTY COMMENTS	06/23/21



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ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER	DRAWN BY: JLG	DATE: 06/03/2021	SCALE: 1"=30'
2021-017	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

PLANTATION RV PARK PHASE 3  
UTILITY PLAN  
FOLEY, AL  
OWNER: JASON & KAREN SLATEN

SHEET NUMBER  
5 OF 7

C5.0 R



06/23/2021



STATE OF ALABAMA  
COUNTY OF BALDWIN

THIS IS TO CERTIFY THAT I, JASON SLATEN, AS THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE SITE PLAN, AND THAT I HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREIN, FOR THE USES AND PURPOSE HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED; AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

OWNER

STATE OF ALABAMA  
COUNTY OF BALDWIN

I, \_\_\_\_\_, A NOTARY PUBLIC IN AND FOR THE COUNTY OF BALDWIN IN THE STATE OF ALABAMA DO CERTIFY THAT WHOSE NAME IS SUBSCRIBED TO THE CERTIFICATE OF OWNERSHIP AND DEDICATION, APPEARED BEFORE ME THIS DAY IN PERSON AND ACKNOWLEDGED THAT HE SIGNED, SEALED AND DELIVERED SAID INSTRUMENT AT HIS FREE AND VOLUNTARY ACT FOR THE USES AND PURPOSE HEREIN SET FORTH.

GIVEN UNDER MY HAND AND NOTARIAL SEAL THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

NOTARY PUBLIC

**CERTIFICATE OF APPROVAL BY THE COUNTY PLANNING AND ZONING COMMISSION**

THE UNDERSIGNED, AS \_\_\_\_\_ OF BALDWIN COUNTY PLANNING AND ZONING COMMISSION, HEREBY CERTIFIES THAT, AT ITS MEETING OF \_\_\_\_\_ THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION APPROVED THE WITHIN SITE PLAN FOR THE RECORDING OF THE SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

BY: \_\_\_\_\_  
BALDWIN COUNTY PLANNING AND ZONING COMMISSION  
ITS: \_\_\_\_\_

**CERTIFICATE OF APPROVAL BALDWIN COUNTY ENGINEER**

THE UNDERSIGNED, AS COUNTY ENGINEER OF BALDWIN COUNTY, ALABAMA, HEREBY APPROVES THE WITHIN SITE PLAN FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_

COUNTY ENGINEER

**SURVEYOR'S CERTIFICATION**

RECORD DESCRIPTION:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 1, TOWNSHIP 8 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA, THENCE RUN SOUTH 00 DEGREES 00 MINUTE 00 SECONDS EAST 3803.36 FEET TO A POINT; THENCE RUN SOUTH 89 DEGREES 53 MINUTES 38 SECONDS WEST 30.00 FEET TO THE WEST RIGHT-OF-WAY LINE OF COUNTY ROAD #65 AND THE POINT OF BEGINNING; THENCE RUN SOUTH 00°04'01" WEST ALONG SAID WEST RIGHT-OF-WAY A DISTANCE OF 439.95 FEET TO A POINT; THENCE RUN SOUTH 89°53'34" WEST A DISTANCE OF 1289.14 FEET TO A POINT; THENCE RUN NORTH 00°01'10" WEST A DISTANCE OF 439.96 FEET TO A POINT; THENCE RUN NORTH 89°53'57" EAST A DISTANCE OF 1289.80 FEET TO THE POINT OF BEGINNING, BEING A TOTAL AREA OF 13.02 ACRES, MORE OR LESS, AND LOCATED IN SECTION 1, TOWNSHIP 8 SOUTH, RANGE 3 EAST, BALDWIN COUNTY, ALABAMA.

I, JUSTIN PALMER, A REGISTERED SURVEYOR OF BALDWIN COUNTY COUNTY, ALABAMA, HEREBY CERTIFY THAT I HAVE SURVEYED THE PROPERTY OF BALDWIN DEVELOPMENT CORPORATION, THE OWNER, SITUATED IN BALDWIN COUNTY, ALABAMA.

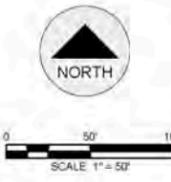
I HEREBY CERTIFY THAT ALL PARTS OF THE SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE REQUIREMENTS OF THE MINIMUM TECHNICAL STANDARDS FOR THE PRACTICE OF LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

JUSTIN PALMER  
ALA. LIC. NO. 34934

DATE

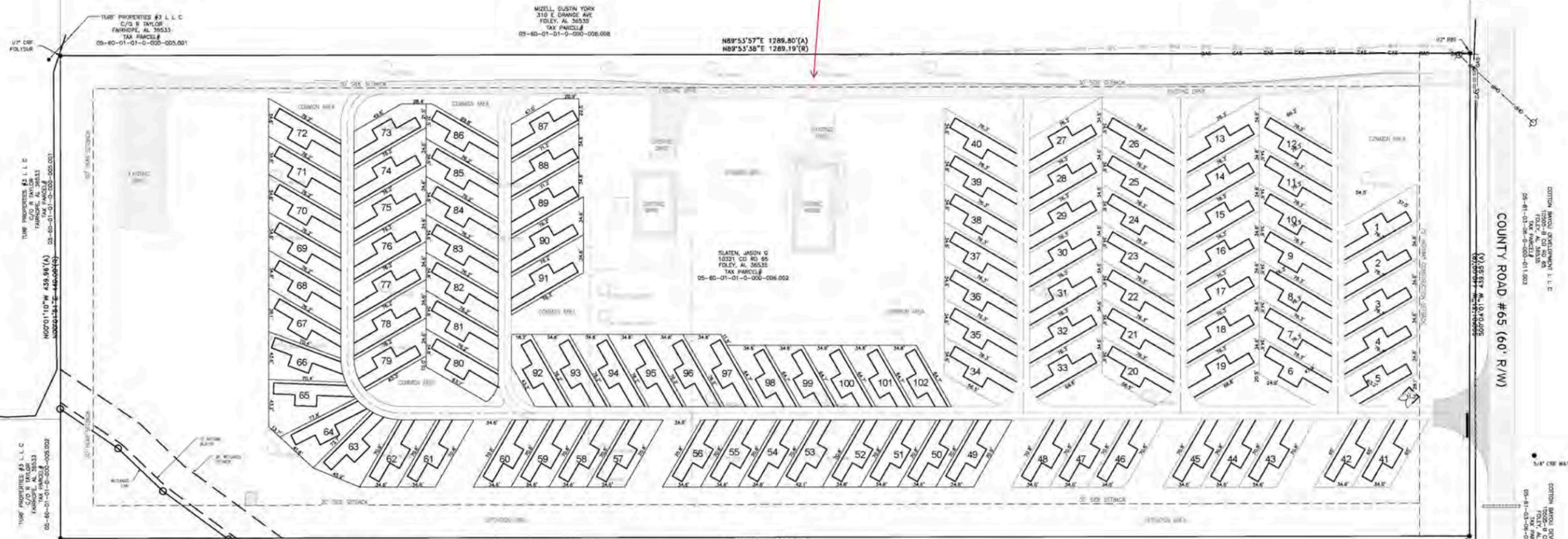
**FLOOD ZONE:**

THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION, COMMUNITY PANEL NUMBER #27 FOR BALDWIN COUNTY MO. MAP NUMBER 3103L0227M AS PER REVISION 1 MAP DATED APRIL 19, 2019.



COORDINATE THIS AREA TO REFLECT HOW IT IS DRAWN ON THE PHASE I DRAWINGS - UPDATE THROUGHOUT THIS PLAN SET

PLEASE IDENTIFY THE PHASE LINES ON THIS SITE PLAN "PLAT" INCLUDE CERTIFICATES OF APPROVAL OF THE UTILITY PROVIDERS, BALDWIN COUNTY HEALTH DEPARTMENT, E911, ANY MORTGAGES ON THE PROPERTY, AND ANY CERTIFICATES REQUIRED BY THE CITY OF FOLEY (AS APPLICABLE)



Unit Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area	Parcel #	Area
49	2123 57	2123 65	2720 73	2136 82	2286 90	2286 99	2286 100	1940								
50	2123 58	2123 66	2182 74	2286 83	2286 9	2286 10	2286 100	1940								
51	2123 59	2123 67	2128 75	2286 84	2286 93	2286 101	2286 101	1940								
52	2123 60	2123 68	2286 76	2286 85	2286 94	2286 102	2286 102	1940								
53	2581 61	2123 69	2286 77	2286 86	2277 95	2286 206	2286 206	2186								
54	2123 62	2123 70	2286 78	2286 87	2009 96	2286 207	2286 207	2052								
55	2123 63	2464 71	2286 79	2147 88	2135 97	2286										
56	2123 64	2144 72	2286 80	2286 89	2135 98	1940										

REVISIONS	ISSUED FOR REVIEW	08/23/21
A		

**LIEB ENGINEERING COMPANY**  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2021-017  
DRAWN BY: JLG  
CHECKED BY: CJL  
DATE: 06/03/2021  
APPROVED BY: CJL  
SCALE: 1"=50'  
ENGR: CJL

PLANNING PHASE I  
OVERALL MASTER PLAN  
FOLEY, AL  
OWNER: JASON & KAREN SLATEN

SHEET NUMBER: 7 OF 7

ISSUED FOR REVIEW

0701A  
8/23/2021

Baldwin County Planning and Zoning Commission  
Case No. S-21082 – Castiblanco Subdivision  
Development Permit  
Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 7.c

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This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021 Development Permit Approval  
Pending

**Attachments:** Vicinity Map  
Site Map  
Proposed Plat

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 14 – Unzoned

**Location of Property:** The subject property is located on the east side of County Road 9 approximately 850 feet south of County Road 28 in the Marlow community near Summerdale

**Parcel Number(s):** 05-55-03-08-0-001-036.000 (PIN 18492)

**Report Prepared By:** J. Buford King, MPA, LEED AP; Development Review Planner

**III. SUBDIVISION PROPOSAL:**

**Proposed number of Lots:** 2

**Linear Feet of Streets:** N/A

**Total Acreage:** ± 0.81 acres

**Lot Sizes:** Lot 1: ± 0.41 acres  
Lot 2: ± 0.40 acres

**Owner/Developer:** Castiblanco Properties  
20523 Bohemian Hall Road  
Silverhill, AL 36576

**Surveyor:** David E. Diehl, PLS  
S.E. Civil Engineering and Surveying  
880 Holcomb BLVD  
Fairhope, AL 36532

**Request:** The applicant is requesting Development Permit approval for the above-mentioned subdivision from the Baldwin County Planning and Zoning Commission.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:** Water: Fairhope Public Utilities  
Sewer: Baldwin County Sewer Service  
Electricity: Baldwin EMC  
Telephone: Centurylink

**Transportation:** The proposed lots front upon County Road 9, an existing Baldwin County-maintained paved road.

**V. STAFF COMMENTS:**

- A traffic study was not required as the requested number of lots is less than the 50 lots required to “trigger” a traffic study
- No wetlands occur on or within 100’ of the subject property
- Larry Smith, PE of S.E. Civil prepared a drainage narrative for subject property indicating no drainage infrastructure or improvements are required for the proposed two-lot subdivision.
  - The drainage narrative was accepted by Baldwin County Highway Department staff
- This subdivision “triggers” the requirement for a shared driveway, which was constructed along CR 9 prior to submission of the subdivision application.
  - Alterations and/or additional improvements to this driveway may be required by the Baldwin County Highway Department before the subdivision plat is signed
    - Additional permitting for the driveway has been submitted to Highway for review
  - See conditions of approval (below) regarding the shared driveway.

**VI. RECOMMENDATIONS:**

Staff recommends that the Development Permit application for Case No. S-21082, Castiblanco Subdivision be **APPROVED subject to compliance with the Baldwin County Subdivision Regulations and with the following** contingency items: listed below shall be cured

1. Completion of any alterations or modifications of the existing shared driveway to the satisfaction of the Baldwin County Highway Department shall be accomplished preceding signatures applied to the plat by Baldwin County staff.
2. Contingency number 1 shall be cured by 8:00AM CST on November 1, 2021 (60 days from the date of Planning Commission approval).

This Development Permit approval will be **AUTOMATICALLY WITHDRAWN** if contingency number 1 is not cured by the afore-mentioned date and time or the development fails to comply with any of the contingencies listed above at any time.



June 17, 2021

Weesie Jeffords  
22070 AL-59  
Robertsdale, AL 36567

Re : CASTIBLANCO SUBDIVISION – Drainage Narrative

Dear Weesie:

After evaluating the Castiblanco subdivision, no drainage infrastructure or improvements are required with the added lot line. The residential structures are existing and no additional structures or impervious areas are proposed. There will be no adverse effects with the subdivision of this parcel.

If you have any questions, please let me know.

Sincerely,

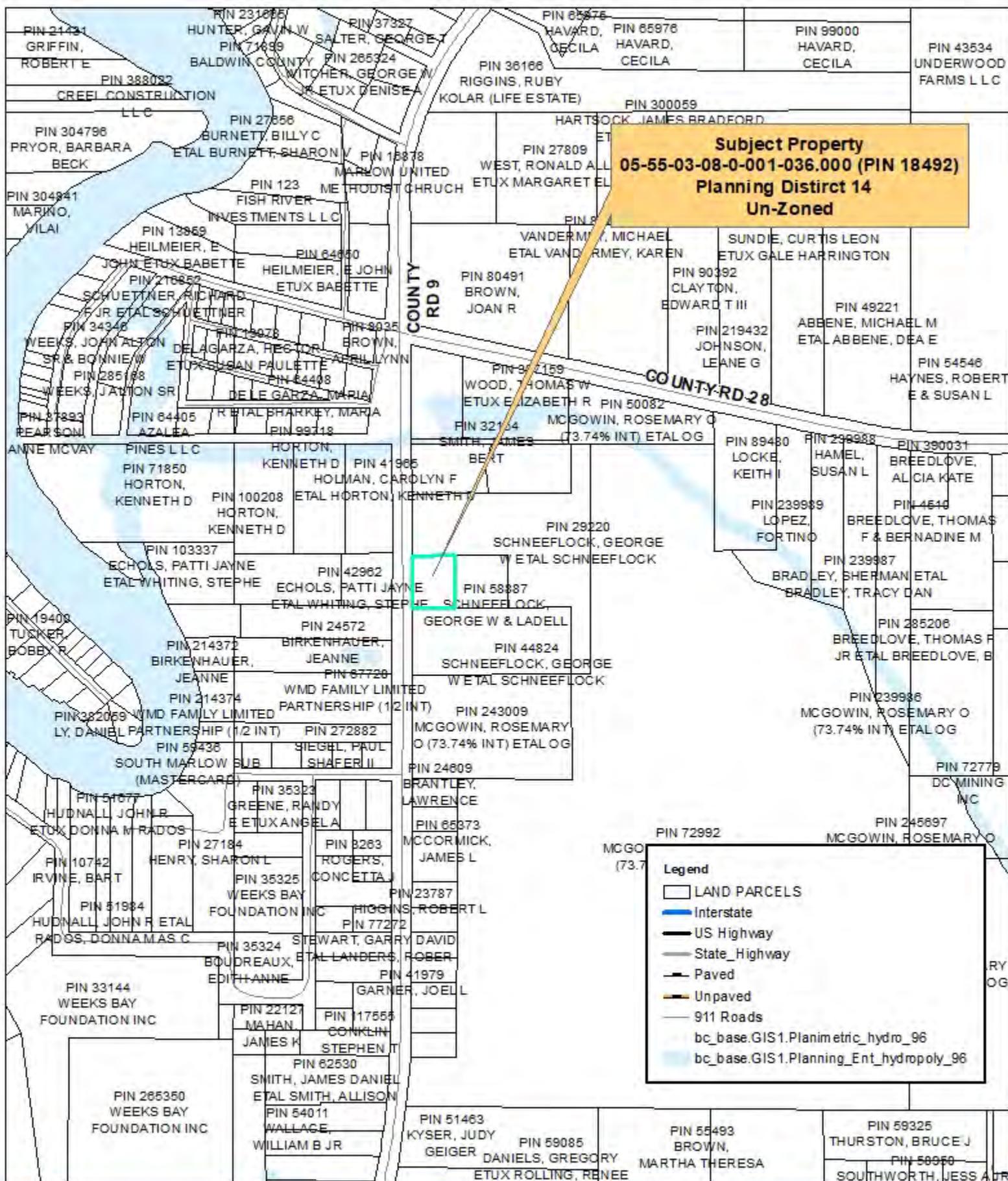
Larry Smith, PE  
Partner



880 Holcomb Blvd., Suite 2F

Fairhope, Alabama 36532

251-990-6566



**S-21082 Castiblanco Subdivision  
Vicinity Map**

**Subject Property**  
05-55-03-08-0-001-036.000 (PIN 18492)  
Planning District 14  
Un-Zoned

COUNTY RD 9

**Legend**

- US Highway
- State\_Highway
- - - Paved
- - - Unpaved
- 911 Roads
- LAND PARCELS



# S-21082 Castiblanco Subdivision Site Map



Baldwin County Planning and Zoning Commission  
Case No. S-21085 – Dyas Family Subdivision  
Variance Request

Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 7.d

This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021 Variance Request Approval Pending  
**Attachments:** Vicinity Map  
Site Map  
Proposed Plat

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 26 – RSF-1 & RSF-2  
**Location of Property:** The subject property is located on the west side of Scenic Highway 98 several hundred feet south of Old Battles Road.  
**Parcel Number(s):** 05-45-07-25-0-000-059.000;  
05-45-07-25-0-000-061.00; 05-45-07-25-0-000-071.000  
**Report Prepared By:** Matthew Brown, Planning Director

**III. SUBDIVISION PROPOSAL:**

**Proposed number of Lots:** N/A – Potential Future Exempt Family Subdivision  
**Linear Feet of Streets:** N/A  
**Total Acreage:** ± 3.14 acres  
**Smallest Lot Size:** N/A  
**Owner/Developer:** DCF, LLC (by Manager, Charles Dyas)  
636 Tuthill Lane  
Mobile, AL 36608  
**Surveyor:** N/A

**Request:** The applicant is requesting a variance from Section 4.2(a) of the Baldwin County Subdivision Regulations which requires that each parcel of a family subdivision “shall have its own ingress/egress and utility access or easement that runs with the land of not less than

30 feet in width.” Access to the property in question exceeds 30 feet for most of the access length, however, the property narrows to just below 30 feet in one area.

#### **IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:** N/A – Potential Future Exempt Family Subdivision

**Transportation:** Though not expressly required in Alabama Code § 11-24-2, the Subdivision Regulations requires a minimum 30-foot access to any parcels resulting from a family subdivision. This authority to require access is contemplated by the language of Alabama Code § 18-3-1 and the corresponding public policy against creating landlocked properties.

#### **V. STAFF COMMENTS:**

##### Items for consideration:

A variance shall not be approved unless there are findings based upon the evidence presented in each specific case that:

(a) The granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property.

Staff does not believe the granting of a variance in this particular case will be detrimental to the public safety, health or welfare or injurious to other property because the variance request is the best method determined by staff to allow an applicant to avail himself or herself to the powers granted under Alabama Code § 11-24-2 for family subdivisions, since access does in fact currently exist for the property, but is just below the 30 feet required in one small area.

(b) The conditions upon which the request for a variance is based are unique to the property for which the variance is sought.

No features unique to the property for which a variance is required could be identified by staff and in this particular situation this section is not necessarily applicable.

(c) Because of the physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.

Access to the property in question exceeds 30 feet for most of the access length, however, the property narrows to just below 30 feet in one area.

(d) The variance will not in any manner vary the provisions of other adopted policies and regulations of the Baldwin County Commission.

No impact expected. The spirit of the public policy access requirements is maintained.

(e) Inconvenience, financial concerns, or self-imposed conditions shall not be considered as a hardship for the purpose of granting the variance.

The only consideration in this case is allowing an applicant to avail himself or herself to the powers granted under Alabama Code § 11-24-2 for transfers or property to immediate family members and the public policy interest against creating landlocked properties.

**V. STAFF COMMENTS:**

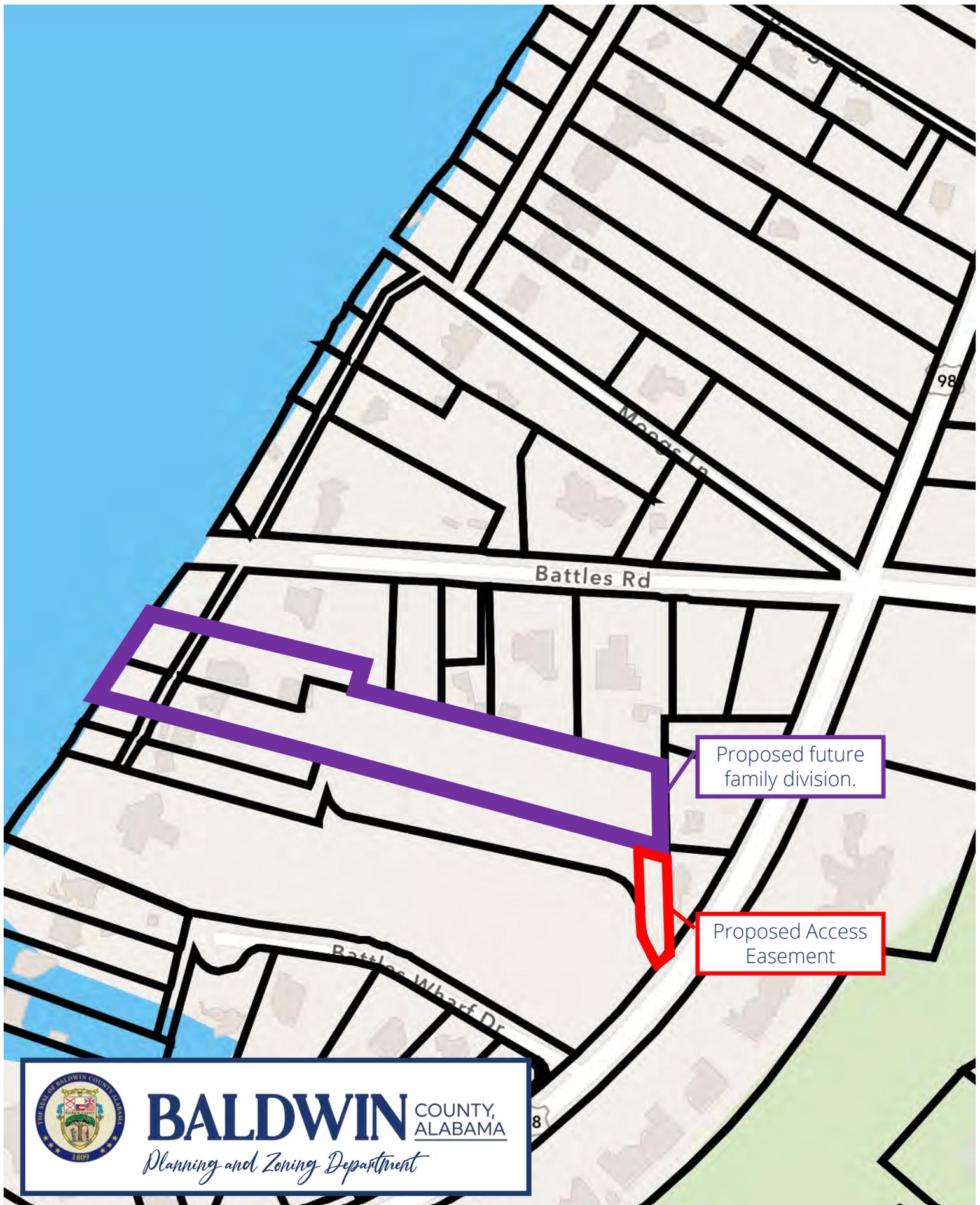
Items for consideration:

- Generally, variances are not available for exempt subdivisions because exempt subdivisions are exempt and therefore there should be no requirement from which a variance is required. The access requirement for family subdivisions under Section 4.2(a) is grounded in public policy interests against creating landlocked properties. In this situation, the proposed future family division will have access that meets the 30-foot requirement except in a small area. The public policy purpose of the access requirement is preserved by granting a variance in this situation.

**VI. RECOMMENDATIONS:**

- Staff recommends that the variance for Case No. S-21085 be approved contingent on the valid transfer of property to an immediate family member pursuant to the requirements of Section 4.2(a) of the Baldwin County Subdivision within 12 months of the granting of the variance.

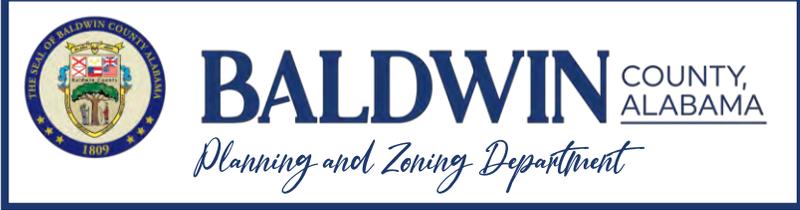
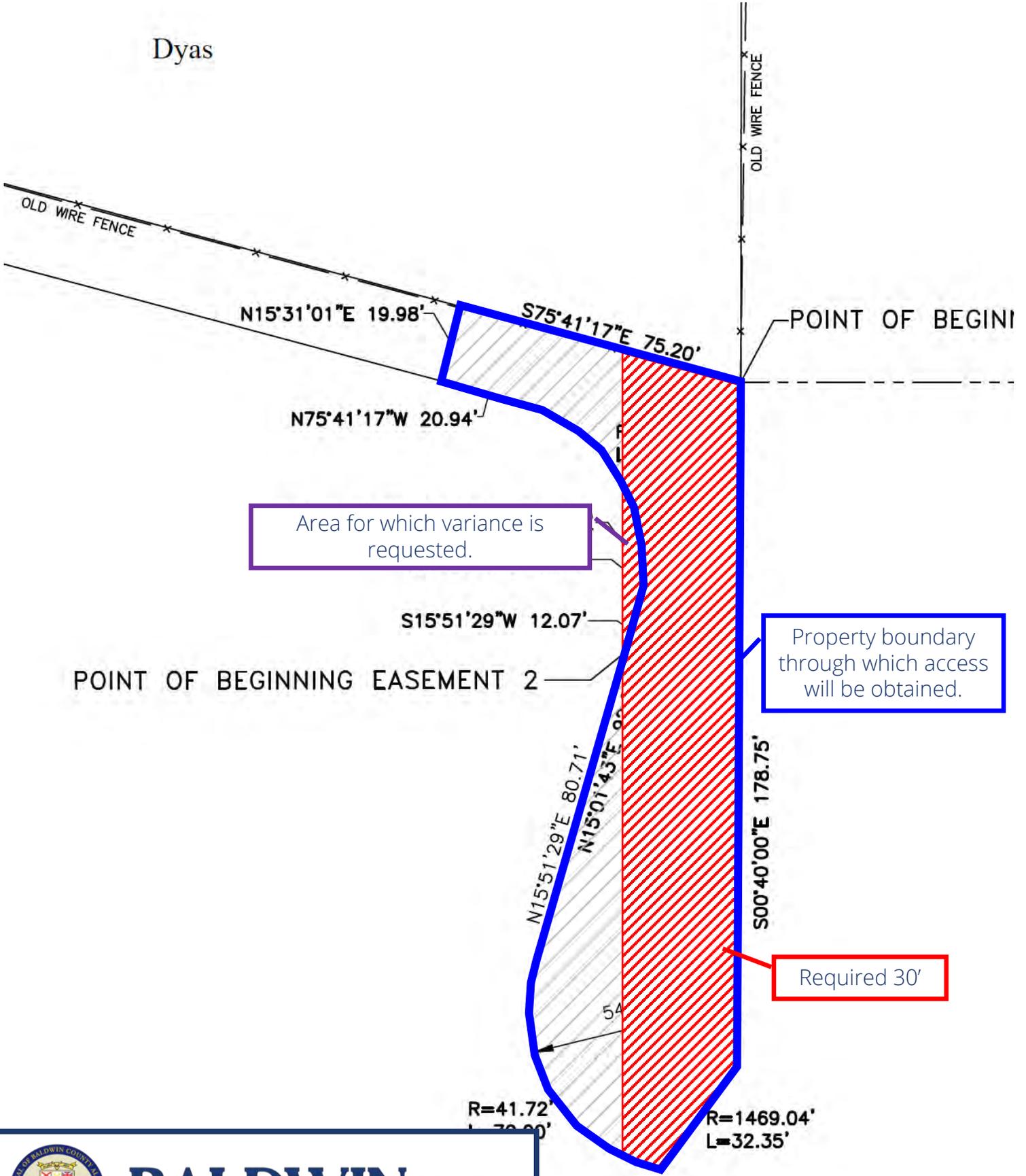




**BALDWIN** COUNTY, ALABAMA  
*Planning and Zoning Department*

Site Map B – Variance Request for S-21085

Dyas



Baldwin County Planning and Zoning Commission  
Case No. S-21087 – Two Lakes RV Park Phase One  
Variance Request Approval  
Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 7.e

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This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021

Variance Request Approval Pending

**Attachments:** Vicinity Map  
Site Map  
Proposed Site Plan

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 30 – RV2 zoning with PRD

**Location of Property:** The subject property is located on the west side of Roscoe Road approximately 1,000 feet north of Bradford Road, approximately 1,200 feet west of the Foley Beach Express

**Parcel Number(s):** 05-61-07-35-0-000-007.000 (PIN 16828)

**Report Prepared By:** J. Buford King, MPA, LEED AP; Development Review Planner

**III. SUBDIVISION PROPOSAL:**

**Proposed number of RV spaces:** 45

**Linear Feet of Streets:** 1,284 linear feet (50' private ROW)

**Total Acreage:** ± 11.64 acres

**Lot (RV Space) Sizes:** Smallest Space ± 0.07 acres (3,188 sf)

**Owner/Developer:** Mr. Ray Lee  
Two Lakes, LLC  
7883 Delta Woods Drive  
Bay Minette, AL 36507

**Engineer of Record (EOR):** Mr Chris Lieb, PE  
Lieb Engineering Co., LLC  
1290 Main Street Suite E  
Daphne, AL 36526

**Request:** The applicant is requesting a Variance from the minimum lot size requirements of Article 5, section 5.1.1 of the Baldwin County Subdivision regulations to allow the creation of lot sizes that complement the Planned Residential Development (PRD) approved on August 17, 2021 by the Baldwin County Commission.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:**

Water:	Gulf Shores Utilities
Sewer:	Gulf Shores Utilities
Electricity:	Baldwin EMC
Gas:	Riviera Utilities
Telephone:	CenturyLink

**Transportation:** The proposed planned development fronts upon Roscoe Road, an existing Baldwin County-maintained paved road with 60’ ROW.

**V. STAFF COMMENTS:**

The Two Lakes RV Park is a development for which numerous applications and approvals are required for the development function as desired by the applicant. Please note the following:

- Case number Z-21023, rezoning of subject property from B-3 General Business District to RV-2, Recreational Vehicle Park District was approved by the Baldwin County Commission on August 17, 2021 via resolution number 2021-099. The Baldwin County Commission agenda item related to this action is available for download here: [Baldwin County Commission - File #: 21-1176 \(legistar.com\)](#)
- Case number Z-21026, approval of a Planned Residential Development (PRD) site plan for subject property was approved by the Baldwin County Commission on August 17, 2021 via resolution 2021-100. The Baldwin County Commission agenda item related to this action is available for download here: [Baldwin County Commission - File #: 21-1187 \(legistar.com\)](#)
- Case number S-21089 contemplates a Planned Development as contemplated by Article 9 of the *Baldwin County Subdivision Regulations* and will be considered separately from this variance request.
- A “traditional” subdivision, case number S-21087 complements the Planned Development Site Plan and if approved will create lots of record that will contain each RV space. The RV space “lot” size is established on the approved PRD site plan
  - The RV Park Planned Development Site Plan, the PRD Site Plan, and the “traditional” subdivision work together to create a development where the RV spaces are located on lots of record, the streets within the development are private streets as contemplated by the Planned Development process, and the open space requirements of a Planned Development are reflected on the site plan and contained within common areas included within the “traditional” subdivision plat
  - This variance request complements the “traditional” subdivision case and requests a variance to the minimum lot size requirement of the subdivision regulations (7,500sf) so that the lot sizes contemplated by the PRD site plan are reconciled with the subdivision approval.
    - Staff’s vetting and current level of understanding of the *Baldwin County Subdivision Regulations* indicates that a zoning approval of a PRD with lot sizes less than that contemplated by the subdivision regulations does not automatically supersede the requirements of the subdivision regulations, and thus a variance is required from the subdivision regulations to reconcile the PRD with the proposed subdivision plat

A variance shall not be approved unless there are findings based upon the evidence presented in each specific case that:

(a) The granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property.

- Staff does not believe the granting of a variance in this particular case will be detrimental to the public safety, health or welfare or injurious to other property because all necessary features for the approval and operation of an RV Park (drainage, access, utilities, etc.) are captured within the Planned Development site plan or will be addressed in the “traditional” subdivision approval as well as construction plans review for the development. The purpose of this variance request is to reconcile the lot sizes allowed by the approved PRD with the subdivision plat onto which each “lot” will receive an RV space.

(b) The conditions upon which the request for a variance is based are unique to the property for which the variance is sought.

- The purpose of this variance request is to reconcile the lot sizes allowed by the approved PRD with the subdivision plat onto which each “lot” will receive an RV space. The PRD approval may be considered a condition unique to the property because a PRD is a standalone approval unique to the properties that receive PRD approval and is only granted on a case-by-case basis.

(c) Because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations are carried out;

- This variance request is not a typical variance request where some type of hardship is purported by the applicant. As a result, this criterion is not necessarily applicable because the purpose of this variance request is to reconcile the lot sizes allowed by the approved PRD with the subdivision plat onto which each “lot” will receive an RV space.

(d) The variance will not in any manner vary the provisions of other adopted policies and regulations of the Baldwin County Commission.

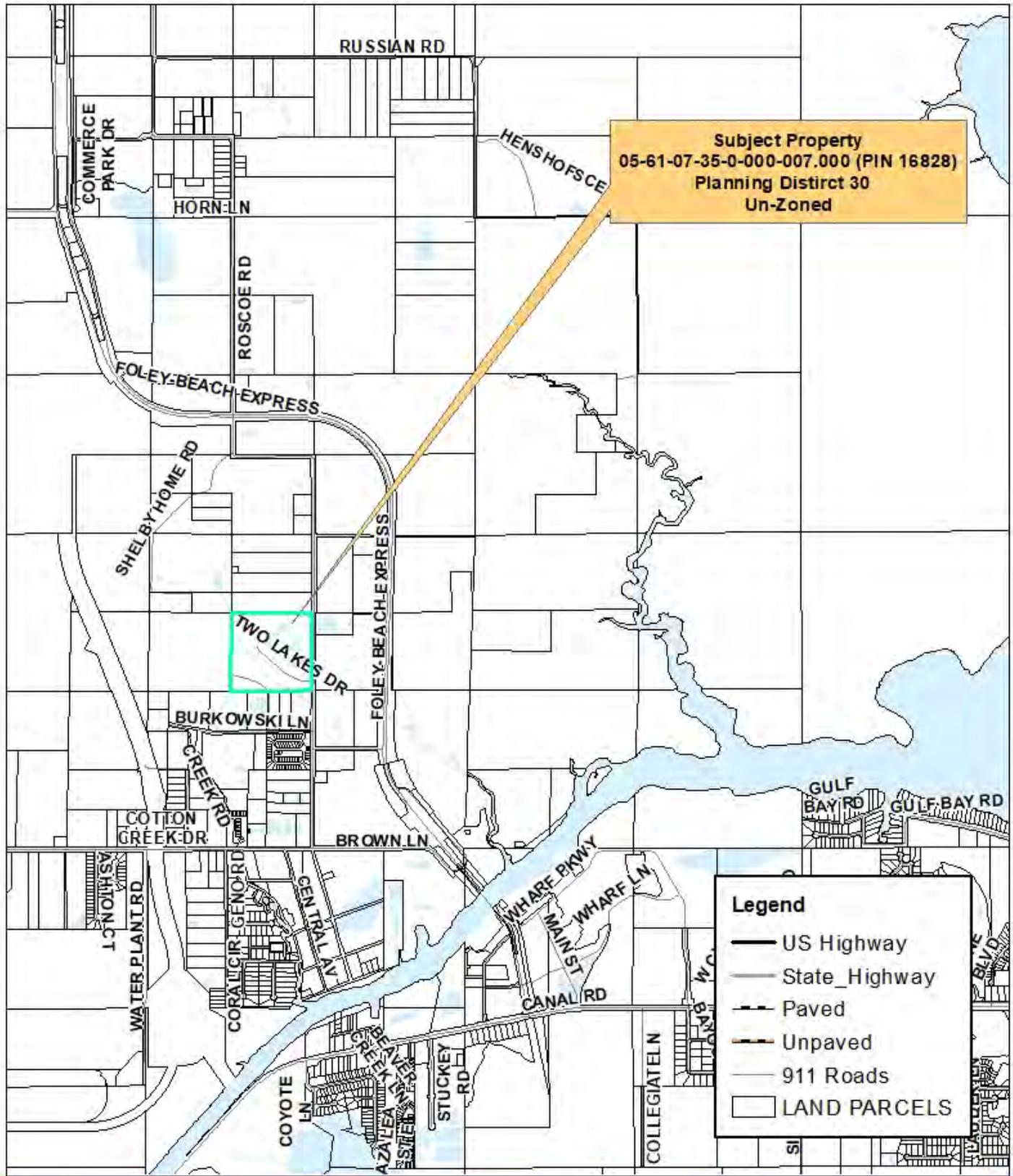
- No impact expected

(e) Inconvenience, financial concerns, or self-imposed conditions shall not be considered as a hardship for the purpose of granting the variance.

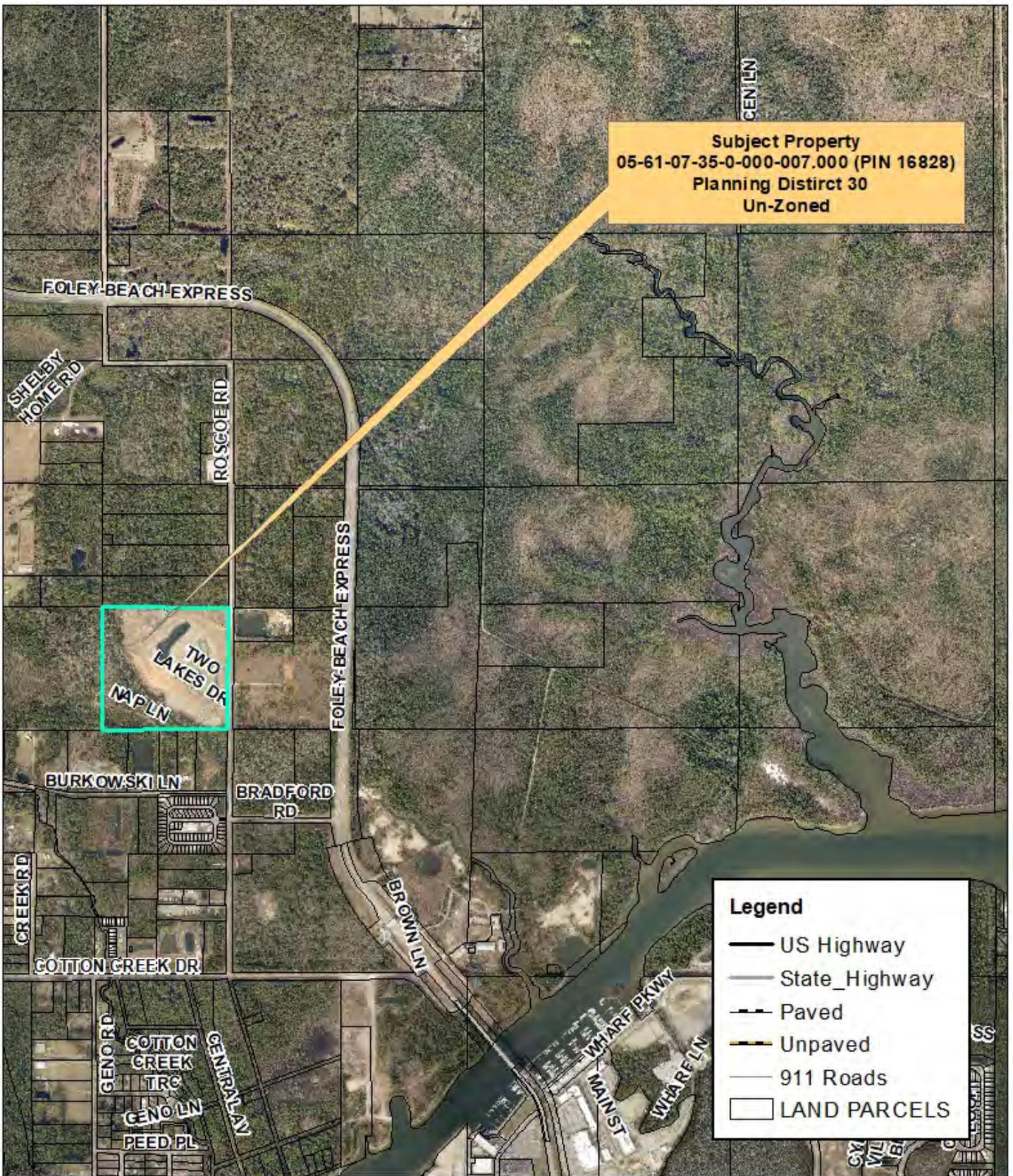
- This variance request is not a typical variance request where some type of hardship is purported by the applicant. As a result, this criterion is not necessarily applicable because the purpose of this variance request is to reconcile the lot sizes allowed by the approved PRD with the subdivision plat onto which each “lot” will receive an RV space.

**VI. RECOMMENDATIONS:**

Staff recommends that the requested variance from section 5.1.1 of the Baldwin County Subdivision regulations to allow the lot sizes contemplated by the previously approved Planned Residential Developed (PRD) Site Plan, adopted via resolution number 2021-100 by the Baldwin County Commission on August 17, 2021, related to the proposed Two Lakes RV Park Phase One be **APPROVED** to allow the lot sizes depicted in the attached subdivision plat, which reconciles the allowable lot sizes within the previously-approved PRD.



S-21087 Two Lakes RV Park  
 Variance Vicinity Map



Subject Property  
 05-61-07-35-0-000-007.000 (PIN 16828)  
 Planning District 30  
 Un-Zoned

TWO LAKES DR  
 NAP LN

**Legend**

- US Highway
- State\_Highway
- Paved
- Unpaved
- 911 Roads
- LAND PARCELS



S-21087 Two Lakes RV Park  
 Variance Site Map

589°30'59"E 1333.55'(R&A) TAX PARCEL# 05-61-07-35-0-000-003.003

NOT CAPPEL  
NEARBY FIGURES  
IN RED BOLD



**CURVE TABLE CENTERLINE**

CURVE	RADIUS	ARC	CHORD	CHORD BEARING
CL-1	252.00'	166.90'	185.24'	S74°42'00"W
CL-2	512.00'	138.03'	137.80'	S56°13'29"W
CL-3	287.00'	189.23'	185.84'	S31°42'33"W

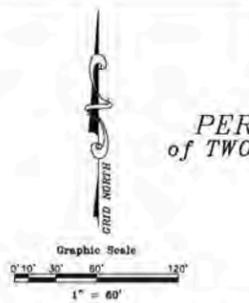
**CURVE TABLE**

CURVE	RADIUS	ARC	CHORD	CHORD BEARING
C1	492.81'	222.84'	230.77'	N76°49'08"W
C2	537.50'	171.72'	171.20'	N85°13'29"W
C3	412.00'	222.76'	220.05'	S53°00'47"E
C4	182.00'	116.84'	114.85'	S30°08'33"W
C5	228.84'	82.50'	81.80'	N57°42'30"E
C6	325.00'	46.60'	46.59'	S59°23'14"E
C7	308.10'	185.89'	186.08'	S49°00'12"W
C8	406.00'	197.40'	188.85'	N67°41'39"E
C9	564.38'	209.54'	208.34'	S10°28'19"E
C10	25.00'	38.87'	35.36'	N89°29'52"E
C11	28.00'	38.87'	35.36'	S02°30'00"E
C12	407.00'	199.72'	198.36'	S34°13'25"E
C13	270.00'	130.91'	131.22'	S78°43'06"E
C14	488.00'	213.20'	211.84'	N76°42'06"W
C15	637.00'	168.33'	168.82'	S59°13'29"E
C16	382.00'	211.94'	209.37'	S33°00'47"E

N89°45'22"W 1321.64'(R&A)

TAX PARCEL# 05-61-07-35-0-000-010.020 TAX PARCEL# 05-61-07-35-0-000-010.010 TAX PARCEL# 05-61-07-35-0-000-010.009 TAX PARCEL# 05-61-07-35-0-000-010.008

**VICINITY MAP**  
(NOT TO SCALE)



**PERLIMINARY PLAT**  
of TWO LAKES OF ALABAMA  
PHASE ONE

**SURVEY LEGEND**

● - CAPPEL REBAR SET (WOODLANDS DA-1073)	○ - CAPPEL REBAR FOUND
R/W - RIGHT-OF-WAY	RF - REBAR FOUND
B.S.L. - BUILDING SETBACK LINES	CTP - CRAPPED TOP PIPE FOUND
	OTP - OPEN TOP PIPE FOUND

**WOODLANDS**  
GROUP  
Surveying Solutions

**CERTIFICATE OF APPROVAL BY BALDWIN COUNTY EMC:**  
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

**CERTIFICATE BY NOTARY PUBLIC:**  
STATE OF ALABAMA  
COUNTY OF BALDWIN  
\_\_\_\_\_, NOTARY PUBLIC AND FOR THE COUNTY OF BALDWIN, IN THE STATE OF ALABAMA, HEREBY CERTIFY THAT \_\_\_\_\_

WHOSE NAME AS \_\_\_\_\_ OF TWO LAKES L.L.C., IS SIGNED TO THE FOREGOING INSTRUMENT, AND WHO IS KNOWN TO ME, ACKNOWLEDGED BEFORE ME ON THIS DAY THAT, BEING INFORMED OF THE CONTENT OF THE INSTRUMENT, AND AS SUCH OFFICER AND WITH FULL AUTHORITY, EXECUTED THE SAME VOLUNTARILY FOR AND AS THE ACT OF SAID CORPORATION.

GIVEN UNDER MY HAND AND NOTORIAL SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

**GULF SHORES PLANNING COMMISSION ENDORSEMENT:**  
APPROVED BY THE CITY OF GULF SHORES PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

**CERTIFICATE OF OWNERSHIP AND DEDICATION:**  
STATE OF ALABAMA  
COUNTY OF BALDWIN  
THIS IS TO CERTIFY THAT I (WE), THE UNDERSIGNED, AM (ARE) THE OWNER(S) OF THE LAND SHOWN AND DESCRIBED IN THE PLAT, AND THAT I (WE) HAVE CAUSED THE SAME TO BE SURVEYED AND SUBDIVIDED AS INDICATED HEREON, FOR THE USES AND PURPOSES HEREIN SET FORTH AND DO HEREBY ACKNOWLEDGE AND ADOPT THE SAME UNDER THE DESIGN AND TITLE HEREON INDICATED, AND GRANT ALL EASEMENTS AND DEDICATE ALL STREETS, ALLEYS, WALKS, PARKS AND OTHER OPEN SPACES TO PUBLIC OR PRIVATE USE AS NOTED, TOGETHER WITH SUCH RESTRICTIONS AND COVENANTS NOTED BELOW OR ATTACHED IN A SEPARATE LEGAL DOCUMENT.

**CERTIFICATION BY GULF SHORES UTILITIES:**  
THE UTILITIES BOARD OF THE CITY OF GULF SHORES HEREBY CERTIFIES THAT, AS OF THE DATE OF THIS CERTIFICATION, POTABLE WATER SERVICE IS NOT AVAILABLE AND SANITARY SEWER SERVICE IS NOT AVAILABLE TO THE PROPERTY DESCRIBED BY THIS PLAT TAKEN AS A WHOLE. THE BOARD DOES NOT CERTIFY THAT THE INFRASTRUCTURE NECESSARY TO PROVIDE POTABLE WATER SERVICE AND SANITARY SEWER SERVICE TO THE INDIVIDUAL LOTS SHOWN ON THIS PLAT HAS BEEN INSTALLED AS OF THE DATE OF THIS CERTIFICATION OR WILL BE INSTALLED IN THE FUTURE. FURTHER, THE BOARD MAKES NO STATEMENT REGARDING AND ASSUMES NO RESPONSIBILITY FOR ANY PARTICULARS OF THIS PLAT NOT ASSOCIATED WITH PROVISIONS OF POTABLE WATER AND SANITARY SEWER SERVICE TO THE PROPERTY DESCRIBED BY THIS PLAT TAKEN AS A WHOLE AND HEREBY AFFIRMATIVELY DISCLAIMS ANY SUCH RESPONSIBILITY.

**CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (WATER):**  
THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

**CERTIFICATE OF APPROVAL BY THE COORDINATOR OF COMMUNITY DEVELOPMENT OF GULF SHORES ALABAMA:**  
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**REQUIRED SETBACKS: UTILITY PROVIDERS:**  
FRONT: 30 FT WATER SERVICE: CITY OF GULF SHORES  
REAR: 30 FT SEWER SERVICE: CITY OF GULF SHORES  
SIDE: 10 FT ELECTRIC SERVICE: BALDWIN COUNTY EMC  
SIDE STREET: 15 FT TELEPHONE SERVICE: CENTURIONLINK  
GAS SERVICE: RIVIERA UTILITIES

**DEVELOPER:**  
TWO LAKES, LLC  
7865 DELTA WOODS DRIVE  
BAY MINNIE, ALABAMA 36507  
C/O MR. RAY LEE

**DEVELOPER:**  
THE WOODLANDS GROUP, LLC  
PO BOX 213 MONTROSE, AL 36559  
JUSTIN PALMER, PLS LIC. NO. 34934

**DEVELOPER:**  
LIER ENGINEERING COMPANY  
P.O. BOX 2286  
FAIRHOPE, AL 36533

**DEVELOPER:**  
PLANNED UNIT DEVELOPMENT

**CERTIFICATE OF APPROVAL BY THE GULF SHORES PLANNING COMMISSION:**  
APPROVED BY THE CITY OF GULF SHORES PLANNING COMMISSION, BY APPROVAL OF THIS SUBDIVISION PLAT THE PLANNING COMMISSION OF THE CITY OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR SURVEY ERRORS OR FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THE PLAT, AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

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REAR: 30 FT SEWER SERVICE: CITY OF GULF SHORES  
SIDE: 10 FT ELECTRIC SERVICE: BALDWIN COUNTY EMC  
SIDE STREET: 15 FT TELEPHONE SERVICE: CENTURIONLINK  
GAS SERVICE: RIVIERA UTILITIES

**DEVELOPER:**  
TWO LAKES, LLC  
7865 DELTA WOODS DRIVE  
BAY MINNIE, ALABAMA 36507  
C/O MR. RAY LEE

**DEVELOPER:**  
THE WOODLANDS GROUP, LLC  
PO BOX 213 MONTROSE, AL 36559  
JUSTIN PALMER, PLS LIC. NO. 34934

**DEVELOPER:**  
LIER ENGINEERING COMPANY  
P.O. BOX 2286  
FAIRHOPE, AL 36533

**DEVELOPER:**  
PLANNED UNIT DEVELOPMENT

**PROPERTY DESCRIPTION: (PER SURVEY)**  
COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83 TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°27'22" WEST A DISTANCE OF 103.12 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.64 FEET, A RADIUS OF 495.61 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 63°56'51" WEST A DISTANCE OF 107.66 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 171.72 FEET, A RADIUS OF 637.00 FEET, A CHORD BEARING OF NORTH 56°13'29" WEST, A CHORD LENGTH OF 171.20 FEET; THENCE RUN NORTH 48°30'08" WEST A DISTANCE OF 455.59 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.76 FEET, A RADIUS OF 495.61 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 45°10'32" EAST A DISTANCE OF 57.78 FEET TO A POINT; THENCE RUN NORTH 78°16'53" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 118.84 FEET, A RADIUS OF 182.00 FEET, A CHORD BEARING OF SOUTH 33°00'47" EAST, A CHORD LENGTH OF 114.85 FEET; THENCE RUN SOUTH 48°30'08" EAST A DISTANCE OF 68.33 FEET TO A POINT; THENCE RUN NORTH 41°29'52" EAST A DISTANCE OF 42.08 FEET TO A POINT; THENCE RUN SOUTH 48°30'16" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 82.02 FEET, A RADIUS OF 229.94 FEET, A CHORD BEARING OF NORTH 51°42'51" EAST, A CHORD LENGTH OF 81.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 46.60 FEET, A RADIUS OF 525.00 FEET, A CHORD BEARING OF NORTH 59°23'14" EAST, A CHORD LENGTH OF 46.59 FEET TO A POINT; THENCE RUN SOUTH 33°09'20" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 165.80 FEET, A RADIUS OF 605.10 FEET, A CHORD BEARING OF NORTH 49°00'12" EAST, A CHORD LENGTH OF 165.08 FEET TO A POINT; THENCE RUN NORTH 41°09'43" EAST A DISTANCE OF 80.50 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 190.40 FEET, A RADIUS OF 405.00 FEET, A CHORD BEARING OF NORTH 27°41'39" EAST, A CHORD LENGTH OF 188.65 FEET TO A POINT; THENCE RUN EAST A DISTANCE OF 74.82 FEET TO A POINT; THENCE RUN SOUTH A DISTANCE OF 160.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 209.54 FEET, A RADIUS OF 564.26 FEET, A CHORD BEARING OF SOUTH 10°36'19" EAST, A CHORD LENGTH OF 208.34 FEET TO A POINT; THENCE RUN SOUTH 89°27'22" EAST A DISTANCE OF 120.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD, THENCE RUN SOUTH 0°32'38" WEST A DISTANCE OF 583.77 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING, ALL BEING A TOTAL OF 118.84 ACRES MORE OR LESS AND LOCATED ENTIRELY IN THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA.

**SURVEYOR'S NOTES:**  
1. UNLESS STATED OTHERWISE HEREDON, THIS PLAT WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH OF THE PROPERTY.  
2. REPRODUCTIONS OF THIS PLAT ARE NOT VALID UNLESS SEALED WITH AN ORIGINAL SURVEYOR'S SEAL.  
3. TYPE OF SURVEY - BOUNDARY SURVEY & SUBDIVISION PLAT  
4. ALL BEARINGS BASED ON GLOBAL POSITIONING SYSTEM OBSERVATION USING THE NORTH AMERICAN DATUM OF 1983. ALL DISTANCES SHOWN ARE GROUND DISTANCES. ALL MEASUREMENTS WERE MADE IN ACCORDANCE WITH U.S. STANDARD FEET.  
5. THE 1' CONTOURS AND SPOT ELEVATIONS SHOWN HEREDON ARE REFERENCED TO NAVD83 (GEOID 128) USING RTK GPS OBSERVATION FROM THE ALDOT CORS STATION DESIGNATION "FOLEY" AND HAVE A VERTICAL ACCURACY OF ±0.5'.  
6. THE WETLAND INFORMATION SHOWN HEREDON WAS SCALED FROM INFORMATION PROVIDED BY OTHERS. THIS FIRM HAS NOT PERFORMED A WETLAND SITE ASSESSMENT OF ANY KIND.  
7. FIELD WORK WAS PERFORMED 8/27/2020.

**SURVEYOR'S CERTIFICATION:**  
STATE OF ALABAMA, COUNTY OF BALDWIN  
I, JUSTIN PALMER, A LICENSED PROFESSIONAL SURVEYOR IN BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS PLAT AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

JUSTIN PALMER, PLS DATE: 8/27/2021  
AL LICENSE NO. 34934  
CERTIFICATE OF AUTHORIZATION - 1073 - LS

THE WOODLANDS GROUP, LLC  
22581 US HWY. 98, FAIRHOPE, AL 36532  
PHONE: 251-929-4774

CLIENT: RAY LEE  
FIELD WORK: BY: CC, MW DATE: 8/27/2020  
DRAWN BY: KJ DRAWING NO.: 19000-1  
CHECKED BY: JF SHEET 1 OF 1  
SCALE: 1"=60'

**PRELIMINARY PLAT**  
TWO LAKES OF ALABAMA, PHASE ONE  
TAX PARCEL #05-61-07-35-0-000-007, 000  
ROSCOE, GULF SHORES, BALDWIN COUNTY, ALABAMA  
SECTION-85, TOWNSHIP-8-SOUTH, RANGE-4-EAST

**REFERENCE MATERIAL**

DATE	DESCRIPTION
8/28/2019	RECORD DEED INSTRUMENT #1375956
7/21/2018	RECORD DEED INSTRUMENT #1807276
6/20/1986	RECORD DEED INSTRUMENT #142652
3/14/2018	BOUNDARY SURVEY BY SAWGRASS CONSULTING, LLC

**STATE OF ALABAMA**

**COUNTY OF BALDWIN**

**RESOLUTION # 2021-099**

DETERMINATION OF THE BALDWIN COUNTY COMMISSION, REGARDING **Case No. Z-21023, Two Lakes LLC Property** SUCH DETERMINATION AS AUTHORIZED PURSUANT TO SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975).

**WHEREAS**, Raymond Lee has petitioned the Baldwin County Commission to rezone certain property, in Planning (Zoning) District No. 30, for property identified herein and described as follows:

40 AC(C) SE1/4 OF NW1/4 LESS RD R/W SEC 35-T8S-R4E (ST WD)

Otherwise known as tax parcel number, **05-61-07-35-0-000-007.000**, as found in the office of the Revenue Commissioner of Baldwin County, Alabama; and

**WHEREAS**, the petitioner has requested that the property herein identified be rezoned from B-3, General Business District, to RV-2, Recreational Vehicle Park District; and

**WHEREAS**, the Baldwin County Planning and Zoning Commission held a public hearing on July 8, 2021, and voted to recommend approval of the rezoning request; and

**WHEREAS**, the Baldwin County Commission held a public hearing on August 17, 2021; and

**WHEREAS**, the requirements of SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975), regarding procedures to consider this rezoning request, which would affect the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, have been met; now therefore

**BE IT RESOLVED, BY THE BALDWIN COUNTY COMMISSION, IN REGULAR SESSION ASSEMBLED**, That the petitioner’s request to rezone the property (Case No. Z-21023, Two Lakes LLC Property) as herein identified and described and as found within the confines of Planning (Zoning) District No. 30 from B-3, General Business District, to RV-2, Recreational Vehicle Park District which amends the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, is hereby **APPROVED**.

DONE, Under the Seal of the County Commission of Baldwin County, Alabama, on this the **17<sup>th</sup>** day of **August 2021**.

**ADOPTION OF MINUTES PENDING**

Honorable Joe Davis, III, Chairman

ATTEST

**ADOPTION OF MINUTES PENDING**

Wayne Dyess, County Administrator

STATE OF ALABAMA

COUNTY OF BALDWIN

RESOLUTION # 2021-100

DETERMINATION OF THE BALDWIN COUNTY COMMISSION, REGARDING **Case No. Z-21026, Two Lakes LLC Property, Phase 1 Planned Residential Development (PRD) Site Plan** SUCH DETERMINATION AS AUTHORIZED PURSUANT TO SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975).

**WHEREAS**, Raymond Lee has petitioned the Baldwin County Commission to approve a Planned Residential Development (PRD) Site Plan, in Planning (Zoning) District No. 30, for property identified herein and described as follows:

**PROPERTY DESCRIPTION: (PER SURVEY)**

COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83' TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°27'22" WEST A DISTANCE OF 103.12 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.64 FEET, A RADIUS OF 495.81 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 63°56'51" WEST A DISTANCE OF 107.66 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 171.72 FEET, A RADIUS OF 637.00 FEET, A CHORD BEARING OF NORTH 56°13'29" WEST, A CHORD LENGTH OF 171.20 FEET; THENCE RUN NORTH 48°30'08" WEST A DISTANCE OF 455.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.76 FEET, A RADIUS OF 412.00 FEET, A CHORD BEARING OF NORTH 33°00'47" WEST, A CHORD LENGTH OF 220.05 FEET; THENCE RUN NORTH 72°28'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE RUN NORTH 45°10'32" EAST A DISTANCE OF 57.78 FEET TO A POINT; THENCE RUN NORTH 78°16'53" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 116.84 FEET, A RADIUS OF 182.00 FEET, A CHORD BEARING OF SOUTH 30°06'37" EAST, A CHORD LENGTH OF 114.85 FEET; THENCE RUN SOUTH 48°30'08" EAST A DISTANCE OF 68.33 FEET TO A POINT; THENCE RUN NORTH 41°29'52" EAST A DISTANCE OF 42.08 FEET TO A POINT; THENCE RUN SOUTH 48°30'16" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 82.02 FEET, A RADIUS OF 229.94 FEET, A CHORD BEARING OF NORTH 51°42'51" EAST, A CHORD LENGTH OF 81.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 46.60 FEET, A RADIUS OF 525.00 FEET, A CHORD BEARING OF NORTH 59°23'14" EAST, A CHORD LENGTH OF 46.58 FEET TO A POINT; THENCE RUN SOUTH 33°09'20" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 165.60 FEET, A RADIUS OF 605.10 FEET, A CHORD BEARING OF NORTH 49°00'12" EAST, A CHORD LENGTH OF 165.08 FEET TO A POINT; THENCE RUN NORTH 41°09'43" EAST A DISTANCE OF 60.50 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 190.40 FEET, A RADIUS OF 405.00 FEET, A CHORD BEARING OF NORTH 27°41'39" EAST, A CHORD LENGTH OF 188.65 FEET TO A POINT; THENCE RUN EAST A DISTANCE OF 76.42 FEET TO A POINT; THENCE RUN SOUTH A DISTANCE OF 160.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 209.54 FEET, A RADIUS OF 564.26 FEET, A CHORD BEARING OF SOUTH 10°38'19" EAST, A CHORD LENGTH OF 208.34 FEET TO A POINT; THENCE RUN SOUTH 89°27'22" EAST A DISTANCE OF 120.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD; THENCE RUN SOUTH 0°32'38" WEST A DISTANCE OF 583.77 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING, ALL BEING A TOTAL OF 11.64 ACRES MORE OR LESS AND LOCATED ENTIRELY IN THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA.

Otherwise known as tax parcel number, **05-61-07-35-0-000-007.000**, as found in the office of the Revenue Commissioner of Baldwin County, Alabama; and

**WHEREAS**, the petitioner has requested Planned Residential Development (PRD) Site Plan Approval for a development to be known as Two Lakes LLC, Phase 1; and

**WHEREAS**, the Baldwin County Planning and Zoning Commission held a public hearing on July 8, 2021, and voted to recommend approval; and

**WHEREAS**, the Baldwin County Commission held a public hearing on August 17, 2021; and

**WHEREAS**, the requirements of SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975), regarding procedures to consider this PRD request, which would affect the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, have been met; now therefore

**BE IT RESOLVED, BY THE BALDWIN COUNTY COMMISSION, IN REGULAR SESSION ASSEMBLED**, That the petitioner's request for Planned Residential Development (PRD) Site Plan Approval (Case No. Z-21023, Two Lakes LLC Property) as herein identified and described and as found within the confines of Planning (Zoning) District No. 30, which amends the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, is hereby **APPROVED**.

DONE, Under the Seal of the County Commission of Baldwin County, Alabama, on this the 17<sup>th</sup> day of **August 2021**.

**ADOPTION OF MINUTES PENDING**

Honorable Joe Davis, III, Chairman

*ATTEST*

**ADOPTION OF MINUTES PENDING**

Wayne Dyess, County Administrator



**LIEB ENGINEERING**  
C O M P A N Y

1290 Mains Street Suite E  
Daphne, AL 36526  
Phone: 251 978-9779

**Owner/Applicant:** Two Lakes, LLC, Ray Lee (Owner)  
7883 Delta Woods Dr, Bay Minette, AL 36507

Lieb Engineering, Chris Lieb (Applicant)  
1290 Main Street Suite E, Daphne, AL 36526  
(251) 978-9779, [clieb@liebengineering.com](mailto:clieb@liebengineering.com)

**Address of Property:**  
5651 Roscoe Road

**Tax Parcel:**  
05-61-07-35-0-000-007.000

**PPIN:**  
016828

## I. GENERAL INFORMATION

**Request:** **Preliminary PRD Approval**

Lieb Engineering, on behalf of Two Lakes LLC, requests recommendation to Planning Commission for preliminary PRD approval to rezone 39.97 acres from B-3 to RV-2 PRD for a Recreational Vehicle development containing 109 lots.

**Legal Description:**

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN S89° 45'23"E, 1365.70 FEET TO THE POINT OF BEGINNING; THENCE RUN N00°05'08"W, 1312.02 FEET TO A POINT; THENCE RUN S89°30'59"E, 1333.55 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF ROSCOE ROAD; THENCE RUN S00°26'06"W, ALONG SAID WEST RIGHT-OF-WAY LINE 1306.42 FEET TO A POINT; THENCE RUN N89°45'23"W, LEAVING SAID WEST RIGHT-OF-WAY LINE, 1321.64 FEET TO THE POINT OF BEGINNING. CONTAINING 39.90 ACRES MORE OR LESS.



The following table summarizes the proposed PUD.

<i>Description</i>	<i>Recreational Vehicle Sites</i>
Number of Lots	109 (45 Phase 1)
Average Lot Size	3,300 SF
Minimum Lot Size	3,200 SF
Maximum Lot Size	3,439 SF
Average Lot Width	42 feet
Minimum Lot Width	40 feet
Maximum Lot Width	45 feet
Front Setback	5 feet
Rear Setback	0 feet
Side Setbacks	0 feet
Building Height	Maximum 40'
Parking	1 RV parking space per lot 1 passenger vehicle parking space per lot.
Right-of-Way Width	50 feet
Roadway Width	30 feet
Sidewalks	No



## II. PRD MASTER PLAN REVIEW

The Zoning Ordinance states that an approved PRD shall be considered a separate zoning district in which development plans, as approved, establish the specific restrictions and regulations customized to fit the type of plan proposed by which the development shall be governed. Restrictions may be greater or lesser than the ones otherwise imposed by the Zoning Ordinance and Subdivision Regulations to achieve a development with fits the County's Comprehensive Plan and PRD Design Standards.

1. **Density:** The criteria for establishing an average density includes the land use plan for the area, existing surrounding density, density permitted by the existing zoning classification, adequacy of existing and proposed public facilities and services and site characteristics. Density must generally conform to the requirements as set out in Article 4 of this ordinance and conform to the Comprehensive Plan.

- Total units proposed: 109 lots
- Total acreage: 39.97 acres
- Density proposed: 2.23 lots or units/acre

Under the Planning Commission's Approval, a 130 lot RV park is approved. Section 5.6 establishes maximum density of 6 units per acre. The proposed PRD is less than 3 units per acre and a total of 109 lots.

2. **Common Open Space:** At least 20% of the area covered by a Final Development Plan shall be landscaped or provide common open space owned and operated by the owner/developer or dedicated to a homeowner association or similar group.

The project will have open space along with preserving the wetlands. The common open space will total at least 30 percent of the total development.

The development will have recreational amenities that will include a clubhouse, swimming pool, pickle ball court, two lakes and a playground.

The development will have a property owners association that will own and maintain the right-of-way and open space.

3. **Access and Parking:** All streets, thoroughfares and access ways shall be designed to effectively relate to the major thoroughfare plans of the City of Gulf Shores. Adequate off-street parking shall generally conform to the off-street parking requirements set forth in the Zoning Ordinance unless otherwise approved.



**LIEB ENGINEERING**  
C O M P A N Y

1290 Mains Street Suite E  
Daphne, AL 36526  
Phone: 251 978-9779

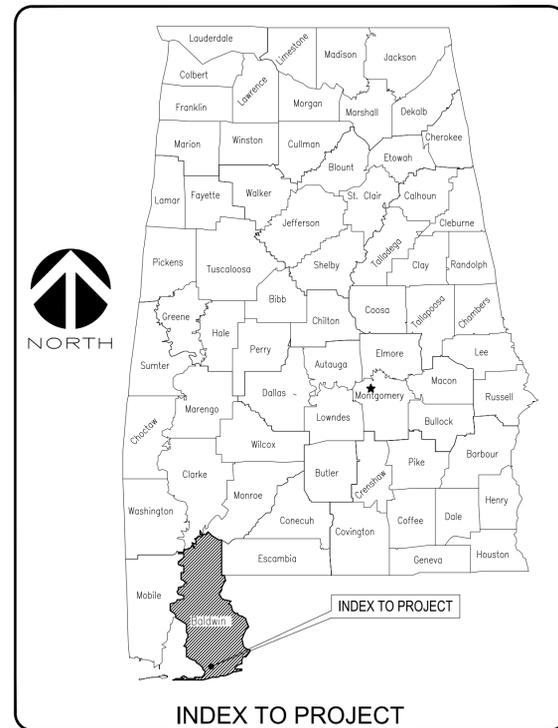
### III. DEVIATIONS FROM THE ZONING ORDINANCE AND SUBDIVISION REGULATIONS

1. The PRD proposes the following deviations to the Zoning Ordinance:
  - Lot Size: The minimum lot size in RV-2 is 5,000 SF. All RV lots will be below this requirement. The average cottage lot size is 3,300 SF with the range between 3,200 SF and 3,500 SF.
  
2. The PRD proposes the following deviations to the Subdivision Regulations:
  - Sidewalks: All lots will front on a sidewalk as required by the Subdivision Regulations. There will be no sidewalks as part of this development. Street lighting will be provided, and the applicant ensures that lighting details will be provided with the preliminary plat submittal.

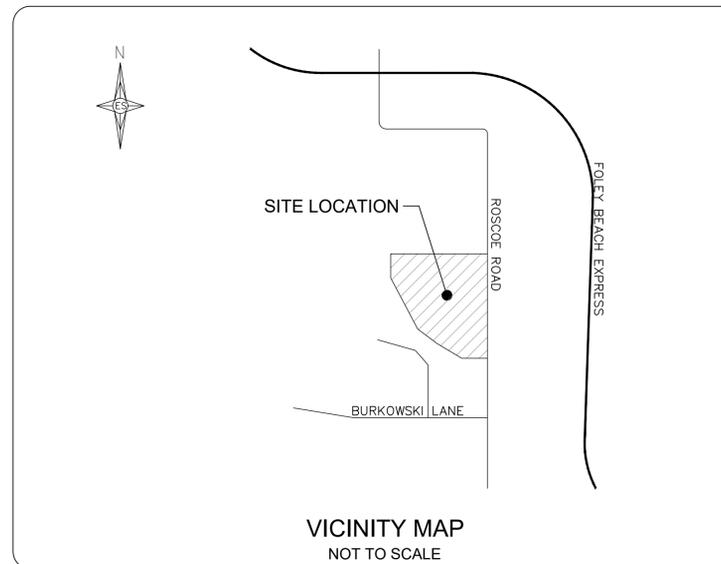
**LIEB ENGINEERING**  
C O M P A N Y

# TWO LAKES PHASE ONE

5651 ROSCOE RD  
GULF SHORES, AL 36542



INDEX TO PROJECT  
STATE MAP  
NOT TO SCALE



VICINITY MAP  
NOT TO SCALE

### INDEX TO SHEETS:

SHEET NO.	SHEET NAME
C 1.0	COVER SHEET
C 2.0	CIVIL GENERAL NOTES
C 2.1	PHASING PLAN
C 3.0	EXISTING CONDITIONS
C 4.0	SITE PLAN
C 5.0	GRADING & DRAINAGE PLAN
C 6.0	UTILITY PLAN
C 7.0	EROSION CONTROL PLAN
C 8.0	CIVIL DETAILS
C 9.0	CIVIL DETAILS
C 10.0	TYPICAL SECTION
C 11.0	PROFILE VIEWS
C 12.0	SECTIONS
C 13.0	SECTIONS
C 14.0	TREE PROTECTION PLAN

### PROJECT CONTACT INFORMATION:

**OWNER:**  
TWO LAKES LLC.  
7883 DELTA WOODS DR.  
BAY MINETTE, AL 36507

**ENGINEER:**  
LIEB ENGINEERING COMPANY, LLC  
1290 MAIN STREET SUITE E  
DAPHNE, AL 36526  
(251) 978-9779  
CONTACT: CHRIS LIEB, PE

**SURVEYOR:**  
THE WOODLANDS GROUP, LLC  
PO BOX 213  
MONTROSE, AL 36559  
(601) 479-3408

### UTILITY PROVIDERS

WATER: CITY OF GULF SHORES  
POWER: BALDWIN EMC  
GAS: RIVIERA UTILITES  
SEWER: CITY OF GULF SHORES

THE HOA/POA WILL MAINTAIN PRIVATE COMMON AREAS, BUILDINGS OR OTHER FACILITIES, INCLUDING COPIES OF ALL LEGAL DOCUMENTS NECESSARY TO ACCOMPLISH THIS.

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

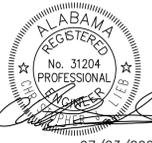


LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE	
TITLE SHEET	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C1.0 B
1 OF 14	



**GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION.
- CONSTRUCTION SITE SAFETY, INCLUDING ALL ADEQUATE TEMPORARY BRACING AND SHORING, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO LIEB ENGINEERING IMMEDIATELY. THE CONTRACTOR SHALL EXERCISE DUE CARE TO PROTECT THEM FROM DAMAGE DURING EXCAVATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXCAVATIONS SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT OSHA STANDARDS AND SPECIFICATIONS.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019.
- SURVEY DATA WAS COMPILED FROM A TOPOGRAPHIC SURVEY PROVIDED BY WOODLAND GROUP AND BOUNDARY BY GOODWYN, MILLS & CAWOOD.

**SITE DEMOLITION NOTES:**

- ALL EXISTING IMPROVEMENTS SHALL REMAIN WITHIN THE LIMITS OF CONSTRUCTION UNLESS SPECIFICALLY NOTED, TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ITEMS TO BE SALVAGED, REMOVED AND REUSED, ETC. CONTRACTOR TO USE CAUTION NOT TO DAMAGE THESE ITEMS DURING REMOVAL AND/OR REUSE. ANY DAMAGED ITEMS SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.
- ANY AND ALL UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED OR RELOCATED. COORDINATE WITH UTILITY PROVIDER PRIOR TO REMOVAL/RELOCATION.
- SAWCUT EXISTING HARDSCAPES AT LIMITS OF REMOVAL. ASPHALT PAVING SHALL BE MILLED A MINIMUM OF 8" TO ENSURE A SMOOTH TRANSITION TO PROPOSED ASPHALT PAVING.
- CONTRACTOR TO DISPOSE OF ALL DEMOLITION AND CONSTRUCTION DEBRIS AT LEAST WEEKLY IN AN APPROVED MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.

**LAYOUT NOTES:**

- TOPOGRAPHY AND SITE BOUNDARIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. IMMEDIATELY NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE OUTSIDE FACE OF BUILDING TO THE BACK OF CURB, OR TO THE EDGE OF SURFACING UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
- VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LIEB ENGINEERING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. SCALE IS FOR GUIDELINE PURPOSES ONLY. IF DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
- CONTRACTOR SHALL FOLLOW STATE REQUIREMENTS FOR SURVEY PRACTICES FOR CONSTRUCTION LAYOUT WORK.

**GRADING NOTES:**

- THE LIMITS OF CLEARING SHALL BE AT THE EDGE OF PROPOSED GRADING OR THE PROPERTY LINE, WHICHEVER IS LESS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
- ALL TOP SOIL WITHIN LIMITS OF CONSTRUCTION (5' BEYOND THE BUILDING FOOTPRINT AND 3' BEYOND PAVEMENTS AND WITHIN THE LIMITS OF GRADING) SHALL BE STRIPPED AND STOCKPILED ON SITE IN AN APPROVED MANNER. TOPSOIL SHALL BE SPREAD 6" DEEP ON ALL NON HARDSCAPE AREAS TO BRING TO FINISHED GRADE. ANY EXCESS TOPSOIL SHALL BE DISPOSED OF OFF SITE IN AN APPROVED MANNER.
- IN CUT AREAS, SUBGRADE SHALL BE SCARIFIED A MINIMUM OF 1" AND RECOMPACTED BEFORE PLACING FILL OR ANY OTHER IMPROVEMENTS. RECOMPACTION SHALL MEET THE SPECIFIED DENSITY AND MOISTURE CONTENT IN GRADING NOTE #6 AND #7.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPARED DUE TO INCLEMENT WEATHER AND CONSTRUCTION TRAFFIC.
- ALL STRUCTURAL FILL EXHIBIT SM CLASSIFICATION ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, HAVE A MAXIMUM OF 25% SOIL FINES PASSING THE NO. 200 SIEVE, HAVE A MAXIMUM LIQUID LIMIT (LL) OF 20%, HAVE A PLASTICITY INDEX (PI) OF 0% (NON-PLASTIC), HAVE A MINIMUM STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY OF 110 PCT. MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 100 PERCENT STANDARD PROCTER DENSITY AS PER ASTM-D698, AT A FIELD MOISTURE WITHIN ±3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- PIPE BEDDING SHALL BE "SELECT SAND." THE MATERIAL SHALL CONTAIN LESS THAN 10% PASSING THE #200 SIEVE AND 90% OR LESS PASSING THE #40 SIEVE, BY WEIGHT. MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTER DENSITY AS PER ASTM-D698, AT A FIELD MOISTURE WITHIN ±3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL FOUNDATIONS, PAVING, ETC., ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT SPECIFIED.
- FINISHED GRADES ARE SHOWN ON THIS PLAN. CONTRACTOR SHALL MAKE THE APPROPRIATE HOLDDOWNS FOR SUBGRADE ELEVATIONS.
- STORM DRAINAGE INLETS SHALL BE LOCATED AT THE LOWPOINTS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE FOR PERSONNEL AND VEHICULAR PROTECTION AT ANY OPEN EXCAVATIONS IN ACCORDANCE WITH 29 CFR PART 1928 AS WELL AS ANY REQUIREMENTS FOR EXCAVATIONS GREATER THAN FOUR (4) FEET IN DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ADJACENT TO EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING ALL EXCAVATION OPERATIONS. TYPE OF SHORING AND PROCEDURE TO BE FOLLOWED MAY BE SUBJECT TO THE ENGINEER'S REVIEW BUT THE STRUCTURAL ADEQUACY OF THESE SYSTEMS, AS WELL AS DAMAGES TO THE EXISTING FACILITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM 5 IN THE PAVEMENT AREAS PER 8" LIFTS.
- COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. SAND BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR.
- DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED THROUGHOUT CONSTRUCTION. PONDING AND STANDING WATER SHALL BE KEPT TO A MINIMUM.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY GEOCON ENGINEERING AND MATERIALS TESTING, INC. PROJECT NUMBER DL 1834-19. THIS DOCUMENT IS AVAILABLE FOR REFERENCE. ALL EARTHWORK OPERATIONS SHALL BE COORDINATED WITH THE RECOMMENDATIONS OF THIS REPORT. THE BUILDING FOUNDATIONS, CONCRETE PADS, AND ROADS SHALL BE UNDERCUT TO A MINIMUM DEPTH OF 12 INCHES OR TO A DEPTH THAT WILL ALLOW FOR PLACEMENT OF AT LEAST 18 INCHES OF COMPACTED FILL BELOW THE LOWEST BEARING ELEVATION (WHICHEVER UNDERCUT DEPTH IS DEEPER).

**CONCRETE NOTES:**

- ALL NORMAL WEIGHT CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
- CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE.
- TEST CYLINDERS SHALL BE MADE AND TESTED AS OUTLINED IN THE ACI 301 SPECIFICATION, AND PER PROJECT SPECIFICATIONS.
- REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 AND PLACED IN ACCORDANCE WITH ACI-315, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- FABRICATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315.
- UNLESS OTHERWISE NOTED, CONCRETE COVER FOR REINFORCING BARS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF ACI 318.
- PROVIDE 3/4" BY 45 DEGREE CHAMFER ON ALL EXPOSED CONCRETE EDGES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- TYPE II PORTLAND CEMENT SHALL BE USED IN THE MANUFACTURE OF ALL CONCRETE UNLESS OTHERWISE NOTED. PORTLAND CEMENT SHALL CONFORM TO C150. ONLY ONE BRAND OF CEMENT SHALL BE USED FOR ALL CONCRETE FOR EXPOSED SURFACES OF ADJACENT STRUCTURES.
- AGGREGATE, BOTH COARSE AND FINE, USED IN THE MANUFACTURE OF CONCRETE SHALL CONFORM TO ASTM C33 UNLESS OTHERWISE NOTED.
- CONTRACTOR MAY SUBSTITUTE CONSTRUCTION JOINTS IN LIEU OF CONTROL JOINTS AS NEEDED.
- EXPANSION JOINT MATERIAL SHALL BE BITUMINOUS TYPE PER ASTM D994.
- SEALANT SHALL BE BASF SONOLASTIC SL2, OR OTHER ELASTOMERIC JOINT SEALANT AS APPROVED. ALL SEALANT MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- PAVEMENT SURFACE SHALL HAVE BROOM FINISH.

**STORM DRAINAGE NOTES:**

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO LIEB ENGINEERING PRIOR TO INSTALLATION AND/OR FABRICATION.
- ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT THE LOWPOINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE GRADES AND POINTS OF CONNECTION PRIOR TO INSTALLATION. LIEB ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
- PROPOSED STORM PIPES SHALL BE BEDDED IN 6" OF SAND.
- ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATERTIGHT JOINTS UNLESS OTHERWISE NOTED.
- ALL SLOPE PAVED HEADWALLS SHALL BE PER ALDOT SPECIAL DRAWING #HW-614-SP.

**UTILITY NOTES:**

- THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICES (WATER, ELECTRICAL, TELEPHONE, CABLE TV) FROM THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING.
- REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. PLANS FOR ALL PROPOSED UTILITY POINTS OF CONNECTION AT THE BUILDING.
- BACKFLOW PREVENTION AND METERING SHALL BE PROVIDED ON THE FIRE, DOMESTIC, AND IRRIGATION SERVICES IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY AND FIRE DEPARTMENT'S REQUIREMENTS.
- WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY'S REQUIREMENTS. ALL MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER UNLESS OTHERWISE INDICATED ON PLANS.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PVC SDR 26 UNLESS OTHERWISE REQUIRED BY THE LOCAL UTILITY COMPANY.
- ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN PVC CONDUIT OR CONCRETE ENCASED DUCT BANK WITH PULL WIRE MEETING THE LOCAL UTILITY COMPANY'S REQUIREMENTS. INFORMATION SHOWN ON CIVIL DRAWINGS FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR SPECIFIC INFORMATION.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED FILL PLACED IN 6 INCH LOOSE LIFTS. FILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR AND OPTIMUM MOISTURE CONTENT WITHIN ±3%.
- WHEN INSTALLING UTILITIES IN EXISTING PAVED AREAS OR IN AREAS WHERE SOILS ARE CONSIDERED UNSUITABLE FOR BEDDING OR BACKFILLING, UTILITY TRENCHES SHALL BE BACKFILLED FULL DEPTH WITH SAND.
- WHERE UTILITIES ARE TO BE INSTALLED IN AREAS OF EXISTING PAVING, HARDSCAPE, SIDEWALKS, ETC. CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING PAVING, HARDSCAPE, SIDEWALK ETC. AND REPLACE IN LIKE KIND AND RESTRIPE AS NECESSARY. BACKFILL TRENCH FULL DEPTH WITH SAND.

**TRAFFIC CONTROL NOTES:**

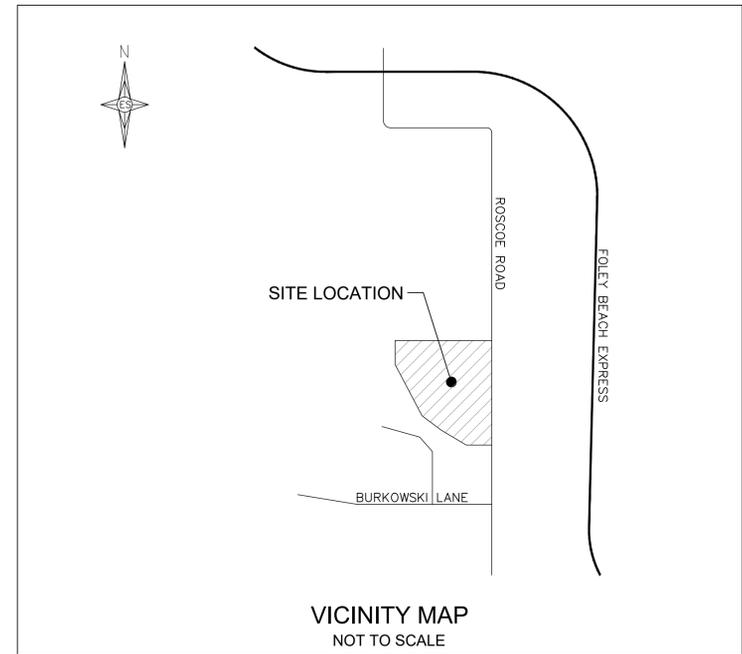
- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISION OF PART VI OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART VI OF THE MUTCD.
- PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR INAPPROPRIATE FOR THE CURRENT CONDITIONS SHALL BE COVERED OR REMOVED.
- THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
- IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SUNSET, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CHANNELIZING DRUM AND TYPE "A" REFLECTIVE SHEETING SHALL BE REQUIRED ON ALL SIGNS.
- HAZARDOUS CONDITIONS ON OPEN ROADWAYS SUCH AS PAVEMENT DROP-OFFS IN EXCESS OF 2"; CONSTRUCTION MATERIALS, VEHICLES, OR EQUIPMENT STORED OR PLACED WITHIN THE ROADWAY RIGHT-OF-WAY; AND OPEN TRENCHES ACROSS OR NEAR THE ROADWAY SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
- THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
- TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE ALDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
- CHANNELIZING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG MINIMUM 20' RADII TO CHANNELIZE TRAFFIC INTO AND OUT OF INTERSECTING ROAD AND DRIVES WITHIN AREAS WHERE CHANNELIZING DEVICES ARE REQUIRED. TEMPORARY REGULATORY SIGNS SUCH AS STOP SIGNS AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.

**EROSION CONTROL NOTES:**

- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF REGISTRATION"(NOR) FROM ADEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONITORING, INSPECTIONS, ETC. TO ENSURE THE OWNER THAT THE SITE IS AT ALL TIMES IN ACCORDANCE WITH ADEM RULES & REGULATIONS. DOCUMENTATION OF INSPECTIONS BY A Q.C.I. OR Q.C.P. SHALL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO THE OWNER AT HIS/HER REQUEST. ANY AND ALL FEES, FINES, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
- EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW WATLES, CHECK DAMS, FILTER BERMS, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
- AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
- DEWATERING OPERATIONS MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
- A GRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
- ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 13 DAYS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH ALDOT SPECIFICATIONS SECTION 652 AND 656.
- ALL PREVIOUSLY GRADED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
- PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND GRAVELED ACCESS DRIVES SHALL BE INSTALLED.
- GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON SITE DAILY TO PREVENT POLLUTION SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PICKUP AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORING CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLICIZING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
- AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT MITIGATED OR UNFORESEEN BY THIS SET OF PLANS.

**ALABAMA ONE-CALL**

THE CONTRACTOR IS REQUIRED TO CALL "ALABAMA ONE-CALL"  
1-800-292-8525 AT LEAST 48 HOURS PRIOR  
TO ANY EXCAVATION AND SHALL EXERCISE EXTREME  
CARE TO AVOID DAMAGING EXISTING UTILITIES.



**ISSUED  
FOR  
REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



**LIEB ENGINEERING  
COMPANY**

LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER. ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938			
JOB NUMBER	DRAWN BY: JLG	DATE: 06/26/2021	SCALE: AS SHOWN
2019-018	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

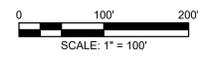
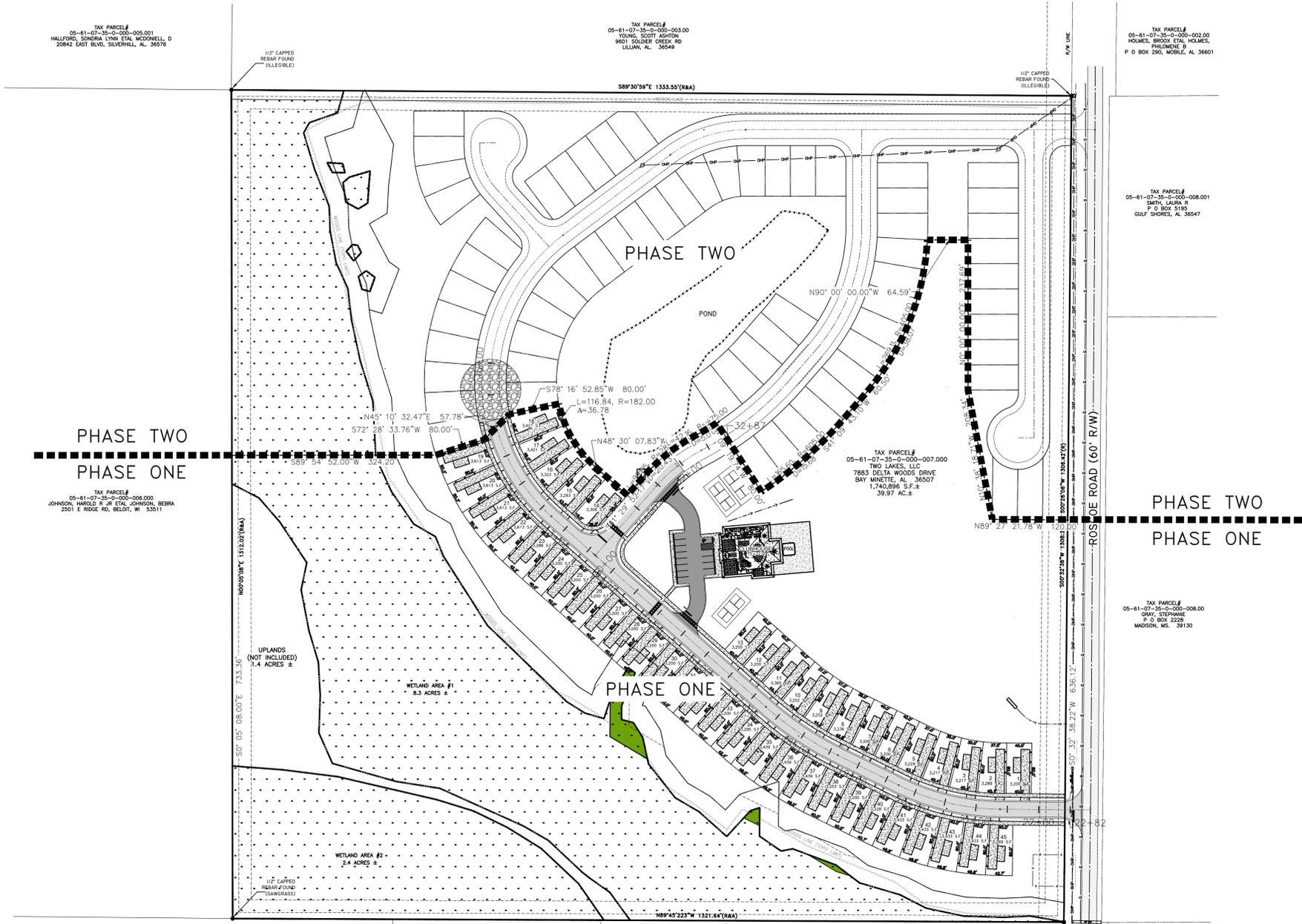
TWO LAKES -- PHASE ONE	
CIVIL NOTES	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	2 OF 14



07/23/2021

C2.0

B



**NOTES:**  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

TAX PARCEL#  
 05-61-07-35-0-000-005.001  
 MALFORD, SONORA LYNN TIAL MCDONWELL, D  
 20842 EAST BLVD, SILVERHILL, AL 36576

TAX PARCEL#  
 05-61-07-35-0-000-003.00  
 YOUNG, SCOTT ADITON  
 9601 SOLDIER CREEK RD  
 LILLIAN, AL 36549

TAX PARCEL#  
 05-61-07-35-0-000-002.00  
 HOLMES, BRUCE ETAL HOLMES, PHYLOMENE R  
 P O BOX 290, MOBILE, AL 36601

TAX PARCEL#  
 05-61-07-35-0-000-008.001  
 SMITH, LAURA R  
 P O BOX 5195  
 GULF SHORES, AL 36547

TAX PARCEL#  
 05-61-07-35-0-000-007.000  
 TWO LAKES, LLC  
 7883 DELTA WOODS DRIVE  
 BAY MINETTE, AL 36507  
 1,745.899 S.F. ±  
 39.97 AC. ±

TAX PARCEL#  
 05-61-07-35-0-000-006.000  
 GRAY, STEPHANNE  
 P O BOX 2228  
 MADISON, MS 39130

TAX PARCEL#  
 05-61-07-35-0-000-006.000  
 JOHNSON, HAROLD R JR ETAL JOHNSON, BEBRA  
 2501 E RIDGE RD, BELLEVILLE, MO 63311

TAX PARCEL#  
 05-61-07-35-0-000-010.0371  
 YBARRA, ANTHONY ETAL YBARRA, JENNY  
 416 W CANAL DR  
 GULF SHORES, AL 36542

TAX PARCEL#  
 05-61-07-35-0-000-010.020  
 CARRNEY, ERIC ETAL CARRNEY, ROSE  
 22353 BURKOWSKI LN  
 GULF SHORES, AL 36542

TAX PARCEL#  
 05-61-07-35-0-000-010.010  
 TWO LAKES, L L C  
 7883 DELTA WOODS DR  
 BAY MINETTE, AL 36507

TAX PARCEL#  
 05-61-07-35-0-000-010.009  
 HUDSON, ROBERT W ETAL ANGLIA L  
 22435 BURKOWSKI LN, GULF SHORES,  
 AL 36542

TAX PARCEL#  
 05-61-07-35-0-000-010.008  
 TYSON, SMAY ETAL SMALL, GARDON  
 18469 CO RD 10 #49, FOLEY, AL 36535

TAX PARCEL#  
 05-61-07-35-0-010-010.028  
 SHAGLAND LLC  
 P O BOX 1274  
 FAIRHOPE, AL 36533

**ISSUED FOR REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESSIN COMMENTS	07/23/21	



**LIEB ENGINEERING COMPANY**

LIEB ENGINEERING COMPANY  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER	DRAWN BY:	DATE:	SCALE:
2019-018	JLG	06/26/2021	1"=100'
	CHECKED BY:	APPROVED BY:	ENGR:
	CJL	CJL	CJL

TWO LAKES -- PHASE ONE	
PHASING PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	
2.1 OF 14	



07/23/2021



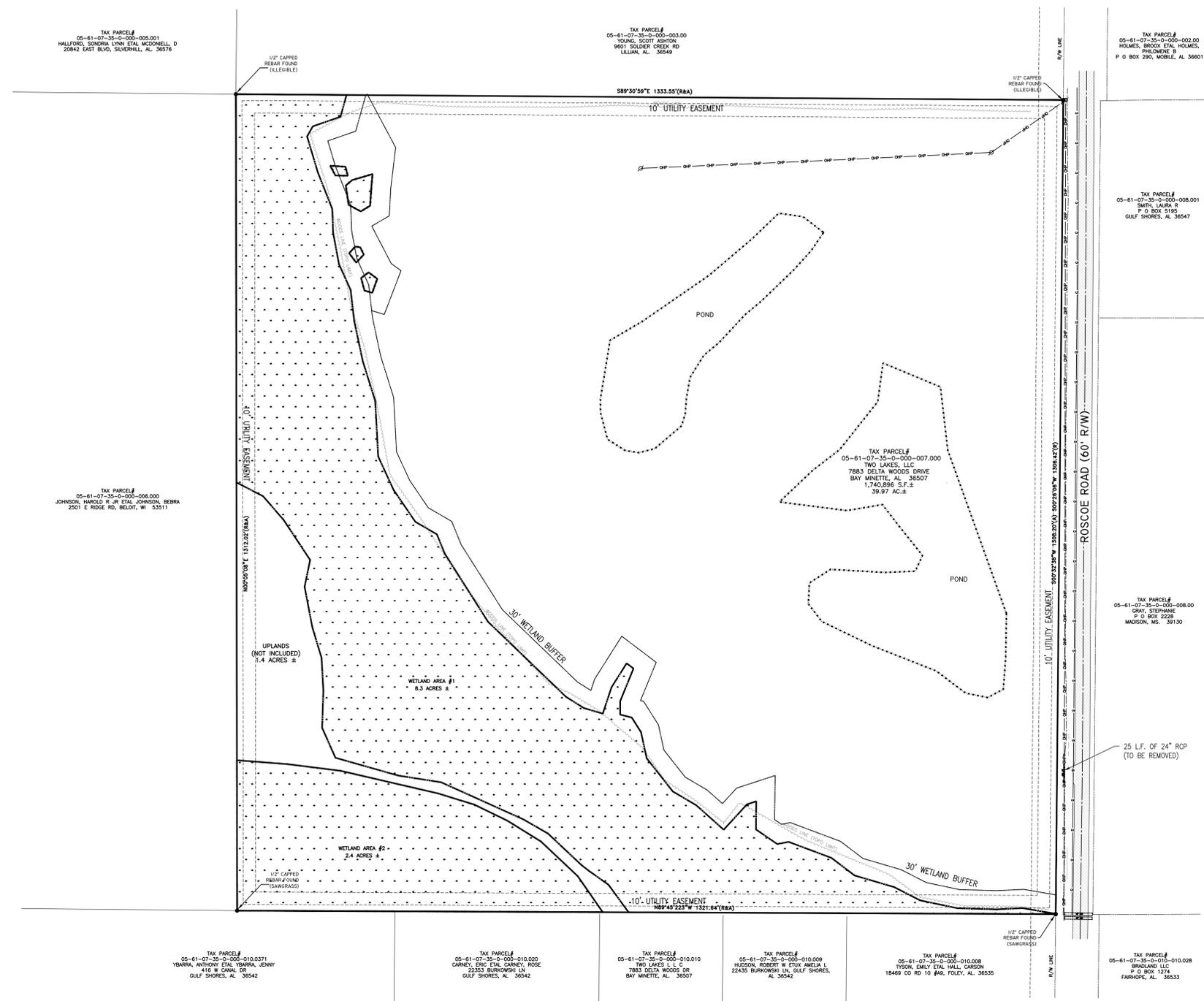
**NOTES:**

1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

**TWO LAKES PHASE 1 - GULF SHORES, AL**

**PROPERTY DESCRIPTION: (PER SURVEY)**

COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83' TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°27'22" WEST A DISTANCE OF 103.12 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.64 FEET, A RADIUS OF 495.81 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 63°56'51" WEST A DISTANCE OF 107.66 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 171.72 FEET, A RADIUS OF 637.00 FEET, A CHORD BEARING OF NORTH 56°13'29" WEST, A CHORD LENGTH OF 171.20 FEET; THENCE RUN NORTH 48°30'08" WEST A DISTANCE OF 455.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.76 FEET, A RADIUS OF 412.00 FEET, A CHORD BEARING OF NORTH 33°00'47" WEST, A CHORD LENGTH OF 220.05 FEET; THENCE RUN NORTH 72°28'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE RUN NORTH 45°10'32" EAST A DISTANCE OF 57.78 FEET TO A POINT; THENCE RUN NORTH 78°16'53" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 116.84 FEET, A RADIUS OF 182.00 FEET, A CHORD BEARING OF SOUTH 30°06'37" EAST, A CHORD LENGTH OF 114.85 FEET; THENCE RUN SOUTH 48°30'08" EAST A DISTANCE OF 68.33 FEET TO A POINT; THENCE RUN NORTH 41°29'52" EAST A DISTANCE OF 42.08 FEET TO A POINT; THENCE RUN SOUTH 48°30'16" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 82.02 FEET, A RADIUS OF 229.94 FEET, A CHORD BEARING OF NORTH 51°42'51" EAST, A CHORD LENGTH OF 81.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 46.60 FEET, A RADIUS OF 525.00 FEET, A CHORD BEARING OF NORTH 59°23'14" EAST, A CHORD LENGTH OF 46.58 FEET TO A POINT; THENCE RUN SOUTH 33°09'20" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 165.60 FEET, A RADIUS OF 605.10 FEET, A CHORD BEARING OF NORTH 49°00'12" EAST, A CHORD LENGTH OF 165.08 FEET TO A POINT; THENCE RUN NORTH 41°09'43" EAST A DISTANCE OF 60.50 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 190.40 FEET, A RADIUS OF 405.00 FEET, A CHORD BEARING OF NORTH 27°41'39" EAST, A CHORD LENGTH OF 188.65 FEET TO A POINT; THENCE RUN EAST A DISTANCE OF 76.42 FEET TO A POINT; THENCE RUN SOUTH A DISTANCE OF 160.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 209.54 FEET, A RADIUS OF 564.26 FEET, A CHORD BEARING OF SOUTH 10°38'19" EAST, A CHORD LENGTH OF 208.34 FEET TO A POINT; THENCE RUN SOUTH 89°27'22" EAST A DISTANCE OF 120.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD; THENCE RUN SOUTH 0°32'38" WEST A DISTANCE OF 583.77 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING, ALL BEING A TOTAL OF 11.64 ACRES MORE OR LESS AND LOCATED ENTIRELY IN THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA.



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REVISIONS			
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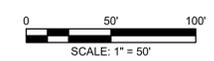
**LIEB ENGINEERING  
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1290 MAIN STREET, SUITE E  
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JOB NUMBER	DRAWN BY: JLG	DATE: 06/26/2021	SCALE: 1"=100'
2019-018	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

TWO LAKES -- PHASE ONE		
EXISTING CONDITIONS & DEMOLITION PLAN		
GULF SHORES, AL		<div style="font-size: 2em; font-weight: bold; text-align: center;">C3.0</div> <div style="font-size: 2em; font-weight: bold; text-align: center;">B</div>
OWNER:		
SHEET NUMBER	3 OF 14	



**NOTES:**

- SEE SHEET C1.0 FOR ALL GENERAL NOTES.
- LAND OUTSIDE THE NORMAL RIGHT-OF-WAY SHALL REVERT TO THE ABUTTING PROPERTIES WHENEVER THE STREET IS CONTINUED AND CONNECTED TO THE ADJACENT PROPERTY.
- ALL COMMON LAND AREAS AND FACILITIES SHALL BE OWNED AND MAINTAINED BY A PROPERTY OWNER'S ASSOCIATION, IN ACCORDANCE WITH 6-14 OWNERSHIP AND MANAGEMENT OF COMMON OPEN SPACES, AND SHALL BE RESTRICTED IN THEIR USE TO PROPERTY OWNERS AND THEIR GUESTS.
- USERS OF THE SPACES AND LOTS SHALL MEET ALL OTHER APPLICABLE LAWS. SPACES AND LOTS MAY BE RENTED BY THE DAY OR WEEK, AND AN OCCUPANT OF SUCH SPACE SHALL NOT REMAIN IN THE SAME PARK FOR A PERIOD EXCEEDING 180 DAYS. ALL LOTS AND SPACES RENTED SHORT TERM SHALL OBTAIN A BUSINESS LICENSE AND REMIT TAXES FOR SUCH RENTAL TO THE CITY.
- MANAGEMENT HEADQUARTERS, TOILETS, SHOWERS, LAUNDRY FACILITIES AND OTHER USES AND STRUCTURES CUSTOMARILY INCIDENTAL TO THE OPERATION OF A RV PARK SHALL OCCUPY NO LESS THAN TEN (10) PERCENT OF THE PARK AREA, SHALL BE RESTRICTED IN THEIR USE TO OCCUPANTS OF THE PARK, AND SHALL PRESENT NO VISIBLE EVIDENCE OF THEIR COMMERCIAL CHARACTER WHICH WOULD ATTRACT CUSTOMERS OTHER THAN OCCUPANTS OF THE PARK.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019

**LEGEND**

- MEDIUM DUTY ASPHALT PAVING
- STANDARD DUTY ASPHALT PAVING
- CONCRETE PAVING
- EXISTING ASPHALT PAVING

**PHASE ONE SITE DATA:**

- PROPOSED USE: RV SUBDIVISION
- ZONING: EXISTING: B-3 PROPOSED: RV-2 PRD
- TOTAL AREA: 23.28 AC. (1,014,144 S.F.)
- PHASE ONE TOTAL AREA: 23.28 AC. (1,014,144 S.F.)
- DISTURBED AREA: 13.00± AC. (566,500± S.F.)
- SMALLEST UNIT SIZE: 3,200 S.F. (LOT 1)
- LARGEST UNIT SIZE: 3,613 S.F. (LOT 19)
- TOTAL UNITS: 45 LOTS
- LINEAR FEET IN STREETS: 1,376 L.F.
- IMPERVIOUS SURFACE: 1,524 AC. (66,350 S.F.)(0.04%)  
6,480 S.F. CONCRETE  
6,258 S.F. BUILDING COVERAGE  
48,212 S.F. ASPHALT  
5,400 S.F. SPORTING COURTS  
1.93 UNITS PER ACRE  
18,244 AC. (794,402 S.F.) (78.33%)
- DENSITY: 5.43± AC. (236,531 S.F.) (13.59%)
- USEABLE OPEN SPACE: FRONT 30'-0" (PARENT LOT)  
SIDE 30'-0" (PARENT LOT)  
REAR 30'-0" (PARENT LOT)  
FRONT 0'-0" (INDIVIDUAL LOT)  
SIDE 0'-0" (INDIVIDUAL LOT)  
REAR 0'-0" (INDIVIDUAL LOT)  
58 (13 AT CLUBHOUSE; 1 ON EACH LOT)
- PARKING SPACES: 58 (13 AT CLUBHOUSE; 1 ON EACH LOT)
- FLOOD ZONE MAP: THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019

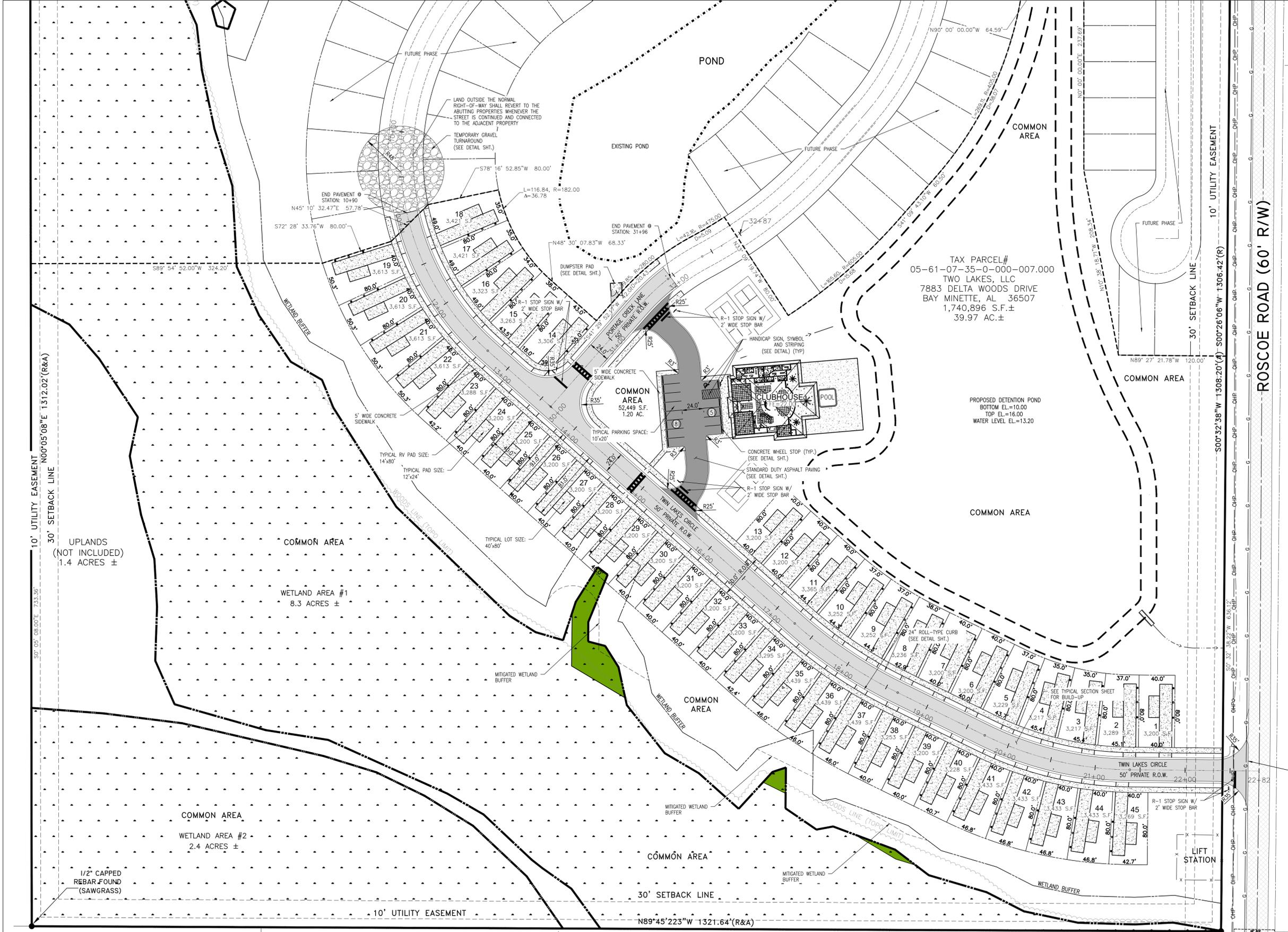
**UTILITY PROVIDERS**

- WATER: CITY OF GULF SHORES
- POWER: BALDWIN EMC
- GAS: RIVIERA UTILITIES
- SEWER: CITY OF GULF SHORES

TIE THE NEW ASPHALT PAVING TO EXISTING PAVING. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION WITH NO STORM WATER PONDING.

PHASING PLAN: ONCE PHASE ONE IS COMPLETE, PHASE TWO WILL BE BUILT.

**ISSUED FOR REVIEW**



TAX PARCEL#  
05-61-07-35-0-000-007.000  
TWO LAKES, LLC  
7883 DELTA WOODS DRIVE  
BAY MINETTE, AL 36507  
1,740,896 S.F.±  
39.97 AC.±

PROPOSED DETENTION POND  
BOTTOM EL.=10.00  
TOP EL.=16.00  
WATER LEVEL EL.=13.20

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=50'  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE	
SITE PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C4.0 B
4 OF 14	07/23/2021

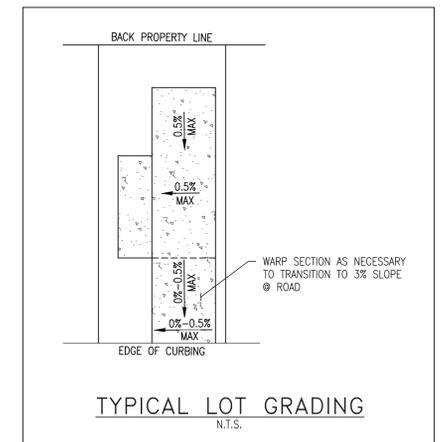




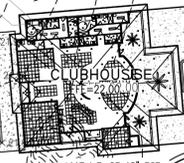
0 50' 100'  
SCALE: 1" = 50'

NOTES:  
1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

LEGEND	
	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING
	EXISTING 1' CONTOURS
	EXISTING 5' CONTOURS
	PROPOSED 1' CONTOURS
	PROPOSED 5' CONTOURS
	PROPOSED DRAINAGE PIPE
	PROPOSED GRATE INLET
	PROPOSED DRAINAGE MANHOLE
	PROPOSED HEADWALL
	PROPOSED SPOT GRADE



TAX PARCEL#  
05-61-07-35-0-000-007.000  
TWO LAKES, LLC  
7883 DELTA WOODS DRIVE  
BAY MINETTE, AL 36507  
1,740,896 S.F.±  
39.97 AC.±



POND

PROPOSED DETENTION POND  
BOTTOM EL=10.00  
TOP EL=16.00  
WATER LEVEL EL=13.20

OUTLET CONTROL STRUCTURE  
(SEE DETAIL SHEET)



10' UTILITY EASEMENT  
30' SETBACK LINE  
N00°05'08"E 1312.02'(R&A)

UPLANDS  
(NOT INCLUDED)  
1.4 ACRES ±

WETLAND AREA #1  
8.3 ACRES ±

WETLAND AREA #2  
2.4 ACRES ±

1/2" CAPPED  
REBAR FOUND  
(SAWGRASS)

10' UTILITY EASEMENT

30' SETBACK LINE

N89°45'223"W 1321.64'(R&A)

1/2" CAPPED

6:1 SLOPED PAVED HEADWALL  
INV. EL=12.63

32' L.F. OF 18"x28.5"  
RCAP @ 0.40%

DRAINAGE MANHOLE #1  
TOP EL=15.57  
INV. EL=12.50

32' L.F. OF 18"x28.5"  
RCAP @ 0.40%

6:1 SLOPED PAVED HEADWALL  
INV. EL=12.37

ISSUED  
FOR  
REVIEW

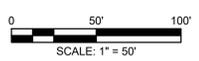
REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESSIN COMMENTS	07/23/21	

LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

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ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG  
CHECKED BY: CJL  
DATE: 06/26/2021  
APPROVED BY: CJL  
SCALE: 1"=50'  
ENGR: CJL

TWO LAKES - PHASE ONE  
GRADING & DRAINAGE PLAN  
GULF SHORES, AL  
OWNER:  
SHEET NUMBER: 5 OF 14  
C5.0 B  
ALABAMA REGISTERED PROFESSIONAL ENGINEER No. 31204  
07/23/2021



**NOTES:**  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

**LEGEND**

	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED TAPPING SLEEVE & VALVE W/ THRUST BLOCK
	PROPOSED GRAVITY SEWER LINE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER LATERAL SERVICE
	PROPOSED SEWER CLEANOUT



TAX PARCEL#  
 05-61-07-35-0-000-007.000  
 TWO LAKES, LLC  
 7883 DELTA WOODS DRIVE  
 BAY MINETTE, AL 36507  
 1,740,896 S.F.±  
 39.97 AC.±

**ISSUED FOR REVIEW**

REVISIONS		
A	ISSUED FOR REVIEW	06/26/21
B	ADDRESS COMMENTS	07/23/21



LIEB ENGINEERING COMPANY  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
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 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

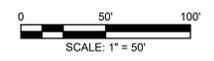
JOB NUMBER	DRAWN BY:	DATE:	SCALE:
2019-018	JLG	06/26/2021	1"=50'
CHECKED BY:	APPROVED BY:	ENGR:	
CJL	CJL	CJL	

TWO LAKES - PHASE ONE	
UTILITY PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	
6 OF 14	



C6.0 B

07/23/2021



**NOTES:**

1. SEE SHEET C1.0 FOR CIVIL GENERAL NOTES.
2. SITE MUST RECEIVE DAILY AND RAIN EVENT QUALITY CONTROL INSPECTIONS.
3. ALL AREAS DISTURBED (INCLUDING UTILITY WORK) DURING PROJECT IMPLEMENTATION SHALL BE PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION; SEED AND MULCH WILL NOT BE ACCEPTED DURING FINAL INSPECTION.
4. STORM WATER DRAINAGE FROM THE SITE WILL BE ROUTED TO THE DETENTION POND AND NOT ONTO THE COUNTY ROW.
5. DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT THE PROJECT BY LIGHTLY WETTING OR APPLYING THE APPROPRIATE CHEMICALS TO THE AREAS THAT BECOME EXTREMELY DRY AND SUSCEPTIBLE TO BEING WIND BLOWN.

**LEGEND**

	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING

**EROSION & SEDIMENT CONTROL LEGEND**

	SB SILT FENCE, TYPE "A"
	CDR WATTLE CHECK DAM
	CEP CONSTRUCTION EXIT PAD
	SOD SOD
	OP OUTLET PROTECTION
	TSG TOPSOIL
	ECB EROSION CONTROL BLANKET
	WIP WATTLE INLET PROTECTION OR SILT SAVER (OR APPROVED EQUAL)
	PS PERMANENT SEEDING



TAX PARCEL#  
05-61-07-35-0-000-007.000  
TWO LAKES, LLC  
7883 DELTA WOODS DRIVE  
BAY MINETTE, AL 36507  
1,740,896 S.F.±  
39.97 AC.±

PROPOSED DETENTION POND  
BOTTOM EL.=10.00  
TOP EL.=16.00  
WATER LEVEL EL.=13.20

UPLANDS  
(NOT INCLUDED)  
1.4 ACRES ±

WETLAND AREA #1  
8.3 ACRES ±

WETLAND AREA #2 -  
2.4 ACRES ±

1/2" CAPPED  
REBAR FOUND  
(SAWGRASS)

**ISSUED  
FOR  
REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

**LIEB ENGINEERING  
COMPANY**

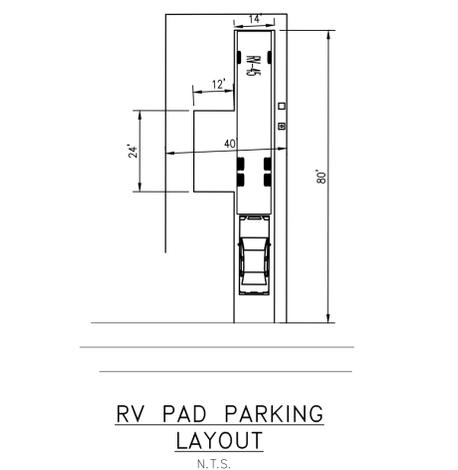
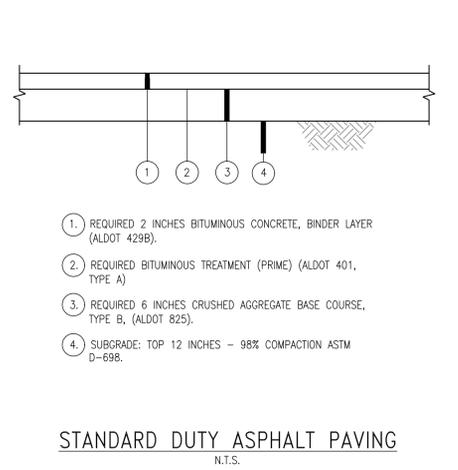
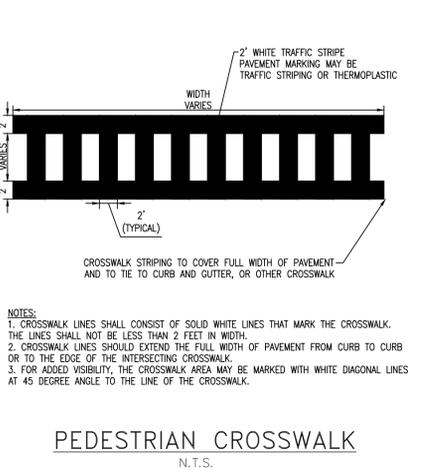
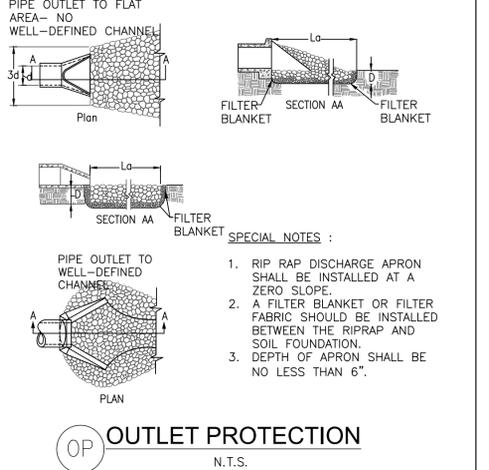
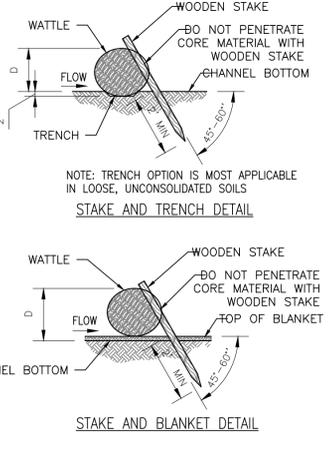
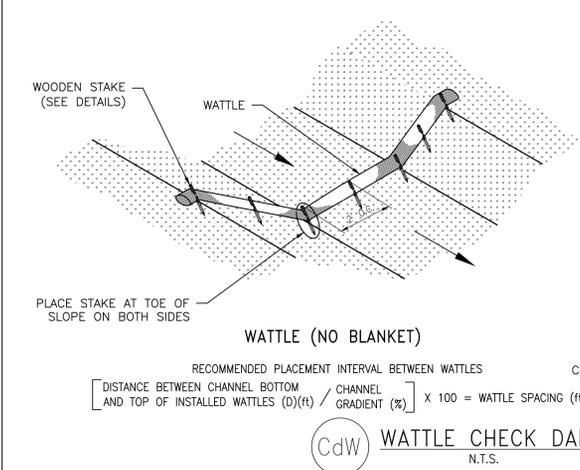
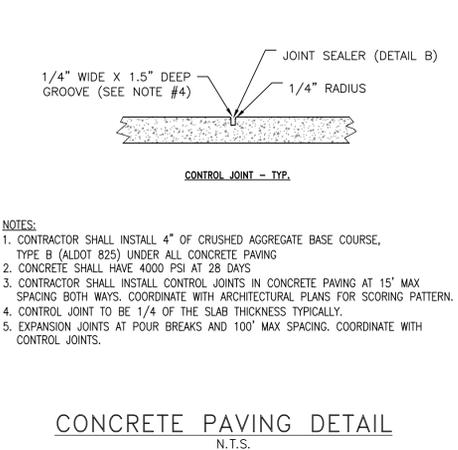
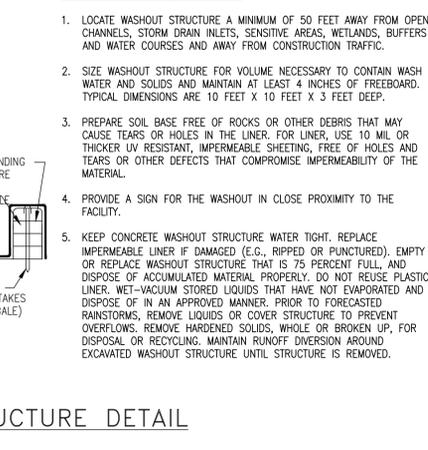
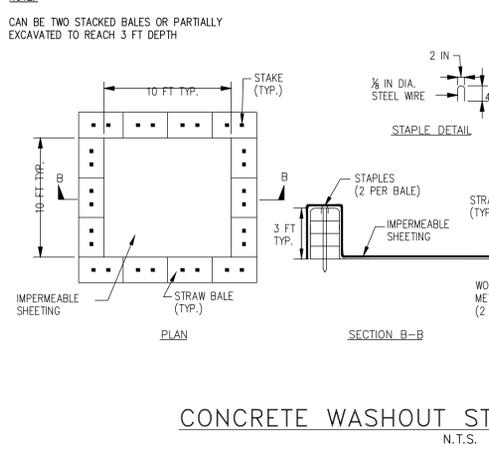
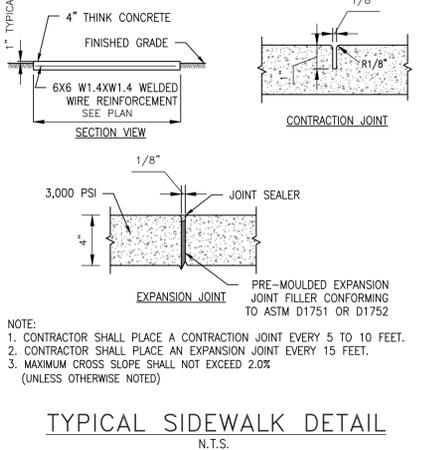
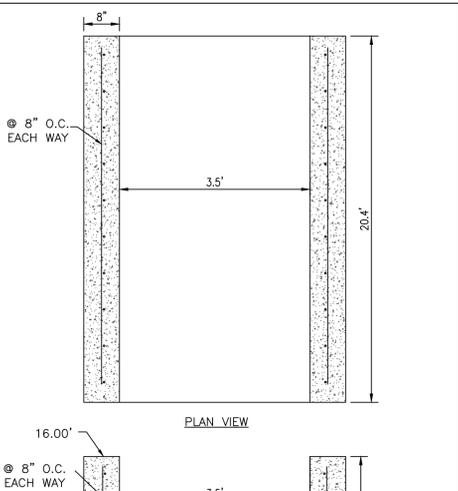
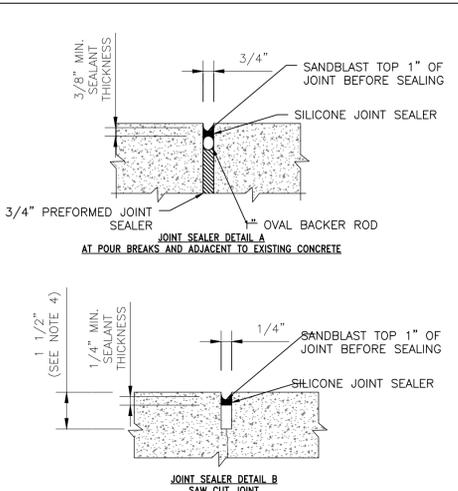
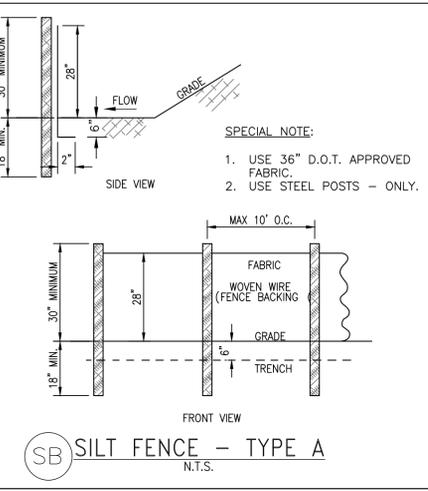
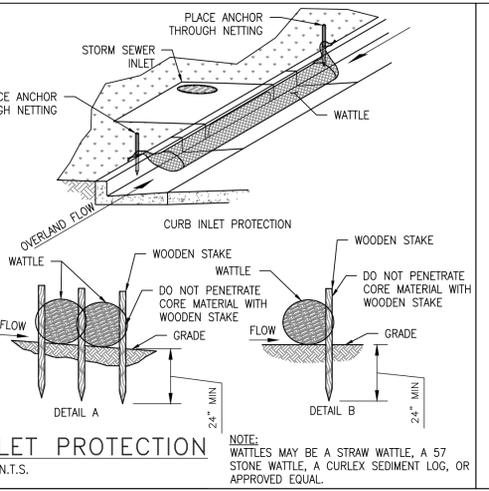
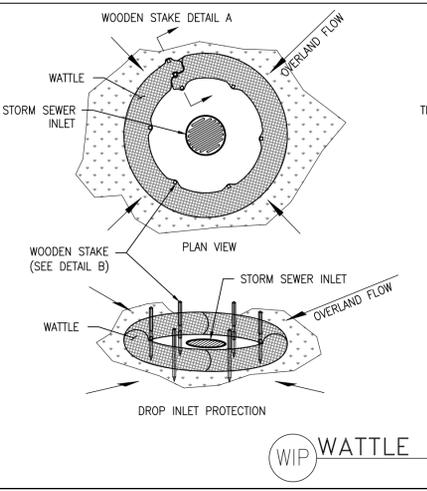
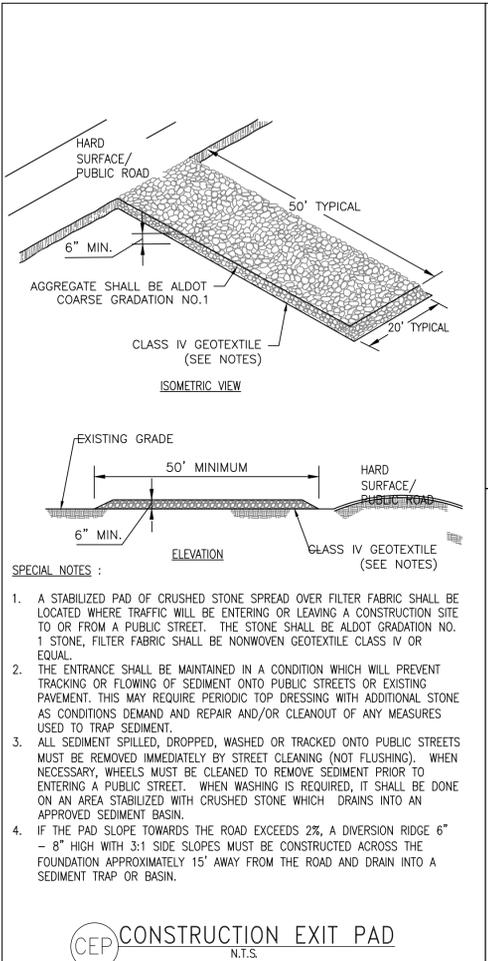
LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=50'  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE	
EROSION CONTROL PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	7 OF 14
C7.0	B
07/23/2021	





ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

**LIEB ENGINEERING COMPANY**

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DRAWN BY: JLG  
DATE: 06/26/2021  
SCALE: AS SHOWN  
CHECKED BY: CJL  
APPROVED BY: CJL  
ENGR: CJL

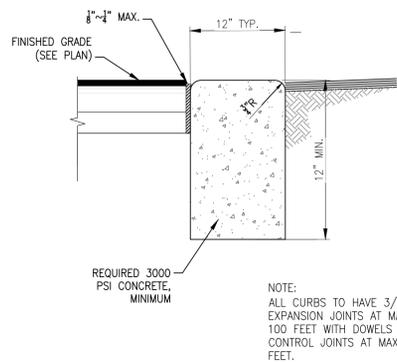
TWO LAKES - PHASE ONE

CIVIL DETAILS  
GULF SHORES, AL  
OWNER:

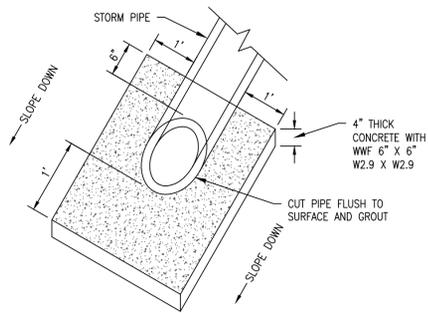
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C8.0 B

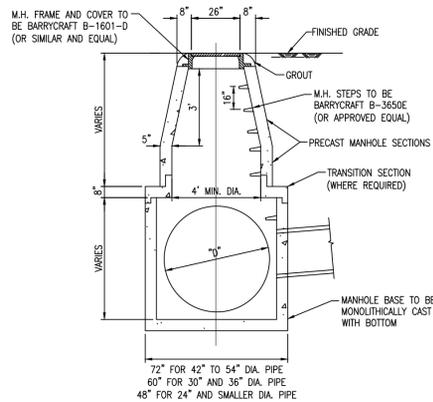
ALABAMA REGISTERED PROFESSIONAL ENGINEER  
No. 31204  
07/23/2021



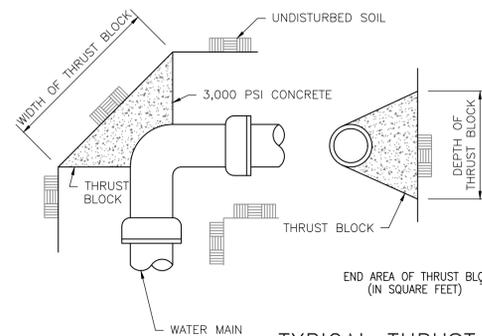
**12" RIBBON CURB**  
N.T.S.



**SLOPED PAVED HEADWALL**  
N.T.S.



**JUNCTION BOX**  
N.T.S.



**TYPICAL THRUST BLOCK DETAIL**  
N.T.S.

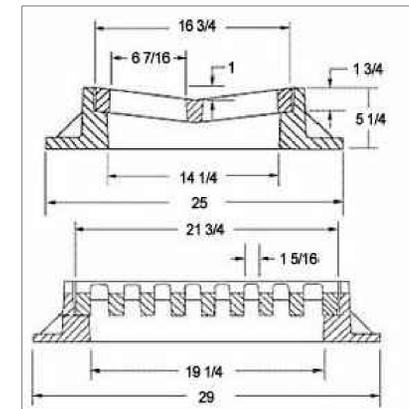
THRUST AT FITTINGS IN POUNDS\*

PIPE SIZE	90° BEND	45° BEND	22.5° BEND	TEE OR PLUG
1-1/2"	625	340	175	445
2-1/2"	970	525	270	690
3"	1,405	785	380	980
4"	2,095	1,135	580	1,480
6"	3,445	1,870	955	2,430
8"	7,425	4,020	2,055	5,250
10"	12,300	6,600	3,360	8,700
12"	20,100	10,875	5,455	15,525
	26,850	14,685	7,620	19,125

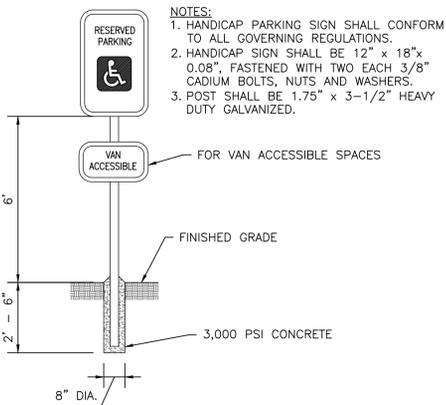
\*BASED ON 150 PSI TEST PRESSURE

SOIL BEARING LOAD

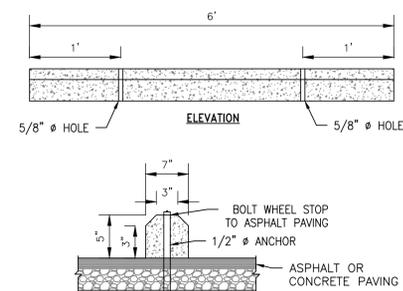
SOIL	BEARING LOAD P.S.F.
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000
ROCK, POOR	10,000
ROCK, GOOD	50,000



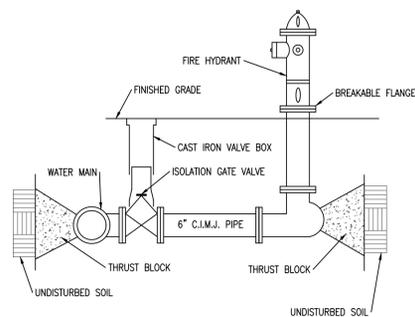
**SINGLE VALLEY CURB INLET**  
N.T.S.



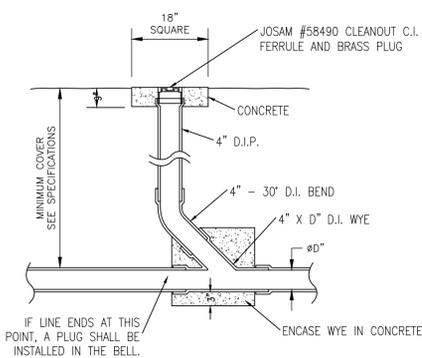
**HANDICAP SIGN**  
N.T.S.



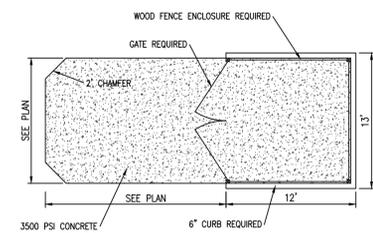
**CONCRETE WHEEL STOP**  
N.T.S.



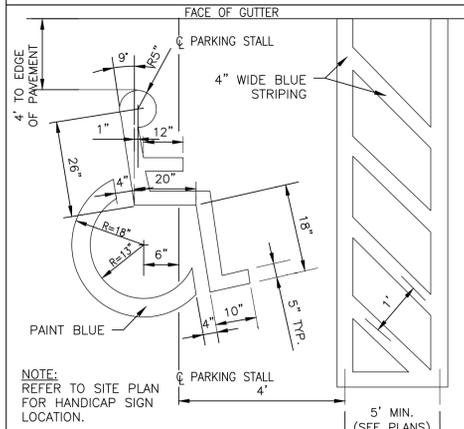
**FIRE HYDRANT ASSEMBLY**  
N.T.S.



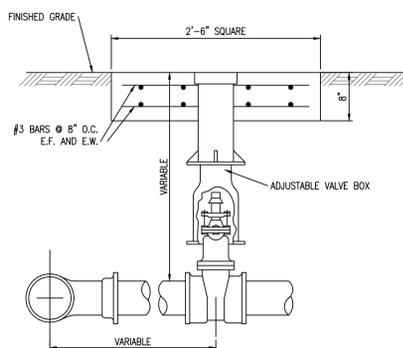
**TYPICAL CLEANOUT DETAIL**  
N.T.S.



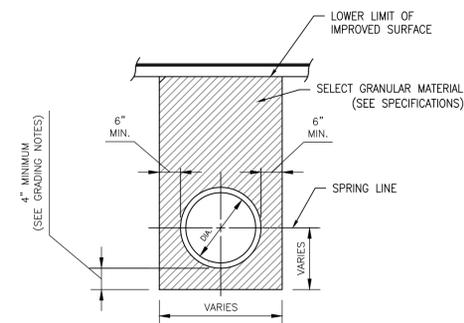
**DUMPSTER PAD DETAIL**  
N.T.S.



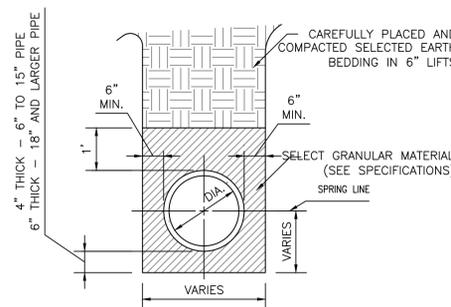
**HANDICAP SYMBOL AND STRIPING**  
N.T.S.



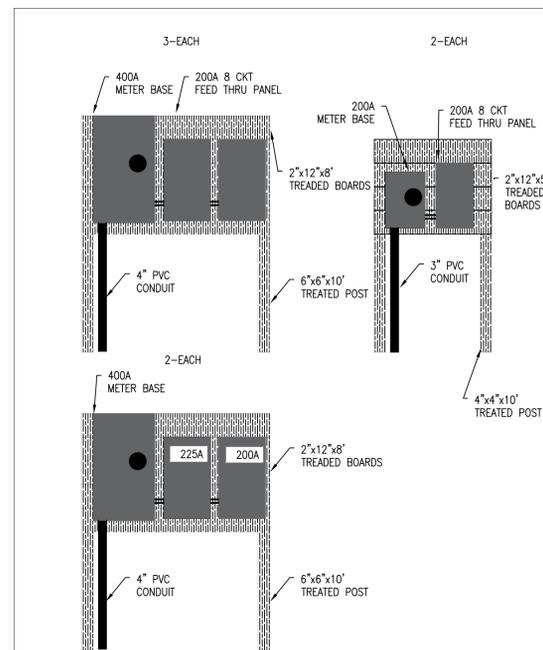
**TYPICAL GATE VALVE**  
N.T.S.



**TYPICAL PIPE BEDDING AND BACKFILL UNDER IMPROVED SURFACES**  
N.T.S.



**TYPICAL PIPE BEDDING AND INITIAL BACKFILL DETAIL**  
N.T.S.



ISSUED FOR REVIEW

REVISIONS

NO.	ISSUED FOR REVIEW ADDRESS/IN COMMENTS	DATE
A	ISSUED FOR REVIEW	06/26/21
B	ADDRESS/IN COMMENTS	07/23/21



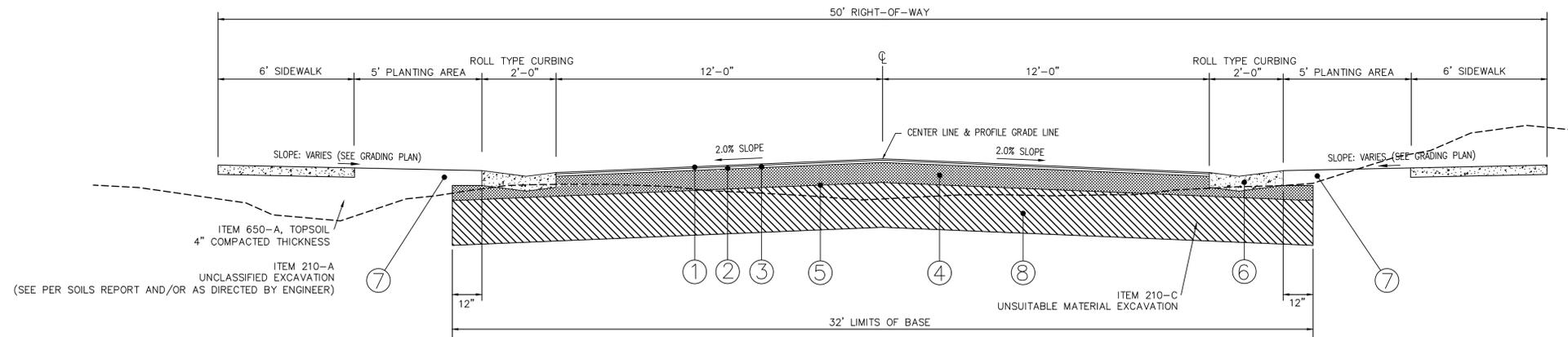
LIEB ENGINEERING COMPANY  
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ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER	DRAWN BY:	DATE:	SCALE:
2019-018	JLG	06/26/2021	AS SHOWN
CHECKED BY:	APPROVED BY:	ENGR:	
CJL	CJL	CJL	

TWO LAKES - PHASE ONE

CIVIL DETAILS	GULF SHORES, AL
OWNER:	
SHEET NUMBER	9 OF 14
C9.0	B
ALABAMA REGISTERED PROFESSIONAL ENGINEER No. 31204	07/23/2021



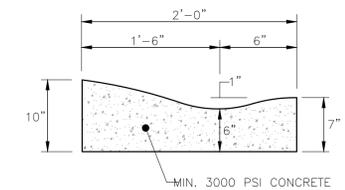
**TYPICAL ROAD SECTION**

N.T.S.

**NOTES:**

1. THE MINIMUM IN-PLACE DENSITY REQUIREMENT FOR ITEM 424-A SHALL BE 94.0 WHEN PLACED OVER A CRUSHED AGGREGATE BASE COURSE. (REFERENCE ALDOT STANDARD SPECIFICATIONS SECTION 410, TABLE IV.)

- ① ITEM 424-A, IMPROVED BITUMINOUS CONCRETE WEARING SURFACE, 3/8" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE B, (110 LB./SQ. YD.) 1" COMPACTED THICKNESS (PER SQ. YD.)
- ② ITEM 424-B, IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, 1/2" MAX. AGGREGATE SIZE MIX, ESAL RANGE B, (165#/S.Y.) 1 1/2" COMPACTED THICKNESS
- ③ ITEM 401-A, PRIME COAT (ALDOT 401.01(b))
- ④ ITEM 305-B, CRUSHED AGGREGATE BASE COURSE, TYPE "B", PLANT MIXED, 6" COMPACTED THICKNESS, COMPACTED TO 100% PROCTOR DENSITY (PER SQ. YD.)
- ⑤ ITEM 230-A, ROADBED PROCESSING (MODIFIED ROADBED) (PER STATION)
- ⑥ 30" VALLEY GUTTER (PER LIN. FT.). SEE DETAIL, SHT. 15.
- ⑦ SEE LANDSCAPING PLAN FOR CONDITIONS OUTSIDE OF ROADWAY
- ⑧ ITEM 210-D, BORROW EXCAVATION, SAND/CLAY, 18" COMPACTED TO 100% PROCTOR DENSITY (PER CU. YD.)



- NOTES:**
- 1. SLOPE GUTTER AS SHOWN ACCORDING TO PAVING SLOPE.
  - 2. 3/4" EXPANSION JOINT REQUIRED AT P.C.'S AND P.T.'S OF ALL CURVES, AT STRUCTURES (CURB INLETS, WHEELCHAIR RAMPS, ETC.) AND EVERY 100' MAX. WITH FILLER MATERIAL.
  - 3. 3/16" SAWED JOINTS REQUIRED ON 20' INTERVALS.
  - 4. EXPANSION JOINTS ARE TO BE ADDED TO ALL RADI POINTS.

**TYPE M-14 ROLL TYPE CURBING**  
N.T.S.

**ISSUED FOR REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

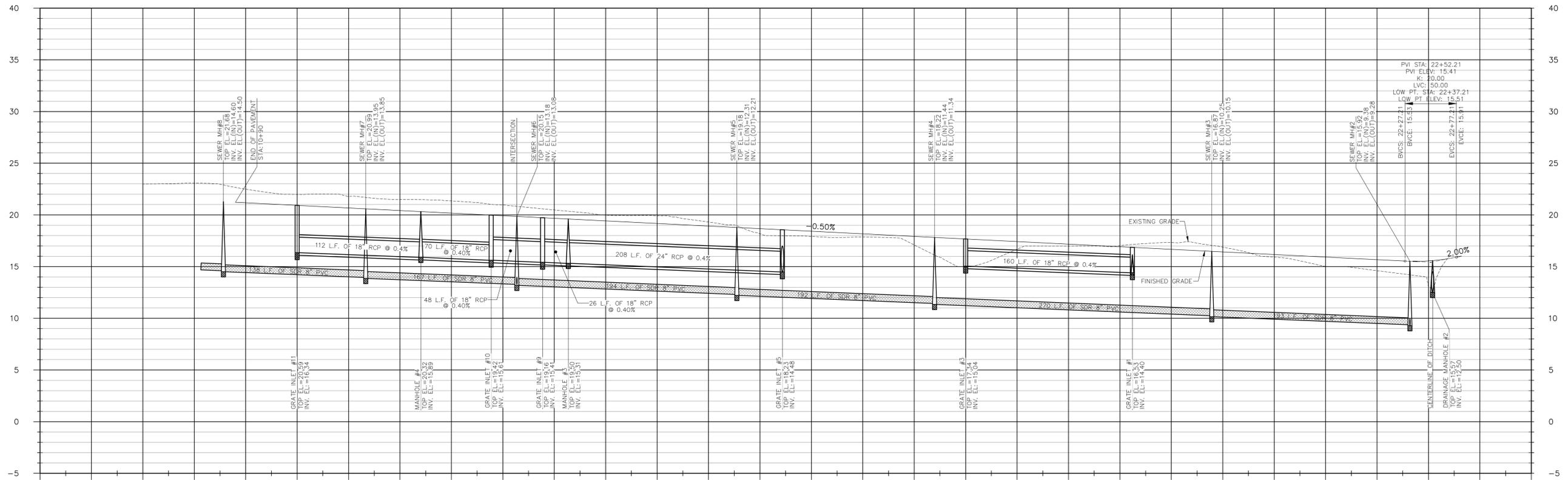


LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

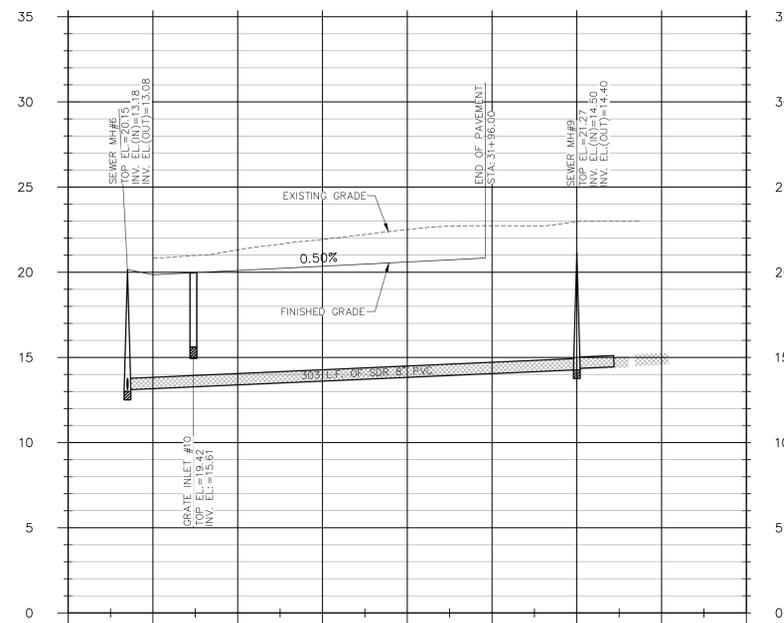
NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE		
TYPICAL SECTION		
GULF SHORES, AL		
OWNER:		
SHEET NUMBER	C10.0	B
10 OF 14		
		07/23/2021



9+50	22.98	23.06	22.48	21.17	21.98	20.92	21.81	20.67	21.49	20.42	21.35	20.17	20.96	19.92	20.48	19.67	19.98	19.42	19.92	19.17	19.31	18.92	18.18	18.67	17.92	18.42	17.85	18.17	17.09	17.92	15.00	17.67	16.68	17.42	16.99	17.17	17.03	16.92	17.33	16.67	16.88	16.42	15.91	16.17	15.01	15.92	14.60	15.67	13.02	15.55
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30+00	20.83	19.85	21.32	20.10	21.93	20.35	22.50	20.60	22.73	22.97
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NOTES:  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

PROFILE SCALE:  
 HORIZONTAL: 1"=50'  
 VERTICAL: 1"=5'

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

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 DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
 CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE

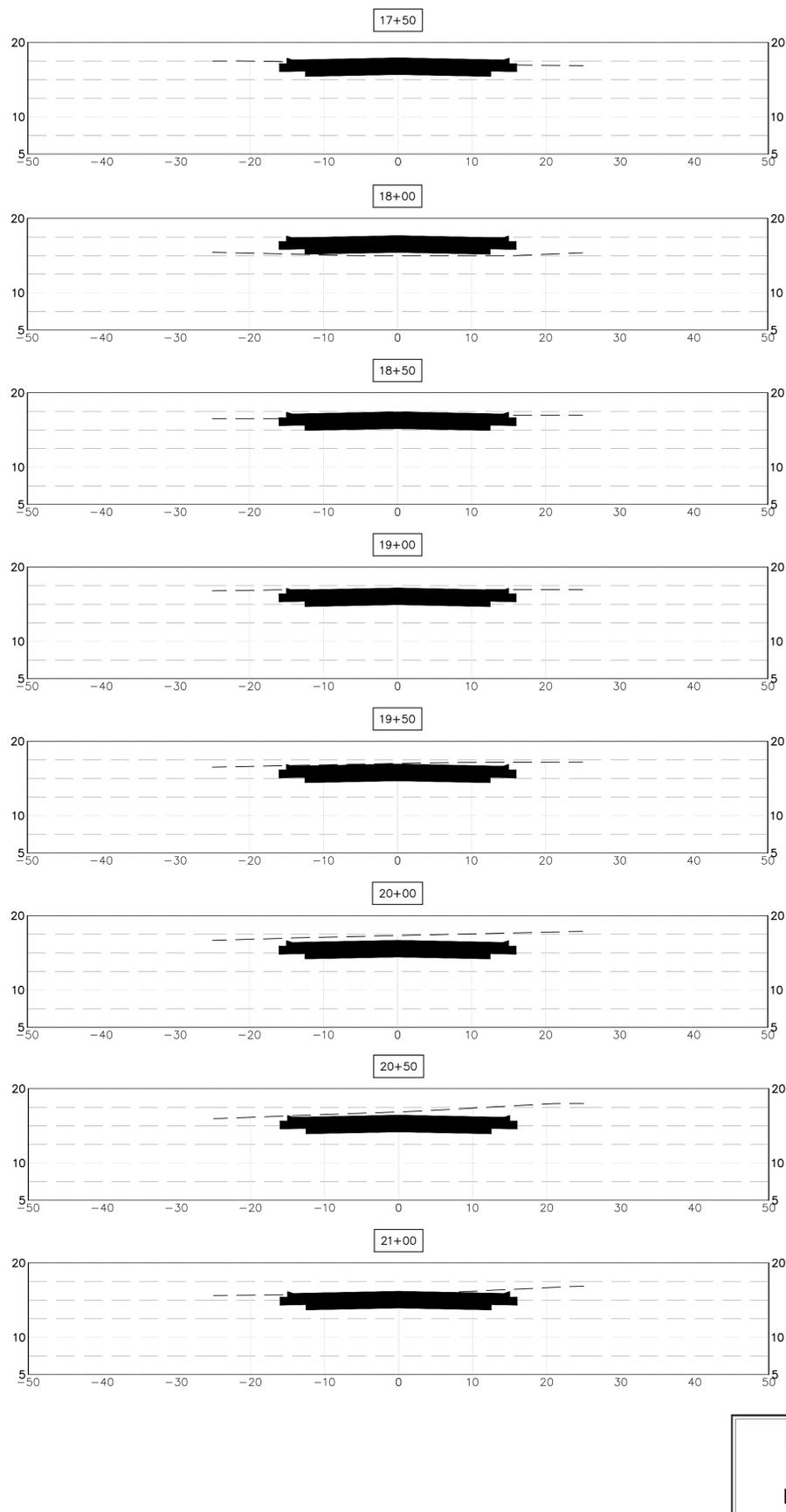
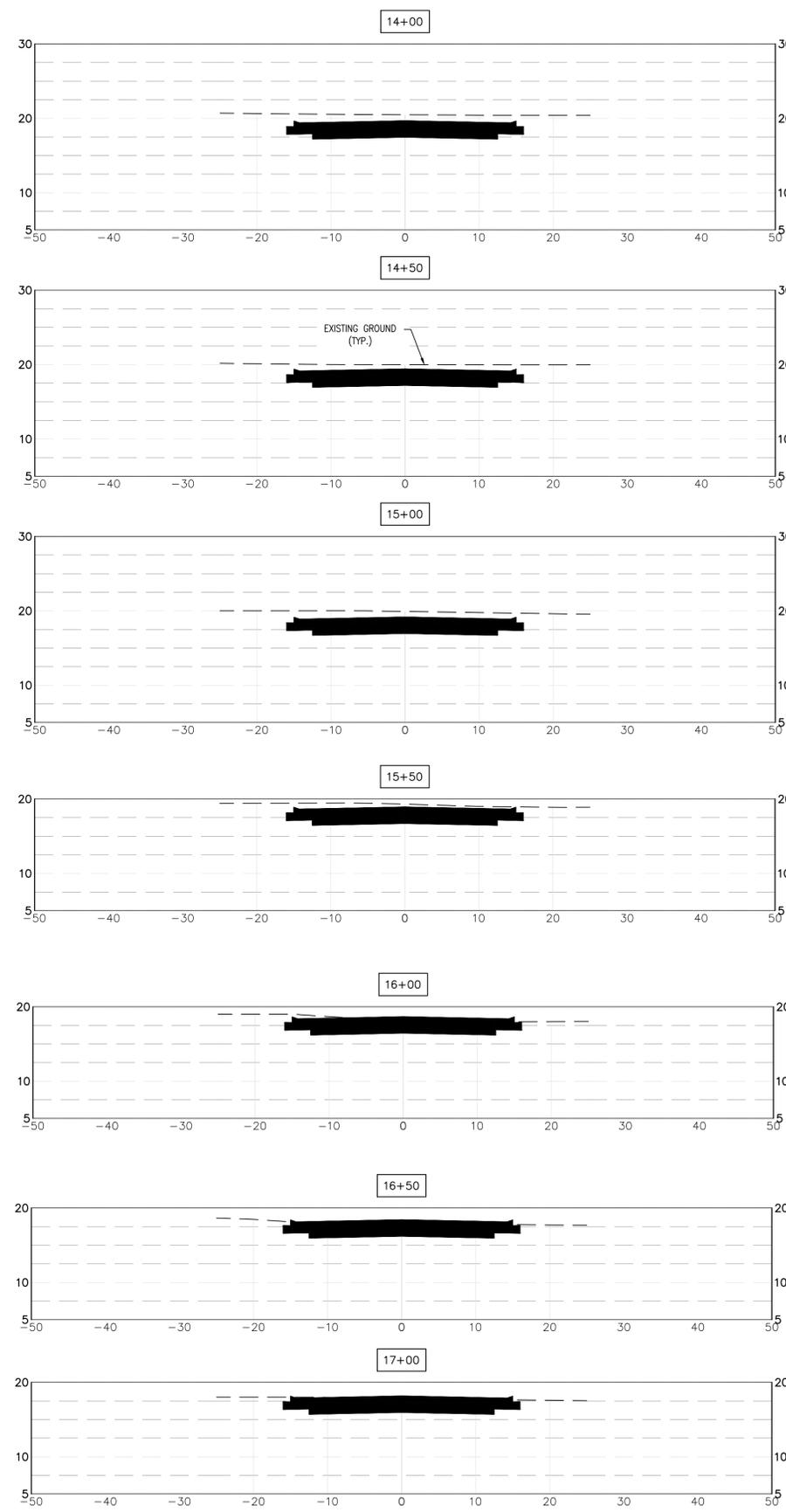
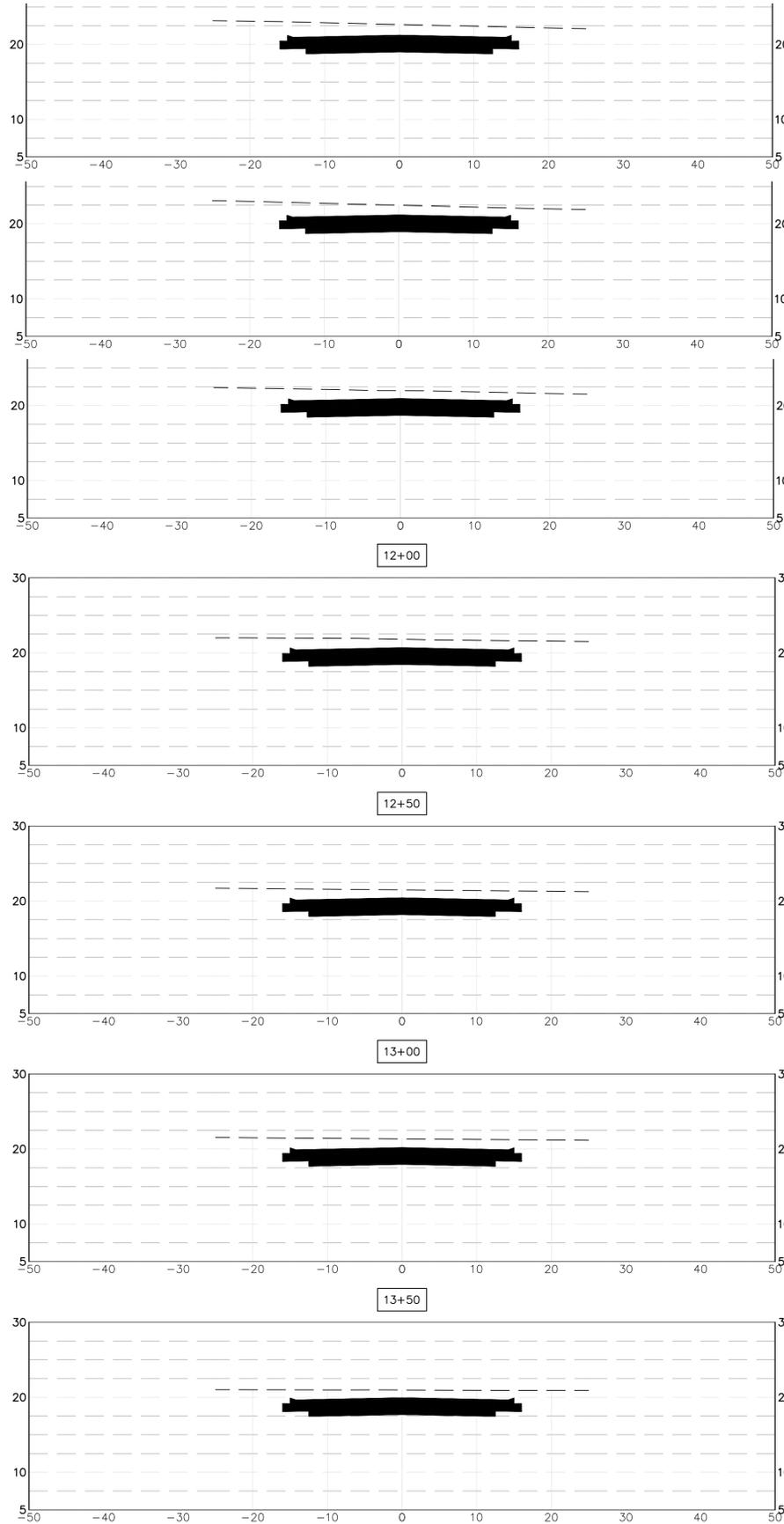
PROFILES  
 GULF SHORES, AL  
 OWNER:

SHEET NUMBER: 11 OF 14

C11.0 B

07/23/2021

SECTION SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=10'



ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
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DAPHNE, AL 36526  
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ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE

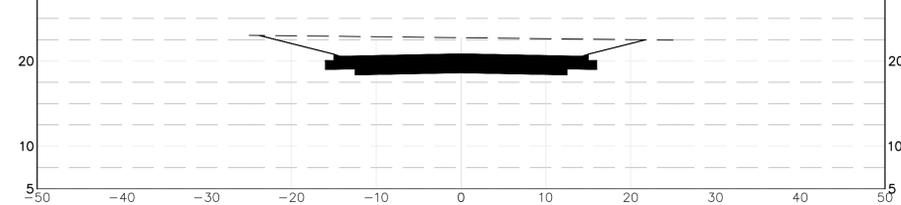
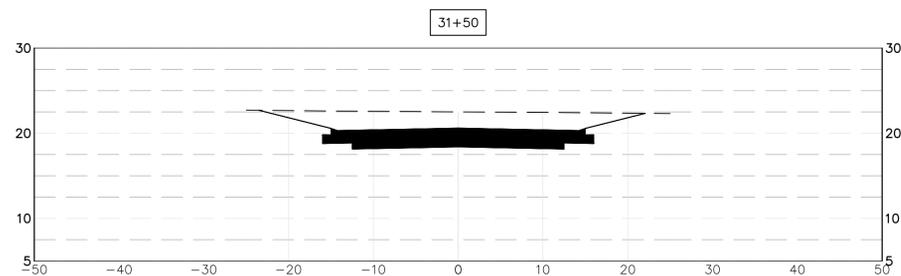
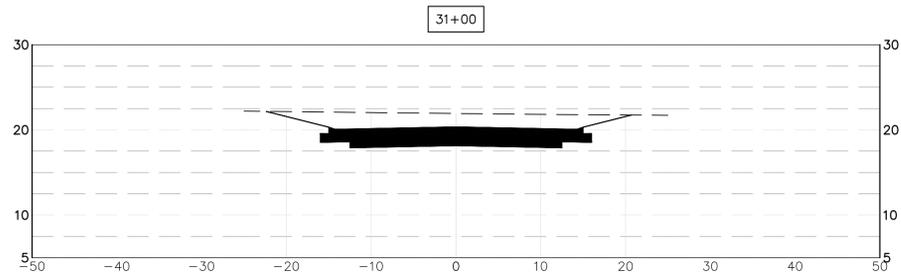
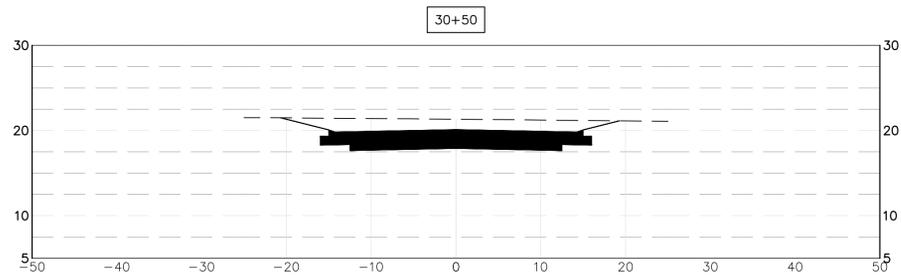
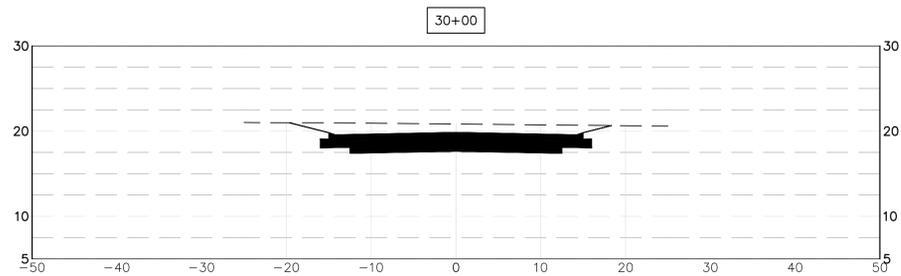
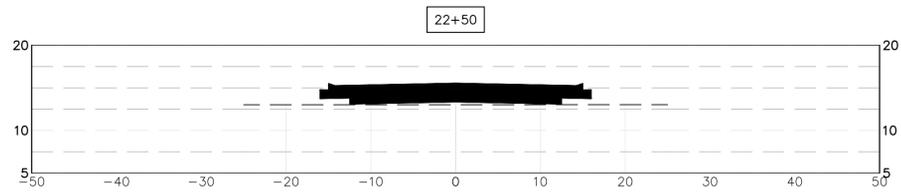
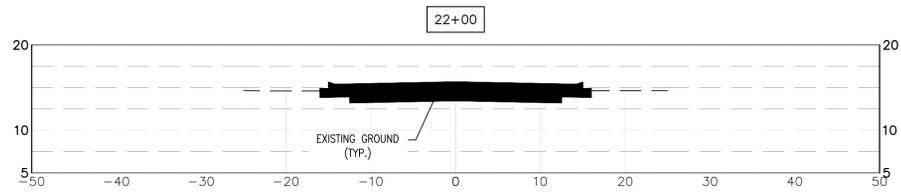
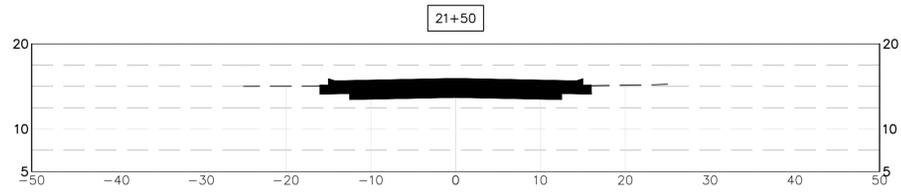
CROSS SECTIONS  
GULF SHORES, AL  
OWNER:

SHEET NUMBER: 12 OF 14

C12.0 B



07/23/2021



SECTION SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=10'

ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
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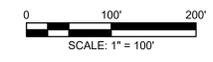
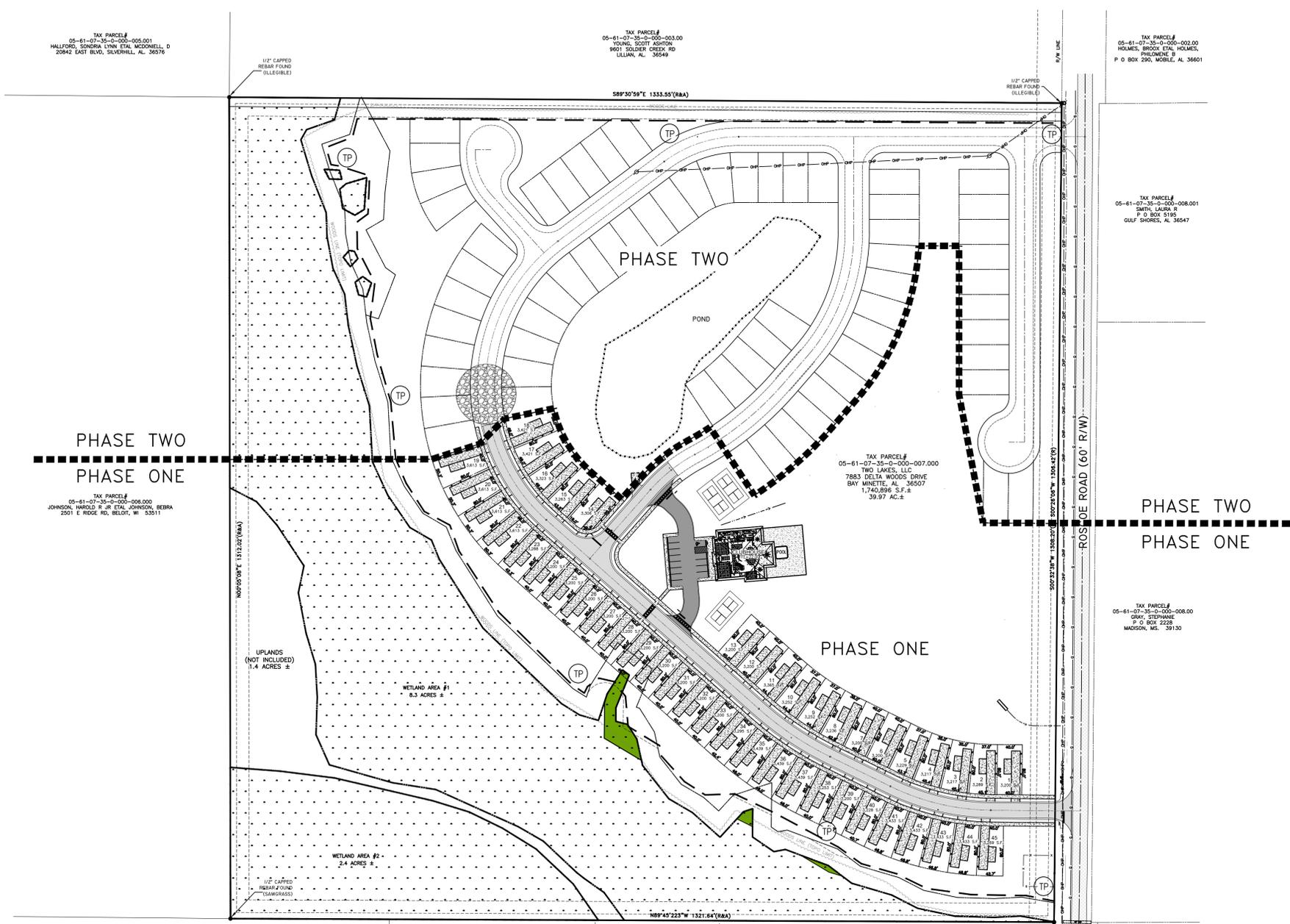
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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER	DRAWN BY: JLG	DATE: 06/26/2021	SCALE: AS SHOWN
2019-018	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

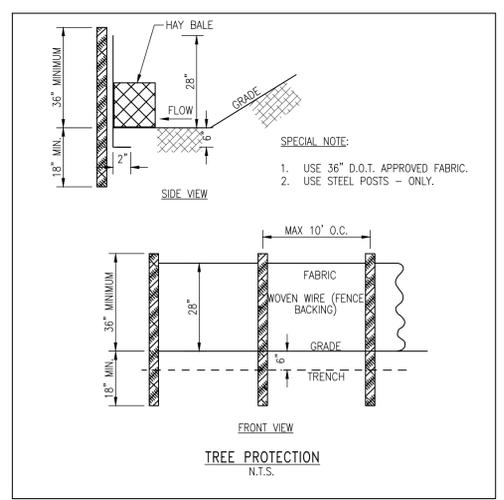
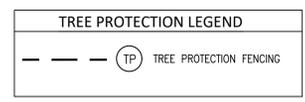
TWO LAKES -- PHASE ONE	
PROFILES	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C13.0 B
13 OF 14	



07/23/2021



- NOTES:**
1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.



**ISSUED FOR REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESSIN COMMENTS	07/23/21	

**LIEB ENGINEERING COMPANY**  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
 PH: (251) 978-9779

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 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
 DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=100'  
 CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE		SHEET NUMBER 14 OF 14	C14.0	B
TREE PROTECTION PLAN				
GULF SHORES, AL		OWNER:		
ALABAMA REGISTERED PROFESSIONAL ENGINEER No. 31204		07/23/2021		

Baldwin County Planning and Zoning Commission  
Case No. S-21089 – Two Lakes RV Park Phase One  
Planned Development Site Plan Approval Request  
Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 7.f

---

This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

**Planning Commission:** September 2, 2021

Planned Development Final Site Plan Approval Pending

**Attachments:** Vicinity Map  
Site Map  
Proposed Site Plan

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

**Planning District:** District 30 – RV2 zoning with PRD

**Location of Property:** The subject property is located on the west side of Roscoe Road approximately 1,000 feet north of Bradford Road, approximately 1,200 feet west of the Foley Beach Express

**Parcel Number(s):** 05-61-07-35-0-000-007.000 (PIN 16828)

**Report Prepared By:** J. Buford King, MPA, LEED AP; Development Review Planner

**III. SUBDIVISION PROPOSAL:**

**Proposed number of RV spaces:** 45

**Linear Feet of Streets:** 1,284 linear feet (50' private ROW)

**Total Acreage:** ± 11.64 acres

**Lot (RV Space) Sizes:** Smallest Space ± 0.07 acres (3,188 sf)

**Owner/Developer:** Mr. Ray Lee  
Two Lakes, LLC  
7883 Delta Woods Drive  
Bay Minette, AL 36507

**Engineer of Record (EOR):** Mr Chris Lieb, PE  
Lieb Engineering Co., LLC  
1290 Main Street Suite E  
Daphne, AL 36526

**Request:** The applicant is requesting Final Site Plan Approval of Phase One of an RV Park for the above-mentioned Planned Development from the Baldwin County Planning and Zoning Commission.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:** Water: Gulf Shores Utilities  
Sewer: Gulf Shores Utilities  
Electricity: Baldwin EMC  
Gas: Riviera Utilities  
Telephone: CenturyLink

**Transportation:** The proposed planned development fronts upon Roscoe Road, an existing Baldwin County-maintained paved road with 60’ ROW. RV spaces (lots of recorded to be created by Case # S-21087) front upon a paved, 50’ wide private ROW with 12’ wide travel lanes, 6’ sidewalks each side, and valley curbing.

**V. STAFF COMMENTS:**

- This Final Site Plan approval, if granted, will be site plan specific, which means any major changes to the approved site plan will require a new application and approval by the Planning Commission. Minor changes may be reviewed and approved by the Baldwin County Planning Director.
  - A separate Final Site Plan approval for Phase Two of Two Lakes RV Park shall be required.
- A traffic study was not required as the requested number of RV spaces is less than the 50 units required to “trigger” a traffic study, however a traffic study will be required for Phase Two of the Planned Development
- Wetland areas are reflected on the site plan with required 30’ wetland buffers indicated
- Landscape Plans are included in the staff report package for information only – to be reviewed with land use / land disturbance certificates for compliance with the zoning ordinance (a staff-level review and approval)
- A drainage report for subject property was prepared by the EOR and was found to comply with regulations as reviewed by Baldwin County Highway Department Staff
- Case number Z-21023, rezoning of subject property from B-3 General Business District to RV-2, Recreational Vehicle Park District was approved by the Baldwin County Commission on August 17, 2021. The Baldwin County Commission agenda item related to this action is available for download here: [Baldwin County Commission - File #: 21-1176 \(legistar.com\)](#)
- Case number Z-21026, approval of a Planned Residential Development (PRD) site plan for subject property was approved by the Baldwin County Commission on August 17, 2021. The Baldwin County Commission agenda item related to this action is available for download here: [Baldwin County Commission - File #: 21-1187 \(legistar.com\)](#)
- A “traditional” subdivision case, number S-21087 complements the Planned Development Site Plan and if approved will create lots of record that will contain each RV space. The RV space “lot” size is established on the approved PRD site plan
  - The RV Park Planned Development Site Plan, the PRD Site Plan, and the “traditional” subdivision work together to create a development where the RV spaces are located on lots of record, the streets within the development are private streets as contemplated by the Planned Development process, and the open space requirements of a Planned

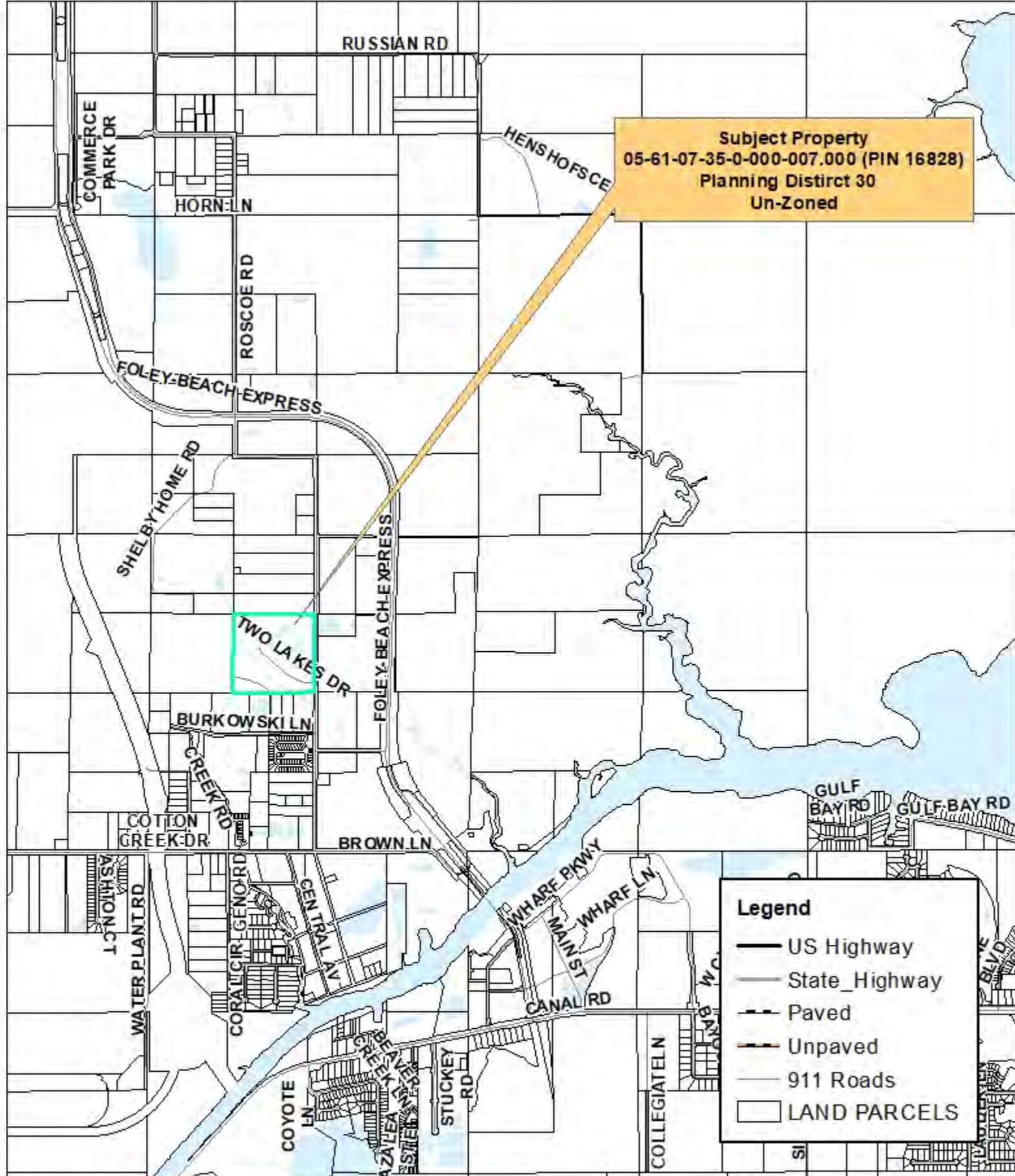
Development are reflected on the site plan and contained within common areas included within the “traditional” subdivision plat

- A variance case, S-21087 complements the “traditional” subdivision case and requests a variance to the minimum lot size requirement of the subdivision regulations (7,500sf) so that the lot sizes contemplated by the PRD are reconciled with the subdivision approval.
  - Staff’s vetting and current level of understanding of the *Baldwin County Subdivision Regulations* indicates that a zoning approval of a PRD with lot sizes less than that contemplated by the subdivision regulations does not automatically supersede the requirements of the subdivision regulations, and thus a variance is required from the subdivision regulations to reconcile the PRD with the proposed subdivision plat

## **VI. RECOMMENDATIONS:**

Staff recommends that the Planned Development Site Plan for Case No. S-21089, Two Lakes RV Park Phase One be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations with the contingency items listed below that shall be cured through the complimentary review of “traditional” subdivision Case number S-21087. Should Case number S-21087, either the variance or the “traditional” subdivision fails to receive approval by the appropriate reviewing authorities, this Planned Development Site Plan approval for Case number S-21089 will be **AUTOMATICALLY WITHDRAWN**.

1. Coordinate and reflect on the Planned Development Site Plan any and all review comments and revisions related to the “traditional” subdivision application (Case number S-21087).
2. The Planned Development Site Plan within Case number S-21089 shall not be recorded until approval of both the subdivision variance and the “traditional” subdivision within Case number S-21087 is attained.
  - a. Subject property is included within the Planning Jurisdiction of the City of Gulf Shores and the “traditional” subdivision shall be approved by the Gulf Shores Planning Commission. The County-level approval of the “traditional” subdivision shall be administrative and will not be considered by the Baldwin County Planning Commission.
  - b. The applicant may wish to delay recording the Planned Development Site Pan until the construction plans approval process through the Baldwin County Highway Department is complete so that any construction-related edits to the site plan are reflected on the site plan and thus the recorded site plan reflects “for construction” plans.
  - c. The Planned Development Site Plan recording shall include a certificate of approval sheet similar to a “traditional” subdivision plat as well as all plans including but not limited to sheets C1.0 through C14.0.

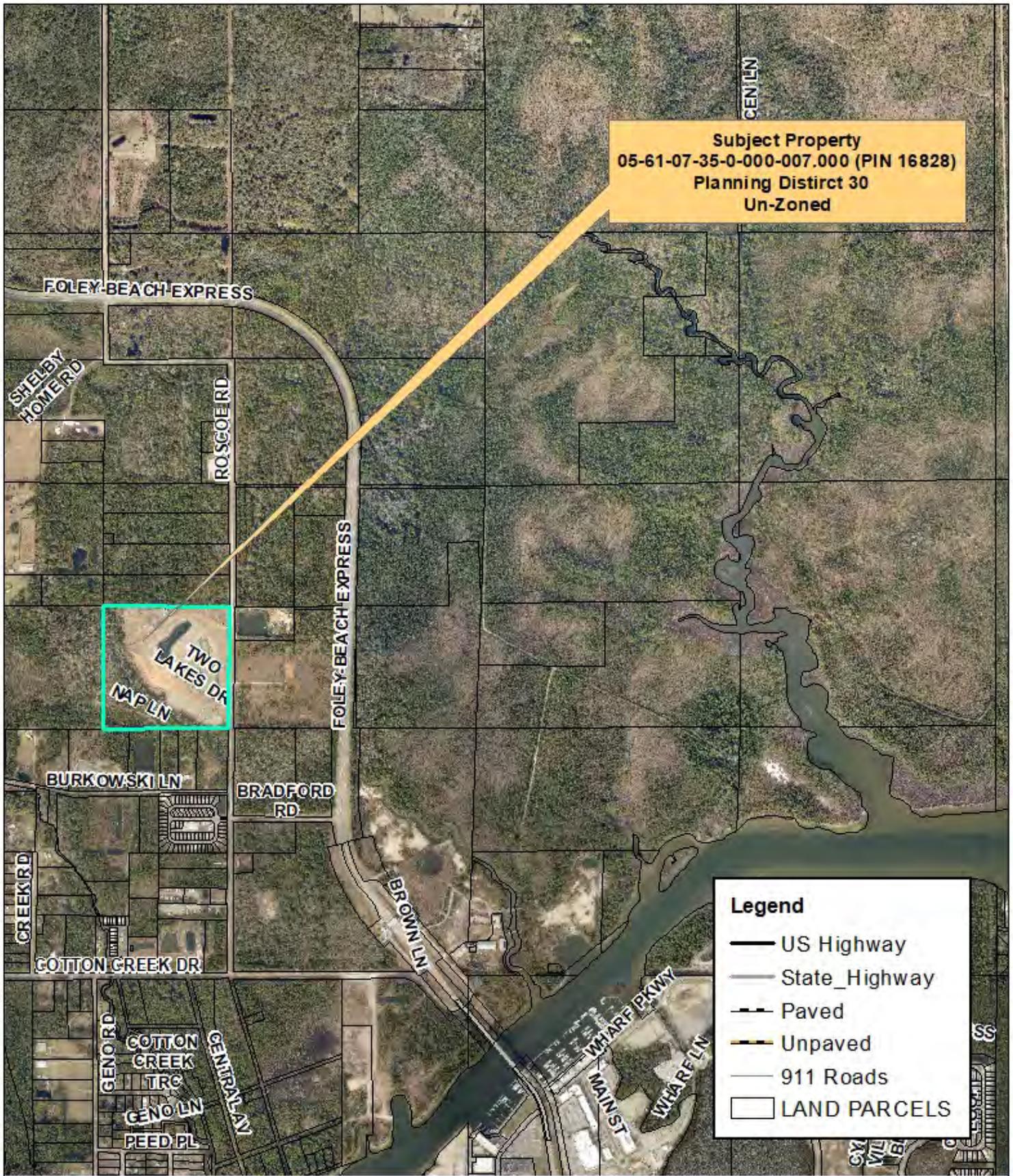


Subject Property  
 05-61-07-35-0-000-007.000 (PIN 16828)  
 Planning District 30  
 Un-Zoned

**Legend**

- US Highway
- State Highway
- Paved
- Unpaved
- 911 Roads
- LAND PARCELS


**S-21089 Two Lakes RV Park  
 Vicinity Map**



**Subject Property**  
 05-61-07-35-0-000-007.000 (PIN 16828)  
 Planning District 30  
 Un-Zoned

**Legend**

- US Highway
- State\_Highway
- Paved
- Unpaved
- 911 Roads
- LAND PARCELS



**S-21089 Two Lakes RV Park**  
**Site Map**

589°30'59"E 1,333.55'(R&A)

TAX PARCEL# 05-81-07-35-0-000-003.000

(2) CAPPIED  
REBAR FOUND  
(W/6" BLS)

VICINITY MAP (NOT TO SCALE)



SURVEY LEGEND, PERLIMINARY PLAT of TWO LAKES OF ALABAMA PHASE ONE, Graphic Scale 1" = 60', CERTIFICATE OF APPROVAL BY THE GULF SHORES PLANNING COMMISSION.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY EMC, THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2021.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY EMC, THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2021.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES (GAS), THE UNDERSIGNED, AS AUTHORIZED BY RIVIERA UTILITIES HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS DAY OF 2021.

CERTIFICATE OF APPROVAL BY THE FIRE MARSHALL OF GULF SHORES ALABAMA, APPROVED BY THE FIRE MARSHALL OF THE CITY OF GULF SHORES, BY APPROVAL OF THIS SUBDIVISION PLAT THE FIRE MARSHALL OF GULF SHORES ASSUMES NO RESPONSIBILITY FOR DEFECTS OR DEFICIENCIES IN THE TITLE TO THE PROPERTY AFFECTED BY THIS PLAT AND ANY SUCH RESPONSIBILITY IS HEREBY AFFIRMATIVELY DISCLAIMED.

PROPERTY DESCRIPTION: (PER SURVEY) COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83 TO THE POINT OF BEGINNING...

SURVEYOR'S NOTES: 1. UNLESS STATED OTHERWISE HEREON, THIS PLAT WAS PREPARED WITHOUT BENEFIT OF AN ABSTRACT OF TITLE. NO LIABILITY IS ASSUMED BY THE UNDERSIGNED FOR LOSS RELATING TO ANY MATTER THAT MIGHT BE DISCOVERED BY AN ABSTRACT OR TITLE SEARCH OF THE PROPERTY.

SURVEYOR'S CERTIFICATION: STATE OF ALABAMA, COUNTY OF BALDWIN, I, JUSTIN PALMER, A LICENSED PROFESSIONAL SURVEYOR IN BALDWIN COUNTY, ALABAMA, HEREBY CERTIFY THAT ALL PARTS OF THIS PLAT AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION AND BELIEF.

THE WOODLANDS GROUP Surveying Solutions, CLIENT: RAY LEE, FIELD WORK BY: C.C. WILKINS, DATE: 8/27/2020, DRAWING NO.: 18000-1, SHEET 1 OF 1, SCALE: 1"=60'

PRELIMINARY PLAT TWO LAKES OF ALABAMA, PHASE 1 TAX PARCEL #05-81-07-35-0-000-007.000 ROSCOE, GULF SHORES, BALDWIN COUNTY, ALABAMA SECTION-35, TOWNSHIP-8-SOUTH, RANGE-4-EAST

Table with 4 columns: NO., RECORD DEED INSTRUMENT #, DATE, and REFERENCE MATERIAL.



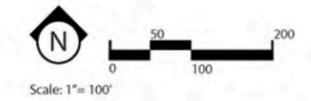
Table with 4 columns: CURVE, RADIUS, ARC, CHORD, CHORD BEARING. Includes data for curves C1 through C18.

TAX PARCEL# 05-81-07-35-0-000-010.020, TAX PARCEL# 05-81-07-35-0-000-010.010, TAX PARCEL# 05-81-07-35-0-000-010.009, TAX PARCEL# 05-81-07-35-0-000-010.008



LEGEND	
ID	ITEM
A	CLUBHOUSE
B	POOL
C	DETENTION POND
D	RV LOTS
E	RECREATIONAL AMENITY
F	EXISTING WETLANDS
G	FRONTAGE PLANTINGS
H	FENCE & COLUMNS
I	FUTURE PHASE

ILLUSTRATIVE MASTER PLAN  
Scale: 1"=100'



# Two Lakes Subdivision - Gulf Shores, Alabama

PERMITTING  
08.20.21 | Page 1 of 1

Project Number: 212047-006



STATE OF ALABAMA

COUNTY OF BALDWIN

RESOLUTION # 2021-099

DETERMINATION OF THE BALDWIN COUNTY COMMISSION, REGARDING **Case No. Z-21023, Two Lakes LLC Property** SUCH DETERMINATION AS AUTHORIZED PURSUANT TO SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975).

**WHEREAS**, Raymond Lee has petitioned the Baldwin County Commission to rezone certain property, in Planning (Zoning) District No. 30, for property identified herein and described as follows:

40 AC(C) SE1/4 OF NW1/4 LESS RD R/W SEC 35-T8S-R4E (ST WD)

Otherwise known as tax parcel number, **05-61-07-35-0-000-007.000**, as found in the office of the Revenue Commissioner of Baldwin County, Alabama; and

**WHEREAS**, the petitioner has requested that the property herein identified be rezoned from B-3, General Business District, to RV-2, Recreational Vehicle Park District; and

**WHEREAS**, the Baldwin County Planning and Zoning Commission held a public hearing on July 8, 2021, and voted to recommend approval of the rezoning request; and

**WHEREAS**, the Baldwin County Commission held a public hearing on August 17, 2021; and

**WHEREAS**, the requirements of SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975), regarding procedures to consider this rezoning request, which would affect the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, have been met; now therefore

**BE IT RESOLVED, BY THE BALDWIN COUNTY COMMISSION, IN REGULAR SESSION ASSEMBLED**, That the petitioner’s request to rezone the property (Case No. Z-21023, Two Lakes LLC Property) as herein identified and described and as found within the confines of Planning (Zoning) District No. 30 from B-3, General Business District, to RV-2, Recreational Vehicle Park District which amends the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, is hereby **APPROVED**.

DONE, Under the Seal of the County Commission of Baldwin County, Alabama, on this the **17<sup>th</sup>** day of **August 2021**.

**ADOPTION OF MINUTES PENDING**

Honorable Joe Davis, III, Chairman

ATTEST

**ADOPTION OF MINUTES PENDING**

Wayne Dyess, County Administrator

STATE OF ALABAMA

COUNTY OF BALDWIN

RESOLUTION # 2021-100

DETERMINATION OF THE BALDWIN COUNTY COMMISSION, REGARDING **Case No. Z-21026, Two Lakes LLC Property, Phase 1 Planned Residential Development (PRD) Site Plan** SUCH DETERMINATION AS AUTHORIZED PURSUANT TO SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975).

**WHEREAS**, Raymond Lee has petitioned the Baldwin County Commission to approve a Planned Residential Development (PRD) Site Plan, in Planning (Zoning) District No. 30, for property identified herein and described as follows:

**PROPERTY DESCRIPTION: (PER SURVEY)**

COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83' TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°27'22" WEST A DISTANCE OF 103.12 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.64 FEET, A RADIUS OF 495.81 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 63°56'51" WEST A DISTANCE OF 107.66 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 171.72 FEET, A RADIUS OF 637.00 FEET, A CHORD BEARING OF NORTH 56°13'29" WEST, A CHORD LENGTH OF 171.20 FEET; THENCE RUN NORTH 48°30'08" WEST A DISTANCE OF 455.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.76 FEET, A RADIUS OF 412.00 FEET, A CHORD BEARING OF NORTH 33°00'47" WEST, A CHORD LENGTH OF 220.05 FEET; THENCE RUN NORTH 72°28'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE RUN NORTH 45°10'32" EAST A DISTANCE OF 57.78 FEET TO A POINT; THENCE RUN NORTH 78°16'53" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 116.84 FEET, A RADIUS OF 182.00 FEET, A CHORD BEARING OF SOUTH 30°06'37" EAST, A CHORD LENGTH OF 114.85 FEET; THENCE RUN SOUTH 48°30'08" EAST A DISTANCE OF 68.33 FEET TO A POINT; THENCE RUN NORTH 41°29'52" EAST A DISTANCE OF 42.08 FEET TO A POINT; THENCE RUN SOUTH 48°30'16" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 82.02 FEET, A RADIUS OF 229.94 FEET, A CHORD BEARING OF NORTH 51°42'51" EAST, A CHORD LENGTH OF 81.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 46.60 FEET, A RADIUS OF 525.00 FEET, A CHORD BEARING OF NORTH 59°23'14" EAST, A CHORD LENGTH OF 46.58 FEET TO A POINT; THENCE RUN SOUTH 33°09'20" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 165.60 FEET, A RADIUS OF 605.10 FEET, A CHORD BEARING OF NORTH 49°00'12" EAST, A CHORD LENGTH OF 165.08 FEET TO A POINT; THENCE RUN NORTH 41°09'43" EAST A DISTANCE OF 60.50 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 190.40 FEET, A RADIUS OF 405.00 FEET, A CHORD BEARING OF NORTH 27°41'39" EAST, A CHORD LENGTH OF 188.65 FEET TO A POINT; THENCE RUN EAST A DISTANCE OF 76.42 FEET TO A POINT; THENCE RUN SOUTH A DISTANCE OF 160.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 209.54 FEET, A RADIUS OF 564.26 FEET, A CHORD BEARING OF SOUTH 10°38'19" EAST, A CHORD LENGTH OF 208.34 FEET TO A POINT; THENCE RUN SOUTH 89°27'22" EAST A DISTANCE OF 120.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD; THENCE RUN SOUTH 0°32'38" WEST A DISTANCE OF 583.77 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING, ALL BEING A TOTAL OF 11.64 ACRES MORE OR LESS AND LOCATED ENTIRELY IN THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA.

Otherwise known as tax parcel number, **05-61-07-35-0-000-007.000**, as found in the office of the Revenue Commissioner of Baldwin County, Alabama; and

**WHEREAS**, the petitioner has requested Planned Residential Development (PRD) Site Plan Approval for a development to be known as Two Lakes LLC, Phase 1; and

**WHEREAS**, the Baldwin County Planning and Zoning Commission held a public hearing on July 8, 2021, and voted to recommend approval; and

**WHEREAS**, the Baldwin County Commission held a public hearing on August 17, 2021; and

**WHEREAS**, the requirements of SECTION 45-2-261 THROUGH SECTION 45-2-261.18, CODE OF ALABAMA (1975), regarding procedures to consider this PRD request, which would affect the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, have been met; now therefore

**BE IT RESOLVED, BY THE BALDWIN COUNTY COMMISSION, IN REGULAR SESSION ASSEMBLED**, That the petitioner's request for Planned Residential Development (PRD) Site Plan Approval (Case No. Z-21023, Two Lakes LLC Property) as herein identified and described and as found within the confines of Planning (Zoning) District No. 30, which amends the Planning (Zoning) District Boundary designations of the Planning (Zoning) District No. 30 Official Map, is hereby **APPROVED**.

DONE, Under the Seal of the County Commission of Baldwin County, Alabama, on this the 17<sup>th</sup> day of **August 2021**.

**ADOPTION OF MINUTES PENDING**

Honorable Joe Davis, III, Chairman

*ATTEST*

**ADOPTION OF MINUTES PENDING**

Wayne Dyess, County Administrator

# Two Lakes of Alabama

## DRAINAGE REPORT

5651 Roscoe Road  
Gulf Shores, AL



**06/07/2021**

**Christopher Lieb, P.E.**  
**Civil Engineer**



PO Box 2266  
Fairhope, AL 36533  
Phone: 251 978-9779

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PO Box 2266  
Fairhope, AL 36533  
Phone: 251 978-9779

## **Section 1.0 Project Overview**

This property is a 39.93-acre site located in Gulf Shores on the West Side of Roscoe Road. The property is currently two drainage areas. One area drains to the south through the wetlands. The other area is to the east to the existing ditch along Roscoe Road. Both drainage areas converge in the ditch and run under Roscoe Road in twin 48" RCP Pipes. The existing drainage areas area currently some dense underbrush and woods and open field. The post-development runoff towards Roscoe Road will be be routed through the two existing ponds by means of sheet flow and underground drainage. The ponds have been designed to detain the runoff to mitigate the peak runoff rate for the 2, 5, 10, 25, 50 and 100-year storms by means of outlet control structures. See the Grading and Drainage Plan as part of the construction documents.

## **Section 2.0 Site Conditions**

The site is not developed. The site will be developed into a 109-unit RV Resort in two phases. The site currently drains to the south and to the east. The site sheet drains across the property and enters the ditch on Roscoe Road. These drainage calculations and report are designed for Phase I and II of the project.

## **Section 3.0 Design Frequency**

A portion of the drainage will be conveyed into the north pond. This pond will discharge into the south pond as well as some of the underground drainage. The ponds have been designed to mitigate the flows from the 2-100 year storms. The SCS Method was used in the pond sizing calculations. According to the Web Soil Survey provided by the NRCS, the drainage class for most of the site is A and a quarter of the site is B. The curve number for the undeveloped site is 39. The developed site Curve Number is 77 due to the development averaging between open space and the lots about 1/8 acre per lot. The Kirpich method was used in the time of concentration calculations. The rainfall data was gathered from NOAA's website. Hydraflow Storm Sewer Extension for AutoCAD Civil 3D 2017 was utilized for the calculations. There will be no negative effects to downstream properties nor drainage facilities.



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**Table 1.1 Summary of Pre vs Post Discharges**

Hyd. No.	Hydrograph type (origin)	Inflow hyd(s)	Peak Outflow (cfs)								Hydrograph Description
			1-yr	2-yr	3-yr	5-yr	10-yr	25-yr	50-yr	100-yr	
1	SCS Runoff	-----	-----	5.335	-----	20.32	43.73	89.65	135.61	192.46	Predevelopment to South
2	SCS Runoff	-----	-----	1.039	-----	3.926	8.283	16.86	25.53	36.25	Predevelopment to East
3	Combine	1, 2	-----	6.354	-----	24.18	51.86	106.01	160.67	228.34	Total Pre Development
4	SCS Runoff	-----	-----	24.05	-----	34.56	44.74	60.46	74.07	89.45	Post to North Pond
5	SCS Runoff	-----	-----	2.262	-----	8.534	17.94	37.25	56.42	80.14	Post Development South Bypass
6	SCS Runoff	-----	-----	0.461	-----	1.741	3.672	7.476	11.32	16.07	Post Development East Bypass
7	SCS Runoff	-----	-----	39.90	-----	60.98	81.95	114.95	143.87	176.74	Post Development to South Pond
8	Reservoir	4	-----	5.697	-----	9.435	13.36	19.83	25.77	32.74	North Pond Discharge
10	Combine	7, 8,	-----	44.44	-----	68.52	92.99	132.10	166.68	206.29	Post Development and North Pond to
12	Reservoir	10	-----	6.023	-----	11.06	17.02	28.00	38.54	51.63	South Pond Discharge
14	Combine	5, 6, 12,	-----	6.189	-----	11.48	17.94	37.25	56.42	80.14	Total Post Discharge



**Department of Fire and Emergency Services  
Site Plan Engineering Requirements**

**Purpose:** For the safety of the community. To review the fire protection site plan, infrastructure plans, and construction documents, for every facility, building or portion of a building hereafter constructed or moved into or within the jurisdiction.

Submittal Date:	05/03/2019	Planning File#:	
Project Name:	Roscoe Road RV Resort		
Project Address:	5651 Roscoe Road Gulf Shores, AL 36542		
Prepared By:	Christopher Lieb		

#	N/A	YES	NO	ADMINISTRATIVE
1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All checklist submittal shall bear the seal of Alabama registered professional engineer.
2.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	All submittals including revisions are required to be in digital format clearly described and signed.
3.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Any revision shall be clearly described and signed and sealed by the responsible engineer.
4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Working drawing or preliminary document shall bear the statement: "PRELIMINARY, or NOT FOR CONSTRUCTION,
5.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Gulf Shores Planning and Building Dept. deadlines for review shall apply.
#	N/A	YES	NO	CODE COMPLIANCE
1.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Code Reference: 2015 International Fire Code and appendices. Gulf Shores Municipal Code
2.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the project comply with Chapter 5 Fire Service Features?
3.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the project comply with Appendix B Fire-Flow Requirements for Buildings?
4.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the project comply with Appendix C Fire Hydrant Locations and Distribution?
5.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Does the project comply with Appendix D: Fire Apparatus Access Roads?
6.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide documentation of Fire Hydrant main capacity testing specific for the project. 1. Flow test results shall comply with NFPA 291. 2. A minimum of 1 separate residual and 1 separate flow hydrant is required for each test. 3. Provide documentation of test compliance with discharge drop requirements of NFPA 291 4.3.6 4. Provide hydrant rated capacity GPM @ 20 psi. <b>The hydrant rated capacity at 20 psi is 2,054 gpm.</b>
5.	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Provide engineering analysis and calculations, hydrant flow data, and diagrams.

Applicant responsibility: It shall be the responsibility of the applicant to ensure that the construction documents include all of the fire protection requirements and the shop drawings are complete and in compliance with the applicable codes and standards. 105.4.3

Print Name: Christopher Lieb Date: 05/03/2019  
Signature: 

For Customer Service:  
George F. Surry, Fire Code Official  
1921 W. First St., Gulf Shores, AL 36542  
Office: (251) 968-7422; Direct: (251) 269-7996  
E-Mail: gsurry@gulfshoresal.gov  
Web: http://www.gulfshoresal.gov/719/Fire-Marshal





**LIEB ENGINEERING**  
C O M P A N Y

1290 Mains Street Suite E  
Daphne, AL 36526  
Phone: 251 978-9779

**Owner/Applicant:** Two Lakes, LLC, Ray Lee (Owner)  
7883 Delta Woods Dr, Bay Minette, AL 36507

Lieb Engineering, Chris Lieb (Applicant)  
1290 Main Street Suite E, Daphne, AL 36526  
(251) 978-9779, [clieb@liebengineering.com](mailto:clieb@liebengineering.com)

**Address of Property:**  
5651 Roscoe Road

**Tax Parcel:**  
05-61-07-35-0-000-007.000

**PPIN:**  
016828

## I. GENERAL INFORMATION

**Request:** **Preliminary PRD Approval**

Lieb Engineering, on behalf of Two Lakes LLC, requests recommendation to Planning Commission for preliminary PRD approval to rezone 39.97 acres from B-3 to RV-2 PRD for a Recreational Vehicle development containing 109 lots.

**Legal Description:**

COMMENCING AT THE NORTHWEST CORNER OF THE SOUTHWEST QUARTER OF SECTION 35, TOWNSHIP 8 SOUTH, RANGE 4 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN S89° 45'23"E, 1365.70 FEET TO THE POINT OF BEGINNING; THENCE RUN N00°05'08"W, 1312.02 FEET TO A POINT; THENCE RUN S89°30'59"E, 1333.55 FEET TO A POINT ON THE WEST RIGHT-OF-WAY LINE OF ROSCOE ROAD; THENCE RUN S00°26'06"W, ALONG SAID WEST RIGHT-OF-WAY LINE 1306.42 FEET TO A POINT; THENCE RUN N89°45'23"W, LEAVING SAID WEST RIGHT-OF-WAY LINE, 1321.64 FEET TO THE POINT OF BEGINNING. CONTAINING 39.90 ACRES MORE OR LESS.



The following table summarizes the proposed PUD.

<i>Description</i>	<i>Recreational Vehicle Sites</i>
Number of Lots	109 (45 Phase 1)
Average Lot Size	3,300 SF
Minimum Lot Size	3,200 SF
Maximum Lot Size	3,439 SF
Average Lot Width	42 feet
Minimum Lot Width	40 feet
Maximum Lot Width	45 feet
Front Setback	5 feet
Rear Setback	0 feet
Side Setbacks	0 feet
Building Height	Maximum 40'
Parking	1 RV parking space per lot 1 passenger vehicle parking space per lot.
Right-of-Way Width	50 feet
Roadway Width	30 feet
Sidewalks	No



## II. PRD MASTER PLAN REVIEW

The Zoning Ordinance states that an approved PRD shall be considered a separate zoning district in which development plans, as approved, establish the specific restrictions and regulations customized to fit the type of plan proposed by which the development shall be governed. Restrictions may be greater or lesser than the ones otherwise imposed by the Zoning Ordinance and Subdivision Regulations to achieve a development with fits the County's Comprehensive Plan and PRD Design Standards.

1. **Density:** The criteria for establishing an average density includes the land use plan for the area, existing surrounding density, density permitted by the existing zoning classification, adequacy of existing and proposed public facilities and services and site characteristics. Density must generally conform to the requirements as set out in Article 4 of this ordinance and conform to the Comprehensive Plan.

- Total units proposed: 109 lots
- Total acreage: 39.97 acres
- Density proposed: 2.23 lots or units/acre

Under the Planning Commission's Approval, a 130 lot RV park is approved. Section 5.6 establishes maximum density of 6 units per acre. The proposed PRD is less than 3 units per acre and a total of 109 lots.

2. **Common Open Space:** At least 20% of the area covered by a Final Development Plan shall be landscaped or provide common open space owned and operated by the owner/developer or dedicated to a homeowner association or similar group.

The project will have open space along with preserving the wetlands. The common open space will total at least 30 percent of the total development.

The development will have recreational amenities that will include a clubhouse, swimming pool, pickle ball court, two lakes and a playground.

The development will have a property owners association that will own and maintain the right-of-way and open space.

3. **Access and Parking:** All streets, thoroughfares and access ways shall be designed to effectively relate to the major thoroughfare plans of the City of Gulf Shores. Adequate off-street parking shall generally conform to the off-street parking requirements set forth in the Zoning Ordinance unless otherwise approved.



**LIEB ENGINEERING**  
C O M P A N Y

1290 Mains Street Suite E  
Daphne, AL 36526  
Phone: 251 978-9779

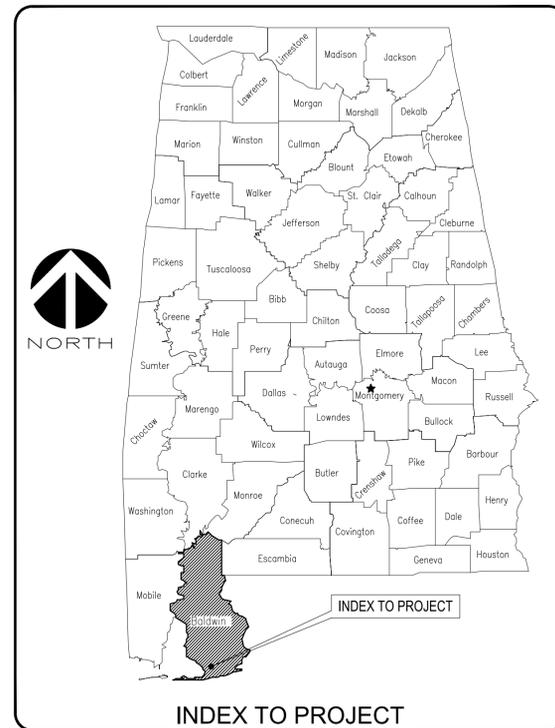
### III. DEVIATIONS FROM THE ZONING ORDINANCE AND SUBDIVISION REGULATIONS

1. The PRD proposes the following deviations to the Zoning Ordinance:
  - Lot Size: The minimum lot size in RV-2 is 5,000 SF. All RV lots will be below this requirement. The average cottage lot size is 3,300 SF with the range between 3,200 SF and 3,500 SF.
  
2. The PRD proposes the following deviations to the Subdivision Regulations:
  - Sidewalks: All lots will front on a sidewalk as required by the Subdivision Regulations. There will be no sidewalks as part of this development. Street lighting will be provided, and the applicant ensures that lighting details will be provided with the preliminary plat submittal.

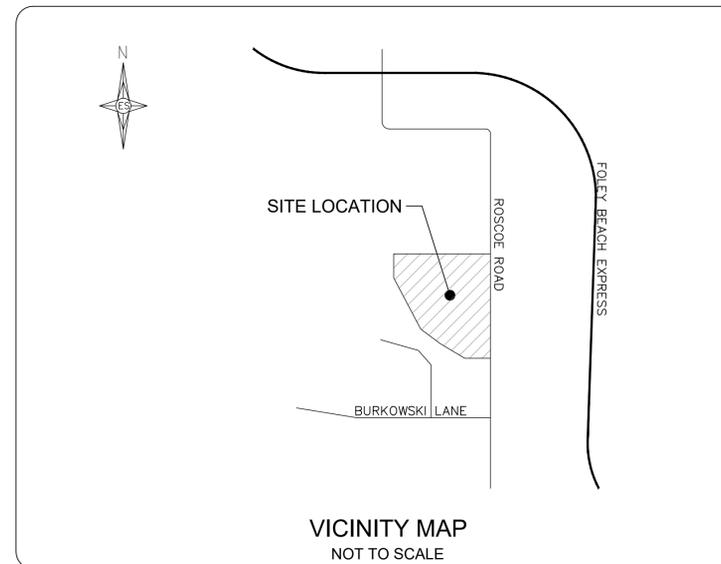
**LIEB ENGINEERING**  
C O M P A N Y

# TWO LAKES PHASE ONE

5651 ROSCOE RD  
GULF SHORES, AL 36542



INDEX TO PROJECT  
STATE MAP  
NOT TO SCALE



VICINITY MAP  
NOT TO SCALE

### INDEX TO SHEETS:

SHEET NO.	SHEET NAME
C 1.0	COVER SHEET
C 2.0	CIVIL GENERAL NOTES
C 2.1	PHASING PLAN
C 3.0	EXISTING CONDITIONS
C 4.0	SITE PLAN
C 5.0	GRADING & DRAINAGE PLAN
C 6.0	UTILITY PLAN
C 7.0	EROSION CONTROL PLAN
C 8.0	CIVIL DETAILS
C 9.0	CIVIL DETAILS
C 10.0	TYPICAL SECTION
C 11.0	PROFILE VIEWS
C 12.0	SECTIONS
C 13.0	SECTIONS
C 14.0	TREE PROTECTION PLAN

### PROJECT CONTACT INFORMATION:

**OWNER:**  
TWO LAKES LLC.  
7883 DELTA WOODS DR.  
BAY MINETTE, AL 36507

**ENGINEER:**  
LIEB ENGINEERING COMPANY, LLC  
1290 MAIN STREET SUITE E  
DAPHNE, AL 36526  
(251) 978-9779  
CONTACT: CHRIS LIEB, PE

**SURVEYOR:**  
THE WOODLANDS GROUP, LLC  
PO BOX 213  
MONTROSE, AL 36559  
(601) 479-3408

### UTILITY PROVIDERS

WATER: CITY OF GULF SHORES  
POWER: BALDWIN EMC  
GAS: RIVIERA UTILITES  
SEWER: CITY OF GULF SHORES

THE HOA/POA WILL MAINTAIN PRIVATE COMMON AREAS, BUILDINGS OR OTHER FACILITIES, INCLUDING COPIES OF ALL LEGAL DOCUMENTS NECESSARY TO ACCOMPLISH THIS.

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE	
TITLE SHEET	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	
1 OF 14	C1.0 B



**GENERAL NOTES:**

- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT AND PAY ALL PERMIT FEES. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL METHODS, PROCEDURES, AND SEQUENCES OF CONSTRUCTION.
- CONSTRUCTION SITE SAFETY, INCLUDING ALL ADEQUATE TEMPORARY BRACING AND SHORING, IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE LOCATION OF EXISTING UTILITIES SHOWN ON DRAWINGS ARE APPROXIMATE. THE CONTRACTOR SHALL MAKE EVERY REASONABLE EFFORT TO FIELD LOCATE ANY AND ALL UTILITIES PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. ANY AND ALL DISCREPANCIES SHALL BE REPORTED TO LIEB ENGINEERING IMMEDIATELY. THE CONTRACTOR SHALL EXERCISE DUE CARE TO PROTECT THEM FROM DAMAGE DURING EXCAVATION AND CONSTRUCTION.
- THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT ADJACENT PROPERTIES AND IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL EXCAVATIONS SHALL ADHERE TO THE PROVISIONS OF THE MOST CURRENT OSHA STANDARDS AND SPECIFICATIONS.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019.
- SURVEY DATA WAS COMPILED FROM A TOPOGRAPHIC SURVEY PROVIDED BY WOODLAND GROUP AND BOUNDARY BY GOODWYN, MILLS & CAWOOD.

**SITE DEMOLITION NOTES:**

- ALL EXISTING IMPROVEMENTS SHALL REMAIN WITHIN THE LIMITS OF CONSTRUCTION UNLESS SPECIFICALLY NOTED, TO BE REMOVED.
- CONTRACTOR SHALL COORDINATE WITH OWNER REGARDING ITEMS TO BE SALVAGED, REMOVED AND REUSED, ETC. CONTRACTOR TO USE CAUTION NOT TO DAMAGE THESE ITEMS DURING REMOVAL AND/OR REUSE. ANY DAMAGED ITEMS SHALL BE REPAIRED/REPLACED AT CONTRACTOR'S EXPENSE.
- ANY AND ALL UTILITIES IN CONFLICT WITH PROPOSED IMPROVEMENTS SHALL BE REMOVED OR RELOCATED. COORDINATE WITH UTILITY PROVIDER PRIOR TO REMOVAL/RELOCATION.
- SAWCUT EXISTING HARDSCAPES AT LIMITS OF REMOVAL. ASPHALT PAVING SHALL BE MILLED A MINIMUM OF 8" TO ENSURE A SMOOTH TRANSITION TO PROPOSED ASPHALT PAVING.
- CONTRACTOR TO DISPOSE OF ALL DEMOLITION AND CONSTRUCTION DEBRIS AT LEAST WEEKLY IN AN APPROVED MANNER.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, RELOCATION OR PROTECTION OF ALL ABOVE AND BELOW GROUND EXISTING IMPROVEMENTS THAT ARE IN CONFLICT WITH THE PROPOSED IMPROVEMENTS UNLESS NOTED.

**LAYOUT NOTES:**

- TOPOGRAPHY AND SITE BOUNDARIES SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO ORDERING MATERIALS AND/OR BEGINNING CONSTRUCTION. IMMEDIATELY NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- ALL DIMENSIONS AND COORDINATES SHOWN ARE TO THE OUTSIDE FACE OF BUILDING TO THE BACK OF CURB, OR TO THE EDGE OF SURFACING UNLESS OTHERWISE NOTED.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.
- VERIFY ALL DIMENSIONS AND CONDITIONS RELATED TO EXISTING CONDITIONS IN THE FIELD PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF LIEB ENGINEERING. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALE. SCALE IS FOR GUIDELINE PURPOSES ONLY. IF DIMENSIONS ARE UNCLEAR, DO NOT SCALE. REQUEST CLARIFICATION FROM THE ENGINEER.
- CONTRACTOR SHALL FOLLOW STATE REQUIREMENTS FOR SURVEY PRACTICES FOR CONSTRUCTION LAYOUT WORK.

**GRADING NOTES:**

- THE LIMITS OF CLEARING SHALL BE AT THE EDGE OF PROPOSED GRADING OR THE PROPERTY LINE, WHICHEVER IS LESS.
- THE OWNER SHALL BE RESPONSIBLE FOR PROVIDING COMPACTION TESTING.
- ALL TOP SOIL WITHIN LIMITS OF CONSTRUCTION (5' BEYOND THE BUILDING FOOTPRINT AND 3' BEYOND PAVEMENTS AND WITHIN THE LIMITS OF GRADING) SHALL BE STRIPPED AND STOCKPILED ON SITE IN AN APPROVED MANNER. TOPSOIL SHALL BE SPREAD 6" DEEP ON ALL NON HARDSCAPE AREAS TO BRING TO FINISHED GRADE. ANY EXCESS TOPSOIL SHALL BE DISPOSED OF OFF SITE IN AN APPROVED MANNER.
- IN CUT AREAS, SUBGRADE SHALL BE SCARIFIED A MINIMUM OF 1" AND RECOMPACTED BEFORE PLACING FILL OR ANY OTHER IMPROVEMENTS. RECOMPACTION SHALL MEET THE SPECIFIED DENSITY AND MOISTURE CONTENT IN GRADING NOTE #6 AND #7.
- CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING THE SUBGRADE AFTER IT HAS BEEN INITIALLY PREPPED DUE TO INCLEMENT WEATHER AND CONSTRUCTION TRAFFIC.
- ALL STRUCTURAL FILL EXHIBIT SM CLASSIFICATION ACCORDING TO THE UNIFIED SOIL CLASSIFICATION SYSTEM, HAVE A MAXIMUM OF 25% SOIL FINES PASSING THE NO. 200 SIEVE, HAVE A MAXIMUM LIQUID LIMIT (LL) OF 20%, HAVE A PLASTICITY INDEX (PI) OF 0% (NON-PLASTIC), HAVE A MINIMUM STANDARD PROCTOR (ASTM D-698) MAXIMUM DRY DENSITY OF 110 PCT. MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 100 PERCENT STANDARD PROCTER DENSITY AS PER ASTM-D698, AT A FIELD MOISTURE WITHIN ±3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- PIPE BEDDING SHALL BE "SELECT SAND." THE MATERIAL SHALL CONTAIN LESS THAN 10% PASSING THE #200 SIEVE AND 90% OR LESS PASSING THE #40 SIEVE, BY WEIGHT. MATERIAL SHALL BE PLACED IN 8" LOOSE LIFTS AND EACH LIFT COMPACTED TO 95 PERCENT STANDARD PROCTOR DENSITY AS PER ASTM-D698, AT A FIELD MOISTURE WITHIN ±3 PERCENT OF OPTIMUM. ON SITE SOILS FREE OF ORGANICS AND DELETERIOUS MATERIALS AND SATISFYING THE SPECIFICATIONS PROVIDED ABOVE MAY BE STOCKPILED AND USED AS STRUCTURAL FILL.
- SUBGRADE SHALL BE PROOF ROLLED WITH A HEAVILY LOADED DUMP TRUCK AND APPROVED BY THE GEOTECHNICAL ENGINEER PRIOR TO PLACING FILL FOUNDATIONS, PAVING, ETC.. ANY AREAS SHOWING SIGNS OF PUMPING, RUTTING, OR ANY UNSUITABLE (ORGANIC, SOFT, WET, LOOSE) MATERIAL FOUND IN PLACE SHALL BE UNDERCUT AND REPLACED, OR MOISTURE CONDITIONED AND COMPACTED TO THE SPECIFIED DENSITY AND MOISTURE CONTENT SPECIFIED.
- FINISHED GRADES ARE SHOWN ON THIS PLAN. CONTRACTOR SHALL MAKE THE APPROPRIATE HOLDDOWNS FOR SUBGRADE ELEVATIONS.
- STORM DRAINAGE INLETS SHALL BE LOCATED AT THE LOWPOINTS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- CONTRACTOR SHALL PROVIDE FOR PERSONNEL AND VEHICULAR PROTECTION AT ANY OPEN EXCAVATIONS IN ACCORDANCE WITH 29 CFR PART 1926 AS WELL AS ANY REQUIREMENTS FOR EXCAVATIONS GREATER THAN FOUR (4) FEET IN DEPTH.
- CONTRACTOR SHALL BE RESPONSIBLE FOR SHORING ADJACENT TO EXISTING STRUCTURES AND UNDERGROUND UTILITIES DURING ALL EXCAVATION OPERATIONS. TYPE OF SHORING AND PROCEDURE TO BE FOLLOWED MAY BE SUBJECT TO THE ENGINEER'S REVIEW BUT THE STRUCTURAL ADEQUACY OF THESE SYSTEMS, AS WELL AS DAMAGES TO THE EXISTING FACILITIES, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- COMPACTION TESTS SHALL BE TAKEN AT THE RECOMMENDATION OF THE ON-SITE GEOTECHNICAL ENGINEER, BUT AT A MINIMUM 5 IN THE PAVEMENT AREAS PER 8" LIFTS.
- COMPACTION WITHIN LIMITED SPACES (I.E. MANHOLES, INLETS, UTILITY TRENCHES) SHOULD BE BACKFILLED AND COMPACTED SYSTEMATICALLY, AT THE DIRECTION OF THE ON-SITE GEOTECHNICAL ENGINEER. SAND BACKFILL SHALL BE INSTALLED IN 12" LOOSE LIFTS AND COMPACTED WITH 6-8 PASSES OF A VIBRATORY COMPACTOR.
- DEWATERING SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR. PREVENT SURFACE WATER AND GROUND WATER FROM ENTERING EXCAVATIONS, FROM PONDING ON PREPARED SUBGRADES, AND FROM FLOODING PROJECT SITE AND SURROUNDING AREA. PROTECT SUBGRADES FROM SOFTENING, UNDERMINING, WASHOUT, AND DAMAGE BY RAIN OR WATER ACCUMULATION. REROUTE SURFACE WATER RUNOFF AWAY FROM EXCAVATED AREAS. DO NOT ALLOW WATER TO ACCUMULATE IN EXCAVATIONS. DO NOT USE EXCAVATED TRENCHES AS TEMPORARY DRAINAGE DITCHES. INSTALL A DEWATERING SYSTEM TO KEEP SUBGRADES DRY AND CONVEY GROUND WATER AWAY FROM EXCAVATIONS. MAINTAIN UNTIL DEWATERING IS NO LONGER REQUIRED.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE IS MAINTAINED THROUGHOUT CONSTRUCTION. PONDING AND STANDING WATER SHALL BE KEPT TO A MINIMUM.
- A GEOTECHNICAL REPORT HAS BEEN PREPARED BY GEOCON ENGINEERING AND MATERIALS TESTING, INC. PROJECT NUMBER DL 1834-19. THIS DOCUMENT IS AVAILABLE FOR REFERENCE. ALL EARTHWORK OPERATIONS SHALL BE COORDINATED WITH THE RECOMMENDATIONS OF THIS REPORT. THE BUILDING FOUNDATIONS, CONCRETE PADS, AND ROADS SHALL BE UNDERCUT TO A MINIMUM DEPTH OF 12 INCHES OR TO A DEPTH THAT WILL ALLOW FOR PLACEMENT OF AT LEAST 18 INCHES OF COMPACTED FILL BELOW THE LOWEST BEARING ELEVATION (WHICHEVER UNDERCUT DEPTH IS DEEPER).

**CONCRETE NOTES:**

- ALL NORMAL WEIGHT CONCRETE SHALL OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI UNLESS NOTED OTHERWISE.
- CALCIUM CHLORIDE AND/OR ADMIXTURES CONTAINING CALCIUM CHLORIDE SHALL NOT BE USED IN THE CONCRETE.
- TEST CYLINDERS SHALL BE MADE AND TESTED AS OUTLINED IN THE ACI 301 SPECIFICATION, AND PER PROJECT SPECIFICATIONS.
- REINFORCING BARS SHALL BE DEFORMED BARS OF NEW BILLET STEEL CONFORMING TO ASTM A-615, GRADE 60 AND PLACED IN ACCORDANCE WITH ACI-315, LATEST EDITION UNLESS SPECIFICALLY NOTED OTHERWISE ON THE DRAWINGS.
- FABRICATION OF REINFORCING STEEL SHALL BE IN ACCORDANCE WITH THE "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES" ACI 315.
- UNLESS OTHERWISE NOTED, CONCRETE COVER FOR REINFORCING BARS SHALL CONFORM TO THE MINIMUM REQUIREMENTS OF ACI 318.
- PROVIDE 3/4" BY 45 DEGREE CHAMFER ON ALL EXPOSED CONCRETE EDGES UNLESS NOTED OTHERWISE ON THE DRAWINGS.
- TYPE II PORTLAND CEMENT SHALL BE USED IN THE MANUFACTURE OF ALL CONCRETE UNLESS OTHERWISE NOTED. PORTLAND CEMENT SHALL CONFORM TO C150. ONLY ONE BRAND OF CEMENT SHALL BE USED FOR ALL CONCRETE FOR EXPOSED SURFACES OF ADJACENT STRUCTURES.
- AGGREGATE, BOTH COARSE AND FINE, USED IN THE MANUFACTURE OF CONCRETE SHALL CONFORM TO ASTM C33 UNLESS OTHERWISE NOTED.
- CONTRACTOR MAY SUBSTITUTE CONSTRUCTION JOINTS IN LIEU OF CONTROL JOINTS AS NEEDED.
- EXPANSION JOINT MATERIAL SHALL BE BITUMINOUS TYPE PER ASTM D994.
- SEALANT SHALL BE BASF SONOLASTIC SL2, OR OTHER ELASTOMERIC JOINT SEALANT AS APPROVED. ALL SEALANT MATERIAL SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S RECOMMENDED INSTALLATION INSTRUCTIONS.
- PAVEMENT SURFACE SHALL HAVE BROOM FINISH.

**STORM DRAINAGE NOTES:**

- THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS ON ALL STORM PIPE MATERIALS TO LIEB ENGINEERING PRIOR TO INSTALLATION AND/OR FABRICATION.
- ALL PROPOSED STORM INLETS (GRATES, CURB, YARD, AREA DRAINS) ARE TO BE LOCATED AT THE LOWPOINTS. GRADING SHALL BE TO DIRECT RUNOFF TO THESE INLETS. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- STORM DRAINAGE SYSTEMS SHALL BE CONSTRUCTED FROM DOWNSTREAM TO UPSTREAM. VERIFY ALL PIPE SLOPES, INVERTS, AND POINTS OF CONNECTION PRIOR TO CONSTRUCTION. NOTIFY LIEB ENGINEERING OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED STORM PIPE GRADES AND POINTS OF CONNECTION PRIOR TO INSTALLATION. LIEB ENGINEERING SHALL BE NOTIFIED OF ANY DEVIATIONS PRIOR TO CONSTRUCTION.
- PROPOSED STORM PIPES SHALL BE BEDDED IN 6" OF SAND.
- ALL STORM PIPES 18" AND GREATER SHALL BE CLASS 3 REINFORCED CONCRETE PIPE (RCP) BELL AND SPIGOT INSTALLED WITH WATERTIGHT JOINTS UNLESS OTHERWISE NOTED.
- ALL SLOPE PAVED HEADWALLS SHALL BE PER ALDOT SPECIAL DRAWING #HW-614-SP.

**UTILITY NOTES:**

- THE SITE CONTRACTOR IS RESPONSIBLE FOR COMPLETING ALL UTILITY SERVICES (WATER, ELECTRICAL, TELEPHONE, CABLE TV) FROM THE POINT THE RESPECTIVE UTILITY COMPANY COMPLETES THEIR WORK TO THE POINT OF CONNECTION AT THE BUILDING.
- REFER TO ARCHITECTURAL, MECHANICAL, PLUMBING, ELECTRICAL, ETC. PLANS FOR ALL PROPOSED UTILITY POINTS OF CONNECTION AT THE BUILDING.
- BACKFLOW PREVENTION AND METERING SHALL BE PROVIDED ON THE FIRE, DOMESTIC, AND IRRIGATION SERVICES IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY AND FIRE DEPARTMENT'S REQUIREMENTS.
- WATER MAINS AND SERVICES SHALL BE INSTALLED IN ACCORDANCE WITH THE LOCAL UTILITY COMPANY'S REQUIREMENTS. ALL MAINS AND SERVICES SHALL BE INSTALLED WITH A MINIMUM OF 36" COVER UNLESS OTHERWISE INDICATED ON PLANS.
- ALL SANITARY SEWER MAINS AND LATERALS SHALL BE PVC SDR 26 UNLESS OTHERWISE REQUIRED BY THE LOCAL UTILITY COMPANY.
- ALL UNDERGROUND ELECTRICAL, TELEPHONE, AND CABLE TV SHALL BE INSTALLED IN PVC CONDUIT OR CONCRETE ENCASED DUCT BANK WITH PULL WIRE MEETING THE LOCAL UTILITY COMPANY'S REQUIREMENTS. INFORMATION SHOWN ON CIVIL DRAWINGS FOR REFERENCE ONLY. REFER TO ELECTRICAL PLANS FOR SPECIFIC INFORMATION.
- UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED FILL PLACED IN 6 INCH LOOSE LIFTS. FILL SHALL BE COMPACTED TO 98% STANDARD PROCTOR AND OPTIMUM MOISTURE CONTENT WITHIN ±3%.
- WHEN INSTALLING UTILITIES IN EXISTING PAVED AREAS OR IN AREAS WHERE SOILS ARE CONSIDERED UNSUITABLE FOR BEDDING OR BACKFILLING, UTILITY TRENCHES SHALL BE BACKFILLED FULL DEPTH WITH SAND.
- WHERE UTILITIES ARE TO BE INSTALLED IN AREAS OF EXISTING PAVING, HARDSCAPE, SIDEWALKS, ETC. CONTRACTOR SHALL SAWCUT AND REMOVE EXISTING PAVING, HARDSCAPE, SIDEWALK ETC. AND REPLACE IN LIKE KIND AND RESTRIPE AS NECESSARY. BACKFILL TRENCH FULL DEPTH WITH SAND.

**TRAFFIC CONTROL NOTES:**

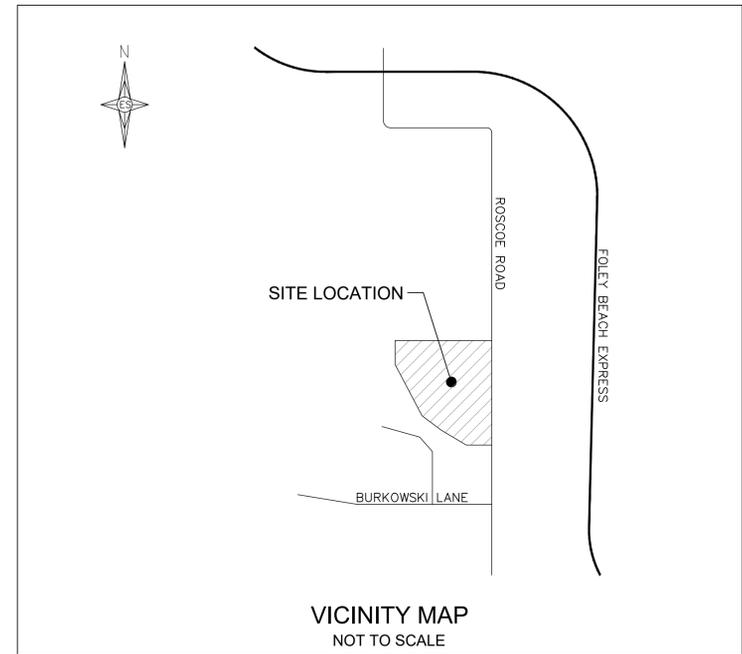
- THE CONTRACTOR SHALL ESTABLISH AND MAINTAIN TRAFFIC CONTROL DEVICES IN ACCORDANCE WITH THE LATEST EDITION AND REVISION OF PART VI OF THE FEDERAL MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) AND THE APPROVED TRAFFIC CONTROL PLAN FOR ALL CONSTRUCTION WITHIN WORK AREAS SHOWN AND DESCRIBED IN PART VI OF THE MUTCD.
- PERMANENT ROADWAY SIGNS OR TEMPORARY CONSTRUCTION SIGNS WHICH ARE NOT APPLICABLE OR INAPPROPRIATE FOR THE CURRENT CONDITIONS SHALL BE COVERED OR REMOVED.
- THE DIMENSIONS SHOWN OR DESCRIBED FOR LOCATING CONSTRUCTION SIGNS ARE NOMINAL. THE ACTUAL DIMENSIONS SHALL BE ADJUSTED TO BEST FIT LOCAL CONDITIONS AND PROVIDE MAXIMUM VISIBILITY.
- IF TRAFFIC CONTROL DEVICES ARE NECESSARY FOR PROPER WARNING AND TRAFFIC CONTROL AFTER SUNSET, THEN AS A MINIMUM, TYPE "B" WARNING LIGHTS SHALL BE PLACED ON THE FIRST WARNING SIGN AND CHANNELIZING DRUM AND TYPE "A" REFLECTIVE SHEETING SHALL BE REQUIRED ON ALL SIGNS.
- HAZARDOUS CONDITIONS ON OPEN ROADWAYS SUCH AS PAVEMENT DROP-OFFS IN EXCESS OF 2"; CONSTRUCTION MATERIALS, VEHICLES, OR EQUIPMENT STORED OR PLACED WITHIN THE ROADWAY RIGHT-OF-WAY; AND OPEN TRENCHES ACROSS OR NEAR THE ROADWAY SHALL NOT BE ALLOWED UNLESS THE CONTRACTOR IS ON SITE AND WORKING, AND PROPER TRAFFIC CONTROL MEASURES ARE BEING TAKEN.
- THE CONTRACTOR SHALL KEEP OPEN ROADWAYS CLEAN AND FREE OF CONSTRUCTION DEBRIS, DIRT, LOOSE GRAVEL OR OTHER MATERIAL THAT MAY CAUSE HAZARDOUS DRIVING CONDITIONS.
- TRAFFIC CONTROL DEVICES SHALL MEET THE STANDARD MATERIAL AND INSTALLATION REQUIREMENTS SPECIFIED IN THE CURRENT EDITION OF THE ALDOT STANDARD SPECIFICATIONS FOR HIGHWAY CONSTRUCTION.
- ROADWAYS AND DRIVEWAYS SHALL REMAIN OPEN DURING CONSTRUCTION.
- CHANNELIZING DEVICES SHALL BE PLACED AT 10' ON CENTER ALONG MINIMUM 20' RADII TO CHANNELIZE TRAFFIC INTO AND OUT OF INTERSECTING ROAD AND DRIVES WITHIN AREAS WHERE CHANNELIZING DEVICES ARE REQUIRED. TEMPORARY REGULATORY SIGNS SUCH AS STOP SIGNS AND YIELD SIGNS SHALL BE PLACED AS NECESSARY FOR PROPER TRAFFIC CONTROL IN ACCORDANCE WITH THE MUTCD.

**EROSION CONTROL NOTES:**

- SITE EROSION CONTROL MEASURES SHALL BE IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL LAWS, CODES, AND REGULATIONS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A "NOTICE OF REGISTRATION"(NOR) FROM ADEM. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL MONITORING, INSPECTIONS, ETC. TO ENSURE THE OWNER THAT THE SITE IS AT ALL TIMES IN ACCORDANCE WITH ADEM RULES & REGULATIONS. DOCUMENTATION OF INSPECTIONS BY A Q.C.I. OR Q.C.P. SHALL BE MAINTAINED BY THE CONTRACTOR AND PROVIDED TO THE OWNER AT HIS/HER REQUEST. ANY AND ALL FEES, FINES, ETC., SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING THE CONSTRUCTION PROCESS AND UNTIL ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED. ALL EROSION CONTROL INSTALLATION AND MAINTENANCE SHALL BE SOLELY THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHOWN ON THESE PLANS ARE A MINIMUM. ADDITIONAL DEVICES SHALL BE INSTALLED AS REQUIRED TO PREVENT SILTATION, EROSION AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS.
- EROSION CONTROL DEVICES SHALL INCLUDE, BUT NOT LIMITED TO, THE FOLLOWING DEVICES: SILT FENCING, BRUSH BERMS, SEDIMENT BASINS, DETENTION PONDS, STRAW WATLES, CHECK DAMS, FILTER BERMS, JUTE MATTING, VEGETATIVE FILTER STRIPS, TURF REINFORCEMENT MAT, DIVERSION BERMS, ETC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EROSION CONTROL DEVICES IN GOOD OPERATING CONDITION DURING ALL LAND DISTURBING ACTIVITIES. THIS RESPONSIBILITY SHALL INCLUDE THE CLEANUP AND/OR REPAIRS TO THE DEVICES AT NO ADDITIONAL COST TO THE OWNER.
- EROSION CONTROL DEVICES SHALL BE MONITORED AND MAINTAINED UNTIL THE SITE HAS BEEN PERMANENTLY STABILIZED AND AFTER EACH RAINFALL GREATER THAN 0.5 INCHES IN A 24 HOUR PERIOD, ANY WIND GUSTS GREATER THAN 25 MPH, AND ANY SUSTAINED WINDS GREATER THAN 20 MPH IN A 24 HOUR PERIOD.
- AFTER ALL LAND DISTURBANCE ACTIVITIES HAVE CEASED AND AFTER ALL DISTURBED AREAS HAVE BEEN PERMANENTLY STABILIZED, THE EROSION CONTROL DEVICES SHALL BE REMOVED BY THE CONTRACTOR AND THE AREA CLEANED AND DRESSED.
- DEWATERING OPERATIONS MAY NOT BE DISCHARGED IN A MANNER THAT CAUSES EROSION OF THE SITE OR POLLUTION TO ADJACENT PROPERTIES, STREAMS, DITCHES, OR PUBLIC ROADWAYS.
- A GRAVELED ACCESS DRIVE OF SUFFICIENT SIZE SHALL BE AT EACH SITE ENTRANCE/EXIT TO PREVENT TRACKING OF DIRT AND SEDIMENT ONTO PUBLIC OR PRIVATE ROADWAYS. IF SEDIMENT REACHES THE ROADWAY, THEN IT MUST BE CLEANED AT THE END OF EACH WORKDAY.
- ALL LAND DISTURBANCE ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE TO MINIMIZE THE EXPOSURE OF BARE AREAS AT ANY ONE TIME.
- ALL DISTURBED AREAS LEFT INACTIVE FOR MORE THAN 13 DAYS SHALL BE SEEDED AND MULCHED IN ACCORDANCE WITH ALDOT SPECIFICATIONS SECTION 652 AND 656.
- ALL PREVIOUSLY GRADED AREAS SHALL RECEIVE 4 INCHES OF TOPSOIL AND PERMANENT GRASSING UNLESS OTHERWISE INDICATED ON THE LANDSCAPE PLAN.
- PRIOR TO SITE CLEARING, ALL PERIMETER SILT FENCING, BRUSH BERMS, ETC. AND GRAVELED ACCESS DRIVES SHALL BE INSTALLED.
- GOOD HOUSEKEEPING PRACTICES AND PREVENTATIVE MAINTENANCE SHALL BE PERFORMED ON SITE DAILY TO PREVENT POLLUTION SOURCES FROM CONTACTING STORMWATER AND GROUND WATER. THIS INCLUDES, BUT IS NOT LIMITED TO: EQUIPMENT INSPECTION FOR LEAKS OF HAZARDOUS MATERIALS, PICKUP AND PROPER DISPOSAL OF WASTE MATERIALS TO APPROVED DISPOSAL SITES, STORING CONTAINERS AND BAGS AWAY FROM TRAFFIC ROUTES, PUBLICIZING POLLUTION PREVENTION CONCEPTS THROUGH POSTERS, WASHING EQUIPMENT AND VEHICLES AT APPROVED WASHING LOCATIONS, AND USING ONLY WATER (NO DETERGENTS) FOR WASHING ACTIVITIES.
- AT A MINIMUM, THE EROSION CONTROL DEVICES SHOWN ON THESE PLANS SHALL BE INSTALLED. ADDITIONAL MEASURES MAY BE REQUIRED AND SHALL BE IMMEDIATELY INSTALLED UPON ANY ADDITIONAL SILTATION, EROSION, AND OTHER DEGRADATION OR POLLUTION TO THE SITE OR ADJACENT PROPERTIES, STREAMS, DITCHES, AND PUBLIC ROADWAYS NOT MITIGATED OR UNFORESEEN BY THIS SET OF PLANS.

**ALABAMA ONE-CALL**

THE CONTRACTOR IS REQUIRED TO CALL "ALABAMA ONE-CALL"  
1-800-292-8525 AT LEAST 48 HOURS PRIOR  
TO ANY EXCAVATION AND SHALL EXERCISE EXTREME  
CARE TO AVOID DAMAGING EXISTING UTILITIES.



**ISSUED  
FOR  
REVIEW**

REVISIONS		
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B	ADDRESS IN COMMENTS	07/23/21



**LIEB ENGINEERING  
COMPANY**

LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER. ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938			
JOB NUMBER	DRAWN BY:	DATE:	SCALE:
2019-018	JLG	06/26/2021	AS SHOWN
CHECKED BY:	APPROVED BY:	ENGR:	
CJL	CJL	CJL	

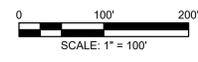
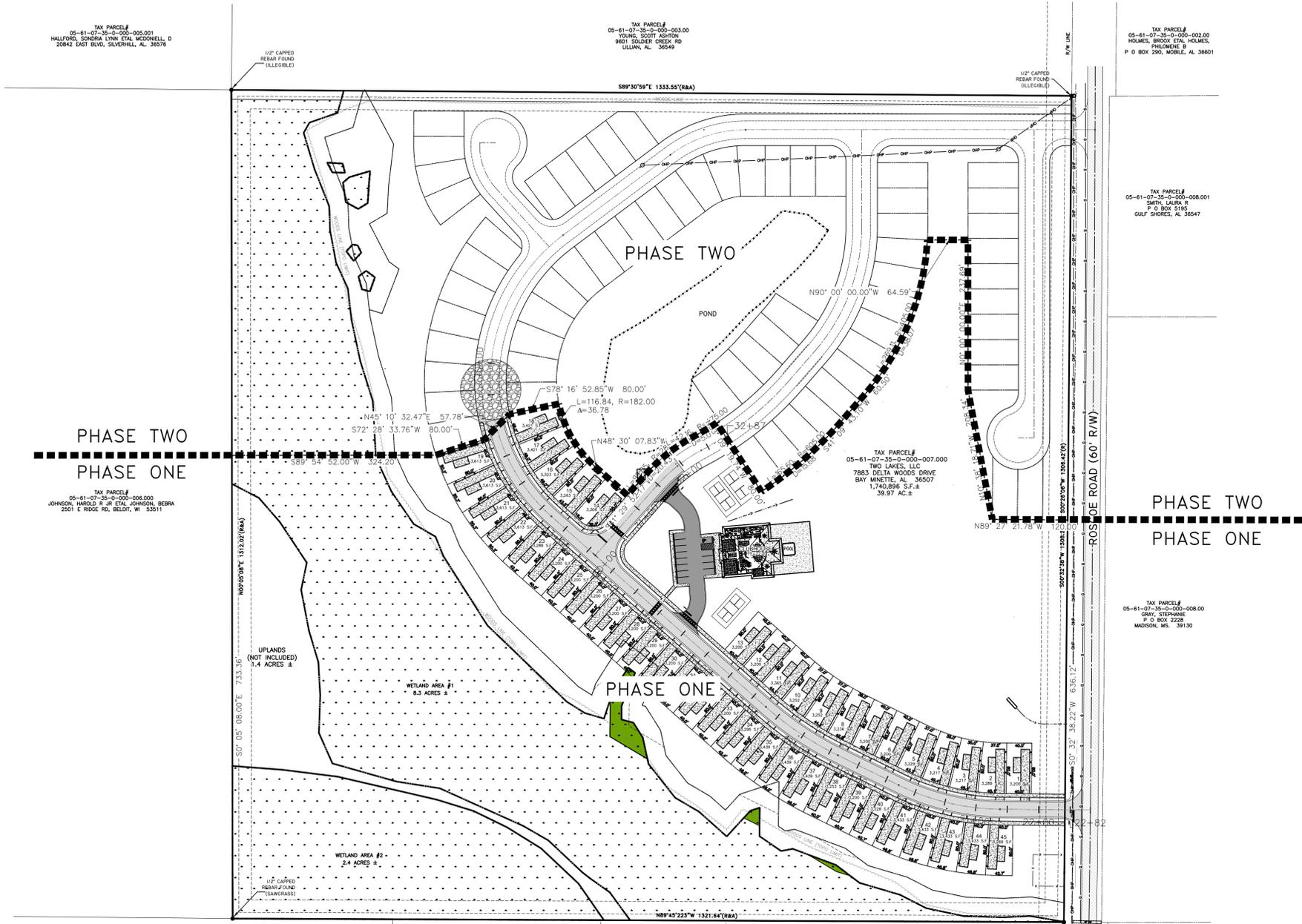
TWO LAKES -- PHASE ONE	
CIVIL NOTES	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	
2 OF 14	



07/23/2021

C2.0

B



**NOTES:**  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

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	CHECKED BY:	APPROVED BY:	ENGR:
	CJL	CJL	CJL

TWO LAKES -- PHASE ONE	
PHASING PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	
2.1 OF 14	





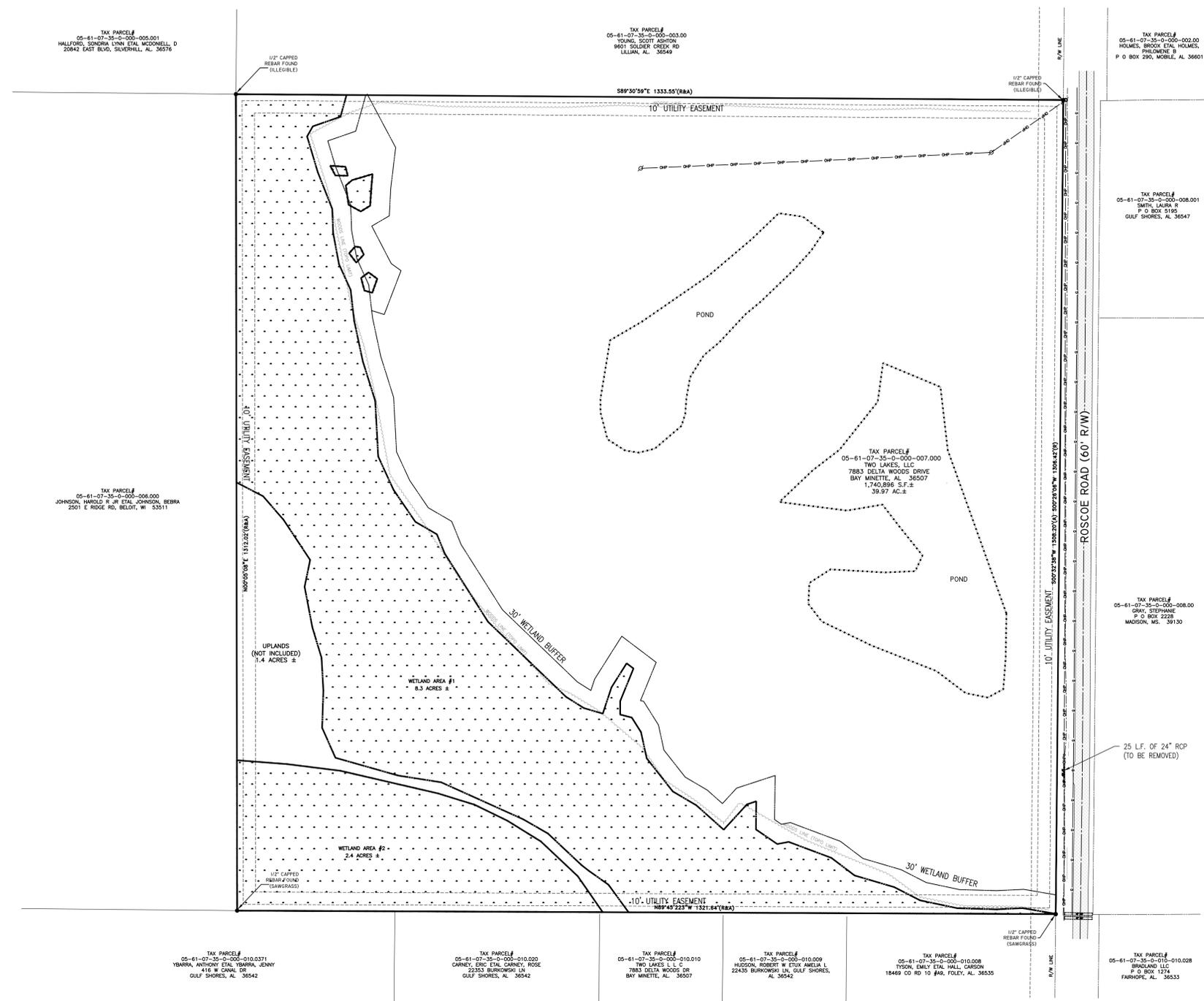
**NOTES:**

1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

**TWO LAKES PHASE 1 - GULF SHORES, AL**

**PROPERTY DESCRIPTION: (PER SURVEY)**

COMMENCE AT A POINT WHERE THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD INTERSECTS THE SOUTH LINE OF THE NORTHWEST QUARTER OF SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA THENCE RUN NORTH 00°32'38" EAST ALONG SAID RIGHT-OF-WAY A DISTANCE OF 52.83' TO THE POINT OF BEGINNING; THENCE RUN NORTH 89°27'22" WEST A DISTANCE OF 103.12 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.64 FEET, A RADIUS OF 495.81 FEET, A CHORD BEARING OF NORTH 76°42'06" WEST, A CHORD LENGTH OF 220.77 FEET; THENCE RUN NORTH 63°56'51" WEST A DISTANCE OF 107.66 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 171.72 FEET, A RADIUS OF 637.00 FEET, A CHORD BEARING OF NORTH 56°13'29" WEST, A CHORD LENGTH OF 171.20 FEET; THENCE RUN NORTH 48°30'08" WEST A DISTANCE OF 455.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 222.76 FEET, A RADIUS OF 412.00 FEET, A CHORD BEARING OF NORTH 33°00'47" WEST, A CHORD LENGTH OF 220.05 FEET; THENCE RUN NORTH 72°28'34" EAST A DISTANCE OF 100.00 FEET TO A POINT; THENCE RUN NORTH 45°10'32" EAST A DISTANCE OF 57.78 FEET TO A POINT; THENCE RUN NORTH 78°16'53" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 116.84 FEET, A RADIUS OF 182.00 FEET, A CHORD BEARING OF SOUTH 30°06'37" EAST, A CHORD LENGTH OF 114.85 FEET; THENCE RUN SOUTH 48°30'08" EAST A DISTANCE OF 68.33 FEET TO A POINT; THENCE RUN NORTH 41°29'52" EAST A DISTANCE OF 42.08 FEET TO A POINT; THENCE RUN SOUTH 48°30'16" EAST A DISTANCE OF 50.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE RIGHT HAVING AN ARC LENGTH OF 82.02 FEET, A RADIUS OF 229.94 FEET, A CHORD BEARING OF NORTH 51°42'51" EAST, A CHORD LENGTH OF 81.58 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 46.60 FEET, A RADIUS OF 525.00 FEET, A CHORD BEARING OF NORTH 59°23'14" EAST, A CHORD LENGTH OF 46.58 FEET TO A POINT; THENCE RUN SOUTH 33°09'20" EAST A DISTANCE OF 80.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 165.60 FEET, A RADIUS OF 605.10 FEET, A CHORD BEARING OF NORTH 49°00'12" EAST, A CHORD LENGTH OF 165.08 FEET TO A POINT; THENCE RUN NORTH 41°09'43" EAST A DISTANCE OF 60.50 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 190.40 FEET, A RADIUS OF 405.00 FEET, A CHORD BEARING OF NORTH 27°41'39" EAST, A CHORD LENGTH OF 188.65 FEET TO A POINT; THENCE RUN EAST A DISTANCE OF 76.42 FEET TO A POINT; THENCE RUN SOUTH A DISTANCE OF 160.00 FEET TO A POINT; THENCE WITH A CURVE TURNING TO THE LEFT HAVING AN ARC LENGTH OF 209.54 FEET, A RADIUS OF 564.26 FEET, A CHORD BEARING OF SOUTH 10°38'19" EAST, A CHORD LENGTH OF 208.34 FEET TO A POINT; THENCE RUN SOUTH 89°27'22" EAST A DISTANCE OF 120.00 FEET TO A POINT ON THE WEST RIGHT-OF-WAY FOR ROSCOE ROAD; THENCE RUN SOUTH 0°32'38" WEST A DISTANCE OF 583.77 FEET ALONG SAID RIGHT-OF-WAY TO THE POINT OF BEGINNING, ALL BEING A TOTAL OF 11.64 ACRES MORE OR LESS AND LOCATED ENTIRELY IN THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER SECTION 35, TOWNSHIP-8-SOUTH, RANGE-4-EAST, BALDWIN COUNTY, ALABAMA.



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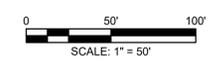
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DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=100'  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE  
EXISTING CONDITIONS & DEMOLITION PLAN  
GULF SHORES, AL  
OWNER:

SHEET NUMBER: 3 OF 14  
C3.0 B



**NOTES:**

- SEE SHEET C1.0 FOR ALL GENERAL NOTES.
- LAND OUTSIDE THE NORMAL RIGHT-OF-WAY SHALL REVERT TO THE ABUTTING PROPERTIES WHENEVER THE STREET IS CONTINUED AND CONNECTED TO THE ADJACENT PROPERTY.
- ALL COMMON LAND AREAS AND FACILITIES SHALL BE OWNED AND MAINTAINED BY A PROPERTY OWNER'S ASSOCIATION, IN ACCORDANCE WITH 6-14 OWNERSHIP AND MANAGEMENT OF COMMON OPEN SPACES, AND SHALL BE RESTRICTED IN THEIR USE TO PROPERTY OWNERS AND THEIR GUESTS.
- USERS OF THE SPACES AND LOTS SHALL MEET ALL OTHER APPLICABLE LAWS. SPACES AND LOTS MAY BE RENTED BY THE DAY OR WEEK, AND AN OCCUPANT OF SUCH SPACE SHALL NOT REMAIN IN THE SAME PARK FOR A PERIOD EXCEEDING 180 DAYS. ALL LOTS AND SPACES RENTED SHORT TERM SHALL OBTAIN A BUSINESS LICENSE AND REMIT TAXES FOR SUCH RENTAL TO THE CITY.
- MANAGEMENT HEADQUARTERS, TOILETS, SHOWERS, LAUNDRY FACILITIES AND OTHER USES AND STRUCTURES CUSTOMARILY INCIDENTAL TO THE OPERATION OF A RV PARK SHALL OCCUPY NO LESS THAN TEN (10) PERCENT OF THE PARK AREA, SHALL BE RESTRICTED IN THEIR USE TO OCCUPANTS OF THE PARK, AND SHALL PRESENT NO VISIBLE EVIDENCE OF THEIR COMMERCIAL CHARACTER WHICH WOULD ATTRACT CUSTOMERS OTHER THAN OCCUPANTS OF THE PARK.
- THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019

LEGEND	
	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING

**PHASE ONE SITE DATA:**

- PROPOSED USE: RV SUBDIVISION
- ZONING: EXISTING: B-3 PROPOSED: RV-2 PRD
- TOTAL AREA: PARENT LOT: 39.97± AC. (1,740,896 S.F.)
- PHASE ONE TOTAL AREA: 23.28 AC. (1,014,144 S.F.)
- DISTURBED AREA: 13.00± AC. (566,500± S.F.)
- SMALLEST UNIT SIZE: 3,200 S.F. (LOT 1)
- LARGEST UNIT SIZE: 3,613 S.F. (LOT 19)
- TOTAL UNITS: 45 LOTS
- LINEAR FEET IN STREETS: 1,376 L.F.
- IMPERVIOUS SURFACE: 1,524 AC. (66,350 S.F.)(0.04%)  
6,480 S.F. CONCRETE  
6,258 S.F. BUILDING COVERAGE  
48,212 S.F. ASPHALT  
5,400 S.F. SPORTING COURTS  
1.93 UNITS PER ACRE  
18,244 AC. (794,402 S.F.) (78.33%)
- DENSITY: 5.43± AC. (236,531 S.F.) (13.59%)
- SETBACKS: FRONT 30'-0" (PARENT LOT)  
SIDE 30'-0" (PARENT LOT)  
REAR 30'-0" (PARENT LOT)  
FRONT 0'-0" (INDIVIDUAL LOT)  
SIDE 0'-0" (INDIVIDUAL LOT)  
REAR 0'-0" (INDIVIDUAL LOT)  
58 (13 AT CLUBHOUSE; 1 ON EACH LOT)
- PARKING SPACES: 58 (13 AT CLUBHOUSE; 1 ON EACH LOT)
- FLOOD ZONE MAP: THIS PROPERTY IS IN ZONE "X" AS PER THE MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FEDERAL INSURANCE ADMINISTRATION COMMUNITY PANEL NUMBER 942 FOR BALDWIN COUNTY AND MAP NUMBER 01003C0942M AS PER REVISED MAP DATED APRIL 19, 2019

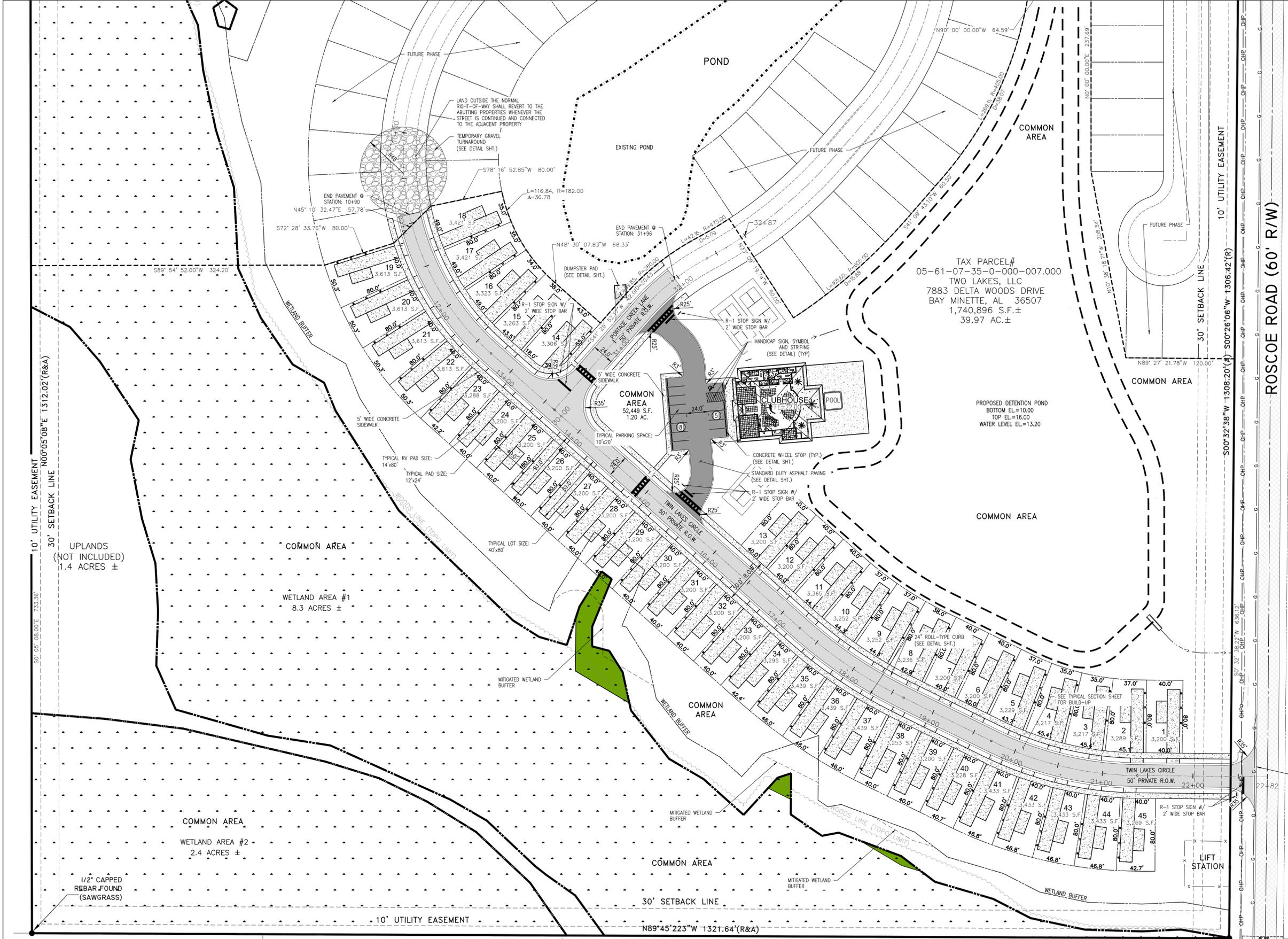
**UTILITY PROVIDERS**

WATER:	CITY OF GULF SHORES
POWER:	BALDWIN EMC
GAS:	RIVIERA UTILITIES
SEWER:	CITY OF GULF SHORES

TIE THE NEW ASPHALT PAVING TO EXISTING PAVING. CONTRACTOR SHALL ENSURE A SMOOTH TRANSITION WITH NO STORM WATER PONDING.

PHASING PLAN: ONCE PHASE ONE IS COMPLETE, PHASE TWO WILL BE BUILT.

**ISSUED FOR REVIEW**



REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

**LIEB ENGINEERING COMPANY**  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
 PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
 ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
 DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=50'  
 CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE	
SITE PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C4.0 B
4 OF 14	07/23/2021

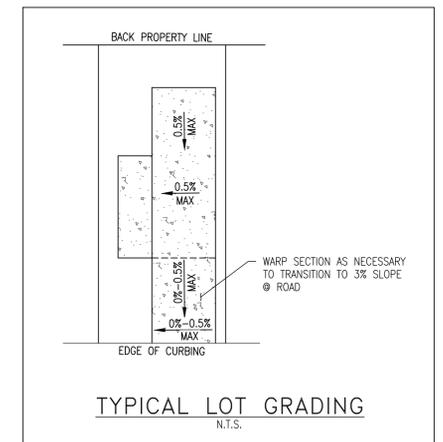




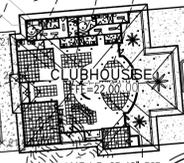
0 50' 100'  
SCALE: 1" = 50'

NOTES:  
1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

LEGEND	
	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING
	EXISTING 1' CONTOURS
	EXISTING 5' CONTOURS
	PROPOSED 1' CONTOURS
	PROPOSED 5' CONTOURS
	PROPOSED DRAINAGE PIPE
	PROPOSED GRATE INLET
	PROPOSED DRAINAGE MANHOLE
	PROPOSED HEADWALL
	PROPOSED SPOT GRADE



TAX PARCEL#  
05-61-07-35-0-000-007.000  
TWO LAKES, LLC  
7883 DELTA WOODS DRIVE  
BAY MINETTE, AL 36507  
1,740,896 S.F.±  
39.97 AC.±



POND

PROPOSED DETENTION POND  
BOTTOM EL=10.00  
TOP EL=16.00  
WATER LEVEL EL=13.20

OUTLET CONTROL STRUCTURE  
(SEE DETAIL SHEET)



- 6:1 SLOPED PAVED HEADWALL  
INV. EL=12.63
- 32 L.F. OF 18"X28.5"  
RCAP @ 0.40%
- DRAINAGE MANHOLE #1  
TOP EL=15.57  
INV. EL=12.50
- 32 L.F. OF 18"X28.5"  
RCAP @ 0.40%
- 6:1 SLOPED PAVED HEADWALL  
INV. EL=12.37

ISSUED  
FOR  
REVIEW

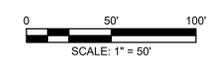
REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
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LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG  
CHECKED BY: CJL  
DATE: 06/26/2021  
APPROVED BY: CJL  
SCALE: 1"=50'  
ENGR: CJL

TWO LAKES - PHASE ONE  
GRADING & DRAINAGE PLAN  
GULF SHORES, AL  
OWNER:  
SHEET NUMBER: 5 OF 14  
C5.0 B  
ALABAMA REGISTERED PROFESSIONAL ENGINEER  
No. 31204  
07/23/2021



**NOTES:**  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

**LEGEND**

	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING
	PROPOSED WATER LINE
	PROPOSED FIRE HYDRANT ASSEMBLY
	PROPOSED TAPPING SLLEEVE & VALVE W/ THRUST BLOCK
	PROPOSED GRAVITY SEWER LINE
	PROPOSED SEWER MANHOLE
	PROPOSED SEWER LATERAL SERVICE
	PROPOSED SEWER CLEANOUT



TAX PARCEL#  
 05-61-07-35-0-000-007.000  
 TWO LAKES, LLC  
 7883 DELTA WOODS DRIVE  
 BAY MINETTE, AL 36507  
 1,740,896 S.F.±  
 39.97 AC.±

**ISSUED FOR REVIEW**

REVISIONS		
A	ISSUED FOR REVIEW	06/26/21
B	ADDRESS COMMENTS	07/23/21



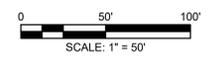
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 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER	DRAWN BY: JLG	DATE: 06/26/2021	SCALE: 1"=50'
2019-018	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

TWO LAKES - PHASE ONE	
UTILITY PLAN	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	6 OF 14
C6.0	B
07/23/2021	





**NOTES:**

1. SEE SHEET C1.0 FOR CIVIL GENERAL NOTES.
2. SITE MUST RECEIVE DAILY AND RAIN EVENT QUALITY CONTROL INSPECTIONS.
3. ALL AREAS DISTURBED (INCLUDING UTILITY WORK) DURING PROJECT IMPLEMENTATION SHALL BE PERMANENTLY STABILIZED PRIOR TO FINAL INSPECTION; SEED AND MULCH WILL NOT BE ACCEPTED DURING FINAL INSPECTION.
4. STORM WATER DRAINAGE FROM THE SITE WILL BE ROUTED TO THE DETENTION POND AND NOT ONTO THE COUNTY ROW.
5. DUST CONTROL SHALL BE IMPLEMENTED THROUGHOUT THE PROJECT BY LIGHTLY WETTING OR APPLYING THE APPROPRIATE CHEMICALS TO THE AREAS THAT BECOME EXTREMELY DRY AND SUSCEPTIBLE TO BEING WIND BLOWN.

**LEGEND**

	MEDIUM DUTY ASPHALT PAVING
	STANDARD DUTY ASPHALT PAVING
	CONCRETE PAVING
	EXISTING ASPHALT PAVING

**EROSION & SEDIMENT CONTROL LEGEND**

	SB SILT FENCE, TYPE "A"
	CDR WATTLE CHECK DAM
	CEP CONSTRUCTION EXIT PAD
	SOD SOD
	OP OUTLET PROTECTION
	TSG TOPSOIL
	ECB EROSION CONTROL BLANKET
	WIP WATTLE INLET PROTECTION OR SILT SAVER (OR APPROVED EQUAL)
	PS PERMANENT SEEDING



TAX PARCEL#  
05-61-07-35-0-000-007.000  
TWO LAKES, LLC  
7883 DELTA WOODS DRIVE  
BAY MINETTE, AL 36507  
1,740,896 S.F.±  
39.97 AC.±

PROPOSED DETENTION POND  
BOTTOM EL.=10.00  
TOP EL.=16.00  
WATER LEVEL EL.=13.20

UPLANDS  
(NOT INCLUDED)  
1.4 ACRES ±

WETLAND AREA #1  
8.3 ACRES ±

WETLAND AREA #2 -  
2.4 ACRES ±

1/2" CAPPED  
REBAR FOUND  
(SAWGRASS)

ISSUED  
FOR  
REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

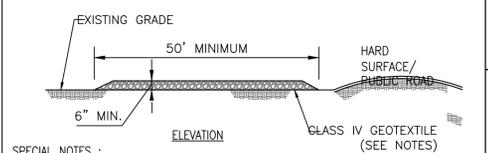
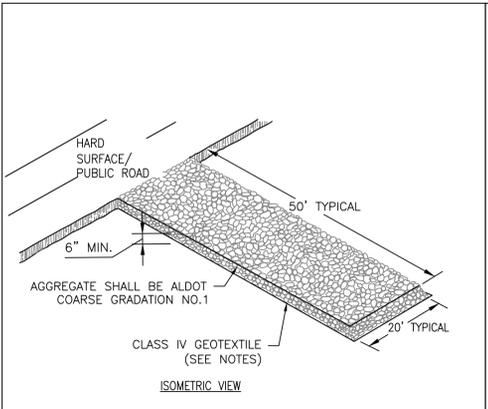
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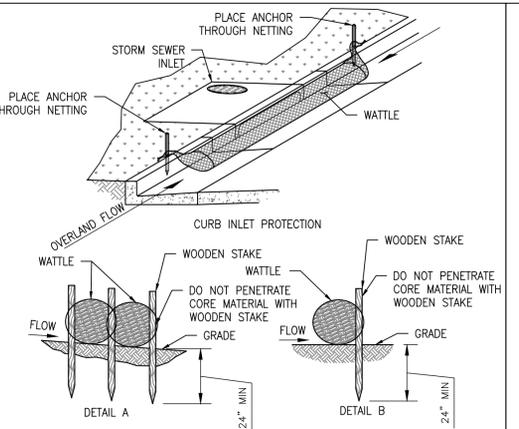
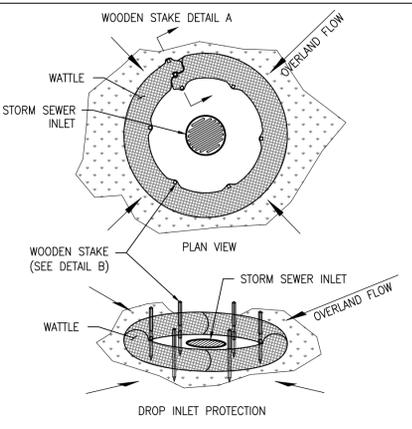
JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=50'  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE		
EROSION CONTROL PLAN		
GULF SHORES, AL		OWNER:
SHEET NUMBER	7 OF 14	
C7.0	B	07/23/2021

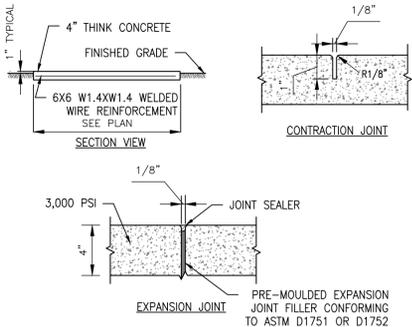


- SPECIAL NOTES :**
- A STABILIZED PAD OF CRUSHED STONE SPREAD OVER FILTER FABRIC SHALL BE LOCATED WHERE TRAFFIC WILL BE ENTERING OR LEAVING A CONSTRUCTION SITE TO OR FROM A PUBLIC STREET. THE STONE SHALL BE ALDOT GRADATION NO. 1 STONE, FILTER FABRIC SHALL BE NONWOVEN GEOTEXTILE CLASS IV OR EQUAL.
  - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS DEMAND AND REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  - ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY BY STREET CLEANING (NOT FLUSHING). WHEN NECESSARY, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN.
  - IF THE PAD SLOPE TOWARDS THE ROAD EXCEEDS 2%, A DIVERSION RIDGE 6" - 8" HIGH WITH 3:1 SIDE SLOPES MUST BE CONSTRUCTED ACROSS THE FOUNDATION APPROXIMATELY 15' AWAY FROM THE ROAD AND DRAIN INTO A SEDIMENT TRAP OR BASIN.

**CEP CONSTRUCTION EXIT PAD**  
N.T.S.

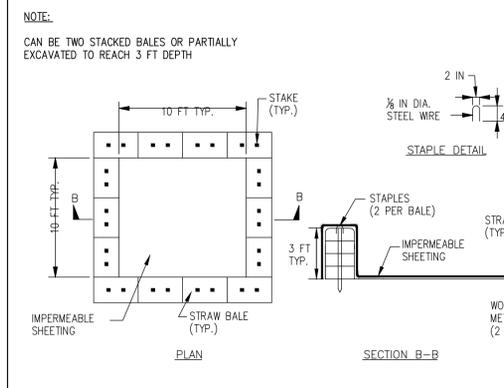


**WIP WATTLE INLET PROTECTION**  
N.T.S.

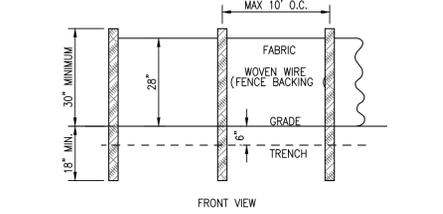
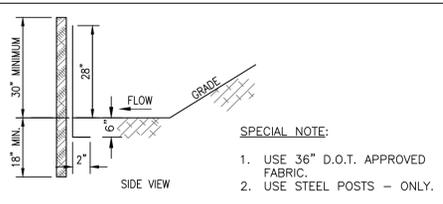


- NOTE:**
- CONTRACTOR SHALL PLACE A CONTRACTION JOINT EVERY 5 TO 10 FEET.
  - CONTRACTOR SHALL PLACE AN EXPANSION JOINT EVERY 15 FEET.
  - MAXIMUM CROSS SLOPE SHALL NOT EXCEED 2.0% (UNLESS OTHERWISE NOTED)

**TYPICAL SIDEWALK DETAIL**  
N.T.S.

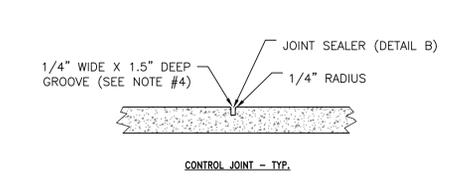
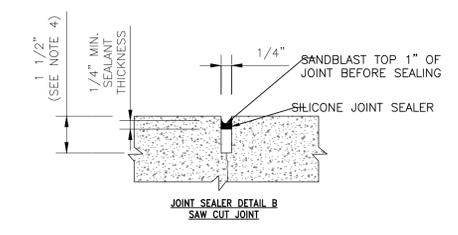
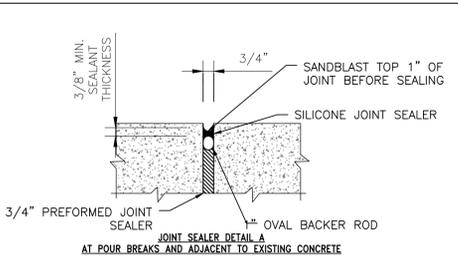


**CONCRETE WASHOUT STRUCTURE DETAIL**  
N.T.S.



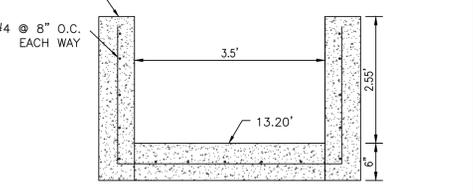
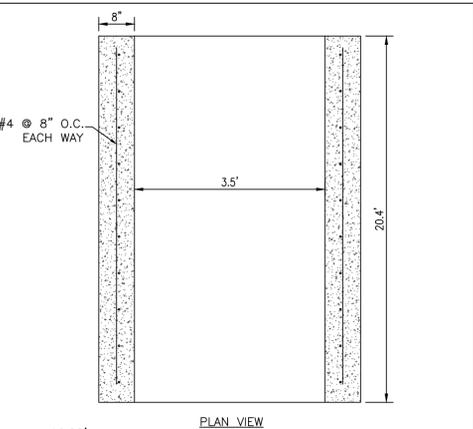
**SB SILT FENCE - TYPE A**  
N.T.S.

- CONSTRUCTION SPECIFICATIONS**
- LOCATE WASHOUT STRUCTURE A MINIMUM OF 50 FEET AWAY FROM OPEN CHANNELS, STORM DRAIN INLETS, SENSITIVE AREAS, WETLANDS, BUFFERS AND WATER COURSES AND AWAY FROM CONSTRUCTION TRAFFIC.
  - SIZE WASHOUT STRUCTURE FOR VOLUME NECESSARY TO CONTAIN WASH WATER AND SOLIDS AND MAINTAIN AT LEAST 4 INCHES OF FREEBOARD. TYPICAL DIMENSIONS ARE 10 FEET X 10 FEET X 3 FEET DEEP.
  - PREPARE SOIL BASE FREE OF ROCKS OR OTHER DEBRIS THAT MAY CAUSE TEARS OR HOLES IN THE LINER. FOR LINER, USE 10 MIL OR THICKER UV RESISTANT, IMPERMEABLE SHEETING, FREE OF HOLES AND TEARS OR OTHER DEFECTS THAT COMPROMISE IMPERMEABILITY OF THE MATERIAL.
  - PROVIDE A SIGN FOR THE WASHOUT IN CLOSE PROXIMITY TO THE FACILITY.
  - KEEP CONCRETE WASHOUT STRUCTURE WATER TIGHT. REPLACE IMPERMEABLE LINER IF DAMAGED (E.G., RIPPED OR PUNCTURED), EMPTY OR REPLACE WASHOUT STRUCTURE THAT IS 75 PERCENT FULL, AND DISPOSE OF ACCUMULATED MATERIAL PROPERLY. DO NOT REUSE PLASTIC LINER. WET-VACUUM STORED LIQUIDS THAT HAVE NOT EVAPORATED AND DISPOSE OF IN AN APPROVED MANNER. PRIOR TO FORECASTED RAINSTORMS, REMOVE LIQUIDS OR COVER STRUCTURE TO PREVENT OVERFLOWS. REMOVE HARDENED SOLIDS, WHOLE OR BROKEN UP, FOR DISPOSAL OR RECYCLING. MAINTAIN RUNOFF DIVERSION AROUND EXCAVATED WASHOUT STRUCTURE UNTIL STRUCTURE IS REMOVED.

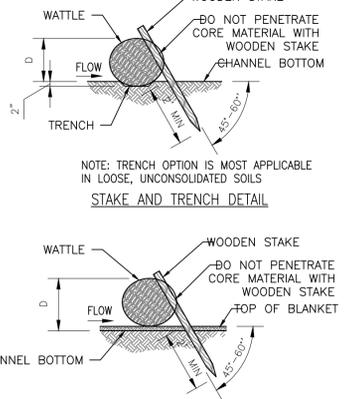
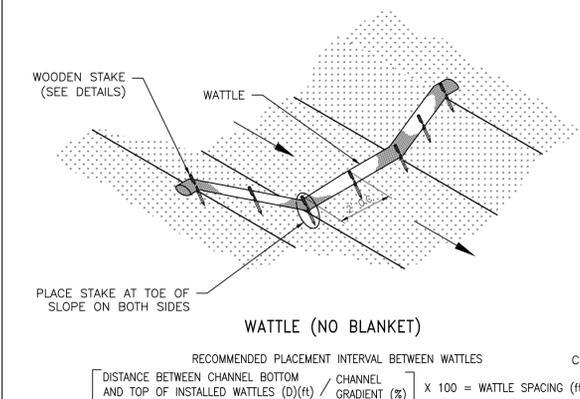


- NOTES:**
- CONTRACTOR SHALL INSTALL 4" OF CRUSHED AGGREGATE BASE COURSE, TYPE B (ALDOT 825) UNDER ALL CONCRETE PAVING
  - CONCRETE SHALL HAVE 4000 PSI AT 28 DAYS
  - CONTRACTOR SHALL INSTALL CONTROL JOINTS IN CONCRETE PAVING AT 15' MAX SPACING BOTH WAYS. COORDINATE WITH ARCHITECTURAL PLANS FOR SCORING PATTERN.
  - CONTROL JOINT TO BE 1/4" OF THE SLAB THICKNESS TYPICALLY.
  - EXPANSION JOINTS AT POUR BREAKS AND 100' MAX SPACING. COORDINATE WITH CONTROL JOINTS.

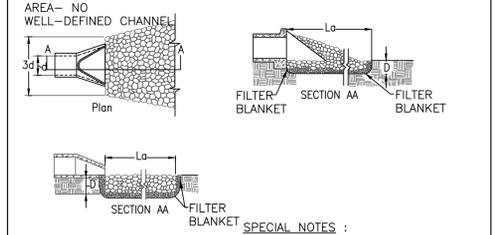
**CONCRETE PAVING DETAIL**  
N.T.S.



**SOUTH POND OUTLET CONTROL STRUCTURE**  
N.T.S.

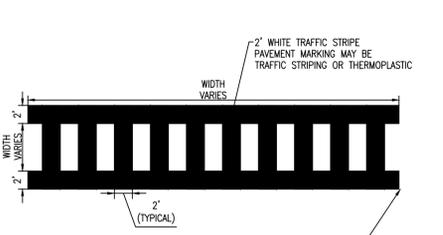


**CdW WATTLE CHECK DAM**  
N.T.S.



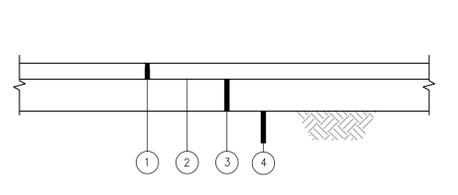
- SPECIAL NOTES :**
- RIP RAP DISCHARGE APRON SHALL BE INSTALLED AT A ZERO SLOPE.
  - A FILTER BLANKET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.
  - DEPTH OF APRON SHALL BE NO LESS THAN 6".

**OP OUTLET PROTECTION**  
N.T.S.



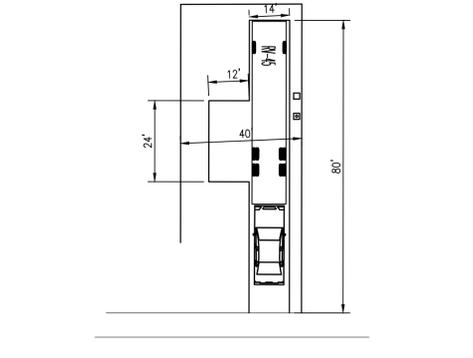
- NOTES:**
- CROSSWALK LINES SHALL CONSIST OF SOLID WHITE LINES THAT MARK THE CROSSWALK. THE LINES SHALL NOT BE LESS THAN 2 FEET IN WIDTH.
  - CROSSWALK LINES SHOULD EXTEND THE FULL WIDTH OF PAVEMENT FROM CURB TO CURB OR TO THE EDGE OF THE INTERSECTING CROSSWALK.
  - FOR ADDED VISIBILITY, THE CROSSWALK AREA MAY BE MARKED WITH WHITE DIAGONAL LINES AT 45 DEGREE ANGLE TO THE LINE OF THE CROSSWALK.

**PEDESTRIAN CROSSWALK**  
N.T.S.



- REQUIRED 2 INCHES BITUMINOUS CONCRETE, BINDER LAYER (ALDOT 429B).
- REQUIRED BITUMINOUS TREATMENT (PRIME) (ALDOT 401, TYPE A)
- REQUIRED 6 INCHES CRUSHED AGGREGATE BASE COURSE, TYPE B, (ALDOT 825).
- SUBGRADE: TOP 12 INCHES - 98% COMPACTION ASTM D-698.

**STANDARD DUTY ASPHALT PAVING**  
N.T.S.



**RV PAD PARKING LAYOUT**  
N.T.S.

**ISSUED FOR REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	

**LIEB ENGINEERING COMPANY**

LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

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ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

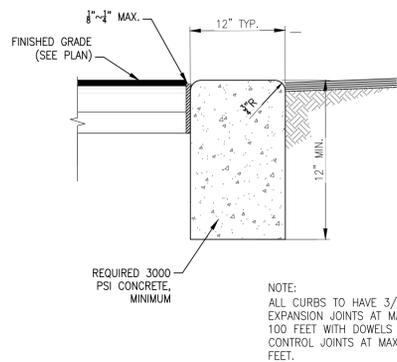
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DRAWN BY: JLG  
DATE: 06/26/2021  
SCALE: AS SHOWN  
CHECKED BY: CJL  
APPROVED BY: CJL  
ENGR: CJL

TWO LAKES - PHASE ONE

CIVIL DETAILS  
GULF SHORES, AL  
OWNER:

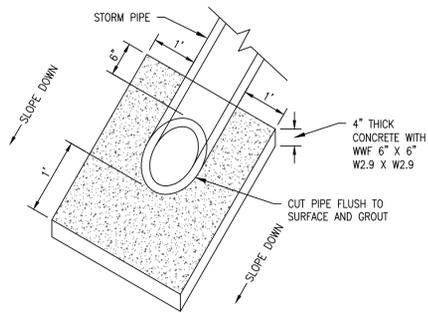
SHEET NUMBER: 8 OF 14  
C8.0 B

ALABAMA REGISTERED ENGINEER  
No. 31204  
PROFESSIONAL  
07/23/2021

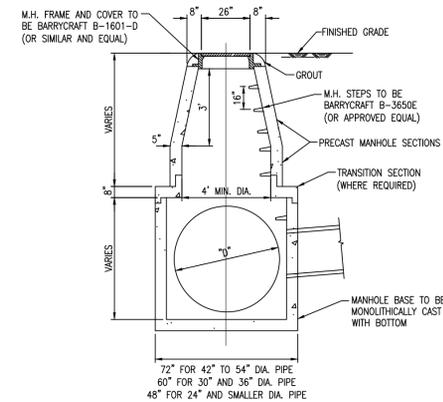


**12" RIBBON CURB**  
N.T.S.

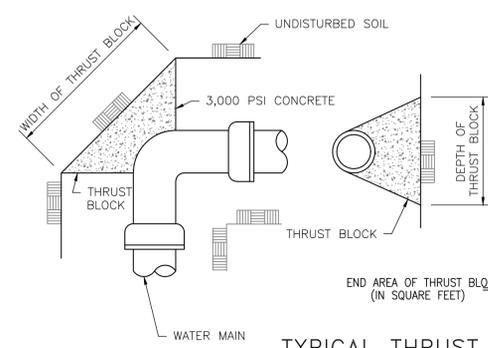
NOTE:  
ALL CURBS TO HAVE 3/4" EXPANSION JOINTS AT MAXIMUM 100 FEET WITH DOWELS AND CONTROL JOINTS AT MAX. 20 FEET.



**SLOPED PAVED HEADWALL**  
N.T.S.



**JUNCTION BOX**  
N.T.S.



**TYPICAL THRUST BLOCK DETAIL**  
N.T.S.

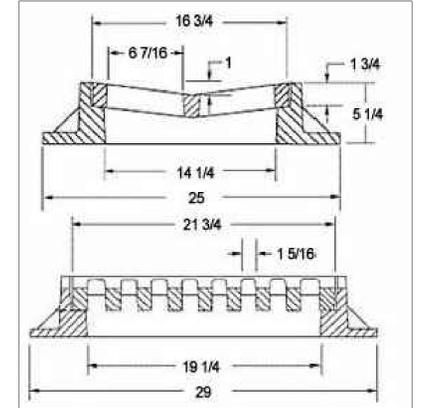
THRUST AT FITTINGS IN POUNDS\*

PIPE SIZE	90° BEND	45° BEND	22.5° BEND	TEE OR PLUG
1-1/2"	625	340	175	445
2-1/2"	970	525	270	690
3"	1,405	785	380	980
4"	2,095	1,135	580	1,480
6"	3,445	1,870	955	2,430
8"	7,425	4,020	2,055	5,250
10"	12,300	6,600	3,360	8,700
12"	20,100	10,875	5,455	15,525
	26,850	14,685	7,620	19,125

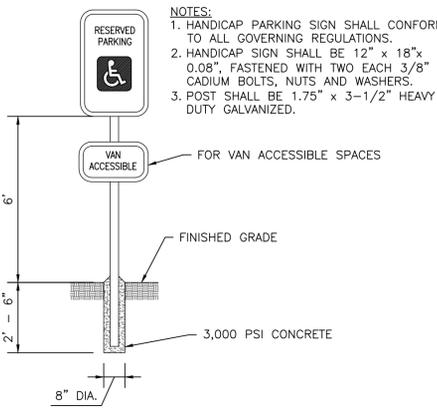
\*BASED ON 150 PSI TEST PRESSURE

SOIL BEARING LOAD

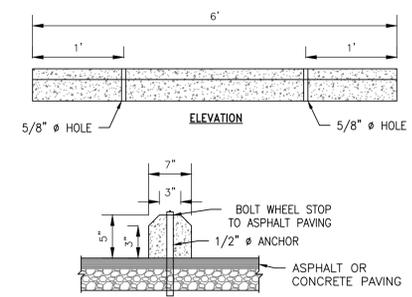
SOIL	BEARING LOAD P.S.F.
MUCK	0
SOFT CLAY	1,000
SILT	1,500
SANDY SILT	3,000
SAND	4,000
SANDY CLAY	6,000
HARD CLAY	9,000
ROCK, POOR	10,000
ROCK, GOOD	50,000



**SINGLE VALLEY CURB INLET**  
N.T.S.

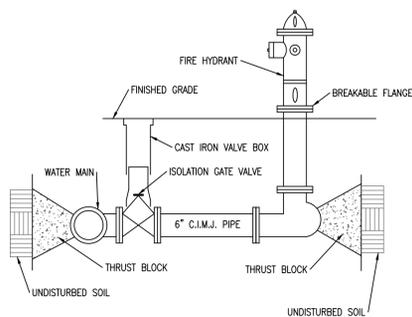


**HANDICAP SIGN**  
N.T.S.

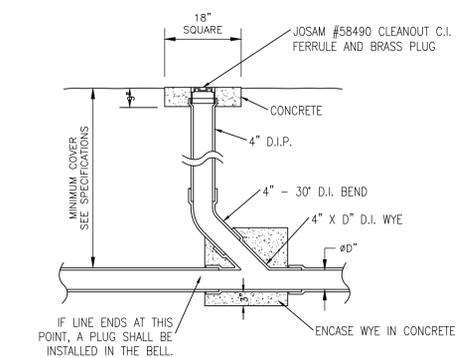


**CONCRETE WHEEL STOP**  
N.T.S.

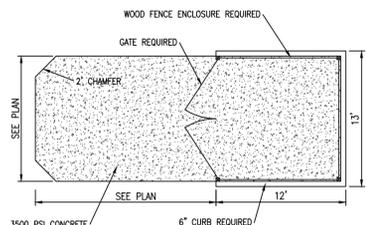
NOTE:  
CENTER WHEEL STOP IN PARKING SPACE



**FIRE HYDRANT ASSEMBLY**  
N.T.S.

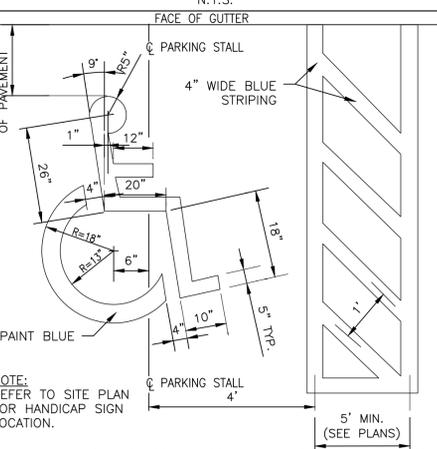


**TYPICAL CLEANOUT DETAIL**  
N.T.S.

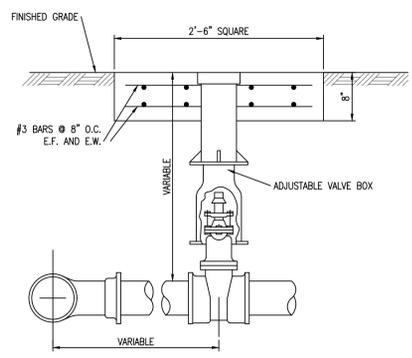


**DUMPSTER PAD DETAIL**  
N.T.S.

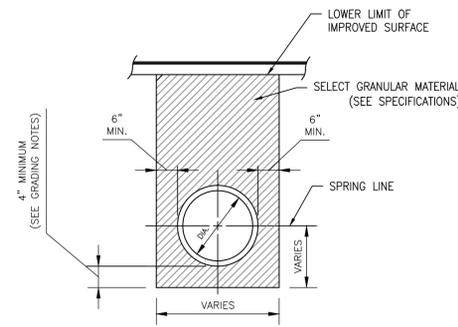
NOTES:  
1. REFER TO GRADING PLAN FOR REQUIRED SLOPES AND ADDITIONAL INFORMATION.  
2. REFER TO UTILITY PLAN TO COORDINATE FLOOR DRAIN LOCATION.  
3. REFER TO CONCRETE FINISH DETAIL FOR CONCRETE THICKNESS AND REQUIREMENTS.



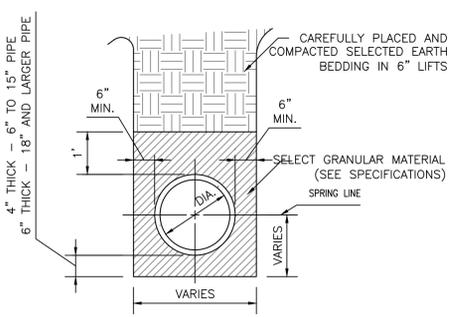
**HANDICAP SYMBOL AND STRIPING**  
N.T.S.



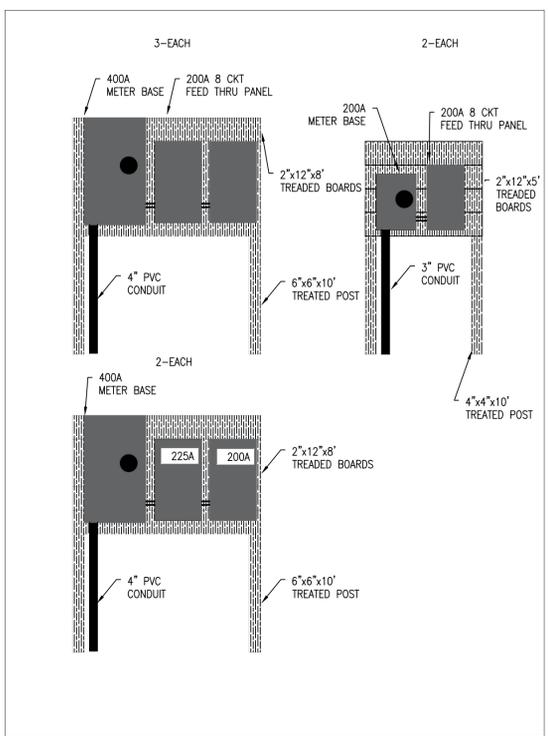
**TYPICAL GATE VALVE**  
N.T.S.



**TYPICAL PIPE BEDDING AND BACKFILL UNDER IMPROVED SURFACES**  
N.T.S.



**TYPICAL PIPE BEDDING AND INITIAL BACKFILL DETAIL**  
N.T.S.



ISSUED FOR REVIEW

REVISIONS

NO.	ISSUED FOR REVIEW ADDRESS/ COMMENTS	DATE
A	ISSUED FOR REVIEW	06/26/21
B	ADDRESS/ COMMENTS	07/23/21

LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER.  
ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LIEB, P.E. LICENSE NUMBER 31204  
ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

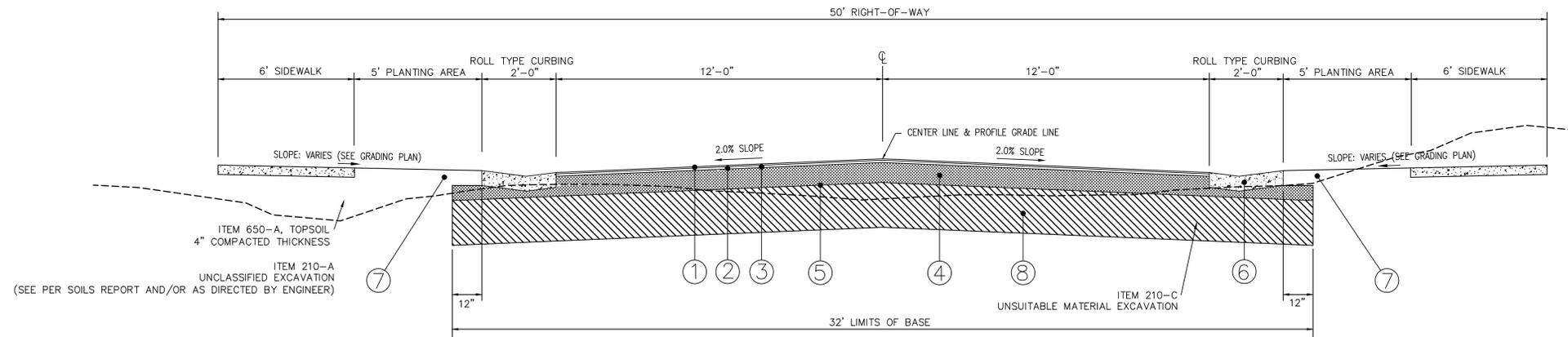
JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE

CIVIL DETAILS  
GULF SHORES, AL  
OWNER:

SHEET NUMBER: 9 OF 14  
C9.0 B

07/23/2021



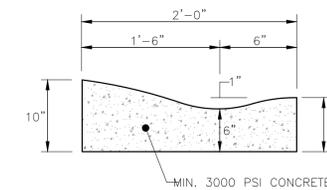
**TYPICAL ROAD SECTION**

N.T.S.

**NOTES:**

1. THE MINIMUM IN-PLACE DENSITY REQUIREMENT FOR ITEM 424-A SHALL BE 94.0 WHEN PLACED OVER A CRUSHED AGGREGATE BASE COURSE. (REFERENCE ALDOT STANDARD SPECIFICATIONS SECTION 410, TABLE IV.)

- ① ITEM 424-A, IMPROVED BITUMINOUS CONCRETE WEARING SURFACE, 3/8" MAXIMUM AGGREGATE SIZE MIX, ESAL RANGE B, (110 LB./SQ. YD.) 1" COMPACTED THICKNESS (PER SQ. YD.)
- ② ITEM 424-B, IMPROVED BITUMINOUS CONCRETE UPPER BINDER LAYER, 1/2" MAX. AGGREGATE SIZE MIX, ESAL RANGE B, (165#/S.Y.) 1 1/2" COMPACTED THICKNESS
- ③ ITEM 401-A, PRIME COAT (ALDOT 401.01(b))
- ④ ITEM 305-B, CRUSHED AGGREGATE BASE COURSE, TYPE "B", PLANT MIXED, 6" COMPACTED THICKNESS, COMPACTED TO 100% PROCTOR DENSITY (PER SQ. YD.)
- ⑤ ITEM 230-A, ROADBED PROCESSING (MODIFIED ROADBED) (PER STATION)
- ⑥ 30" VALLEY GUTTER (PER LIN. FT.). SEE DETAIL, SHT. 15.
- ⑦ SEE LANDSCAPING PLAN FOR CONDITIONS OUTSIDE OF ROADWAY
- ⑧ ITEM 210-D, BORROW EXCAVATION, SAND/CLAY, 18" COMPACTED TO 100% PROCTOR DENSITY (PER CU. YD.)



- NOTES:**
- 1. SLOPE GUTTER AS SHOWN ACCORDING TO PAVING SLOPE.
  - 2. 3/4" EXPANSION JOINT REQUIRED AT P.C.'S AND P.T.'S OF ALL CURVES, AT STRUCTURES (CURB INLETS, WHEELCHAIR RAMPS, ETC.) AND EVERY 100' MAX. WITH FILLER MATERIAL.
  - 3. 3/16" SAWED JOINTS REQUIRED ON 20' INTERVALS.
  - 4. EXPANSION JOINTS ARE TO BE ADDED TO ALL RADI POINTS.

**TYPE M-14 ROLL TYPE CURBING**

N.T.S.

**ISSUED FOR REVIEW**

REVISIONS			
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B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
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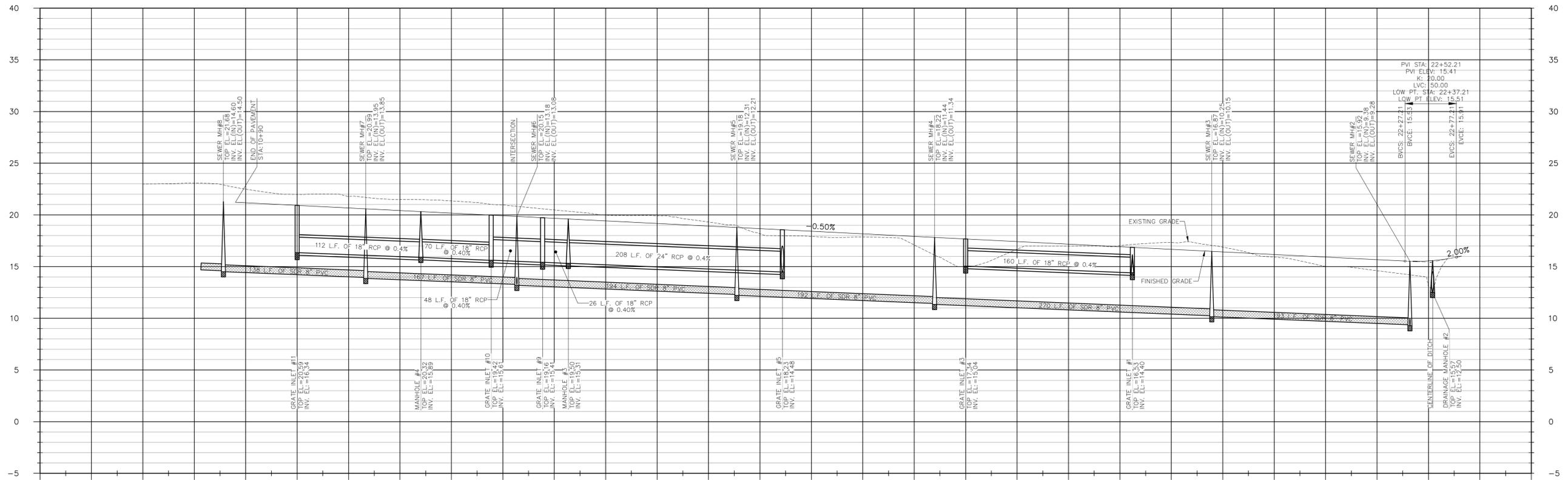
JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE	
TYPICAL SECTION	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C10.0 B
10 OF 14	

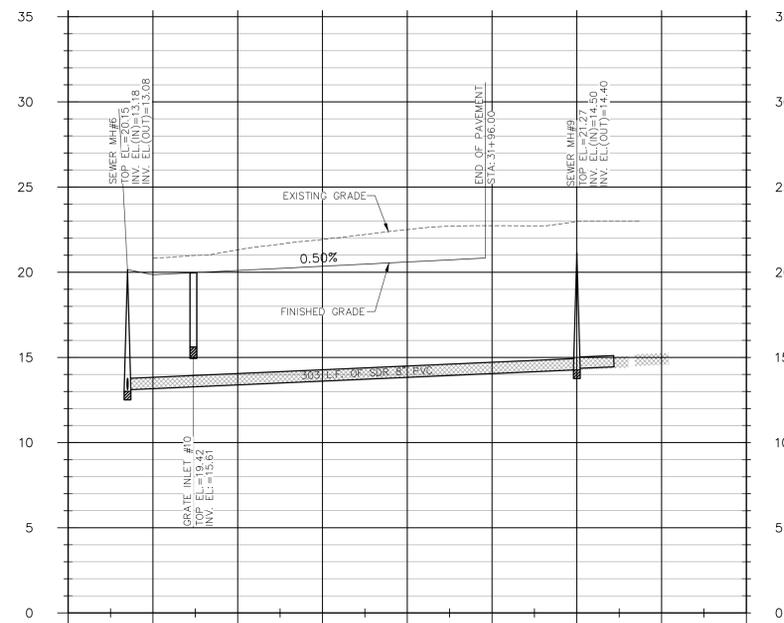


NOTES:  
1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.

PROFILE SCALE:  
HORIZONTAL: 1"=50'  
VERTICAL: 1"=5'



9+50	22.98	23.06	22.48	21.17	21.98	20.92	21.81	20.67	21.49	20.42	21.35	20.17	20.96	19.92	20.48	19.67	19.98	19.42	19.92	19.17	19.31	18.92	18.18	18.67	17.92	18.42	17.85	18.17	17.09	17.92	15.00	17.67	16.68	17.42	16.99	17.17	17.03	16.92	17.33	16.67	16.88	16.42	15.91	16.17	15.01	15.92	14.60	15.67	13.02	15.55	23+00
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30+00	20.83	19.85	21.32	20.10	21.93	20.35	22.50	20.60	22.73	22.97	33+00
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ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESSIN COMMENTS	07/23/21	

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1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
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ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE

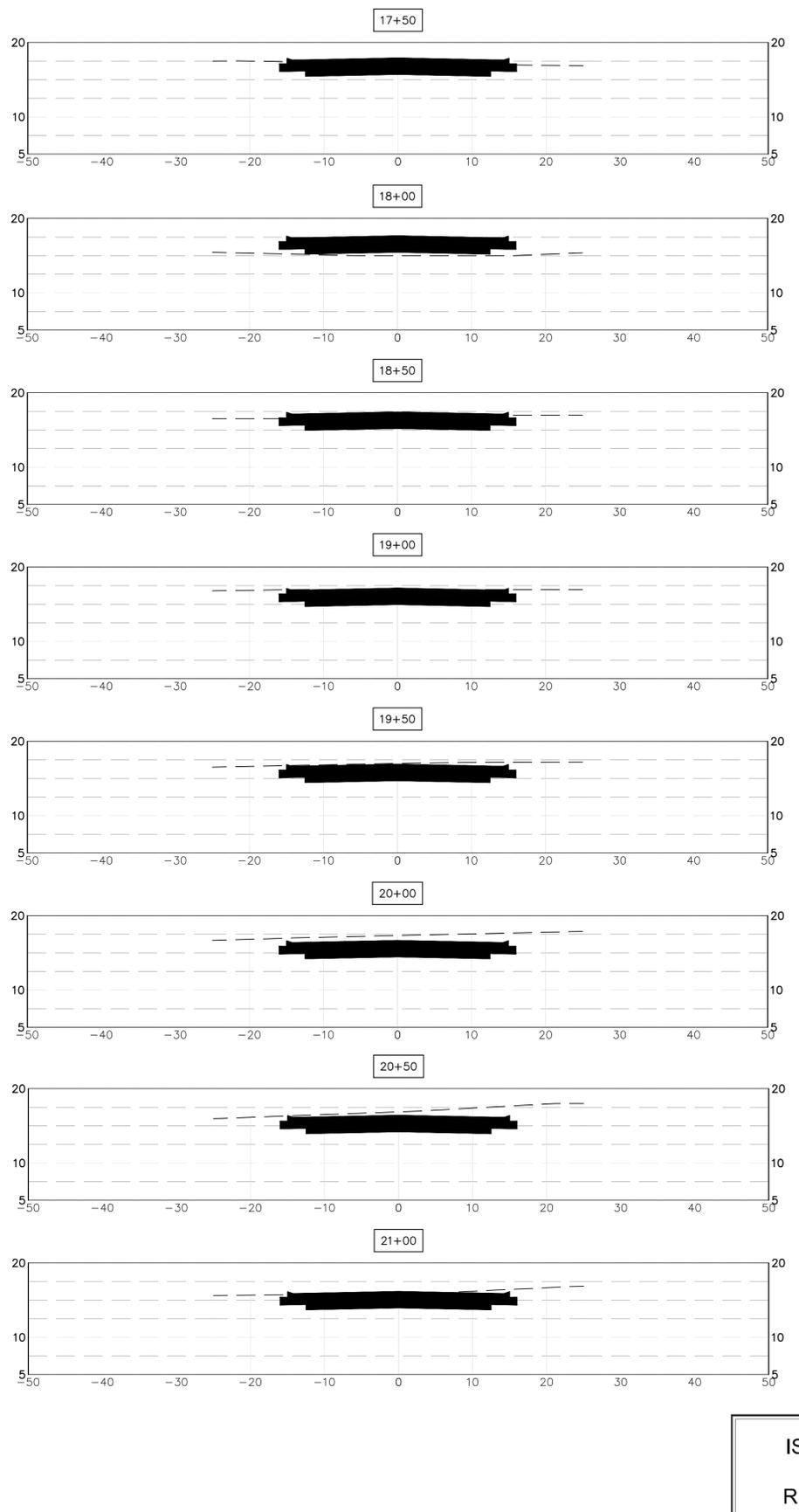
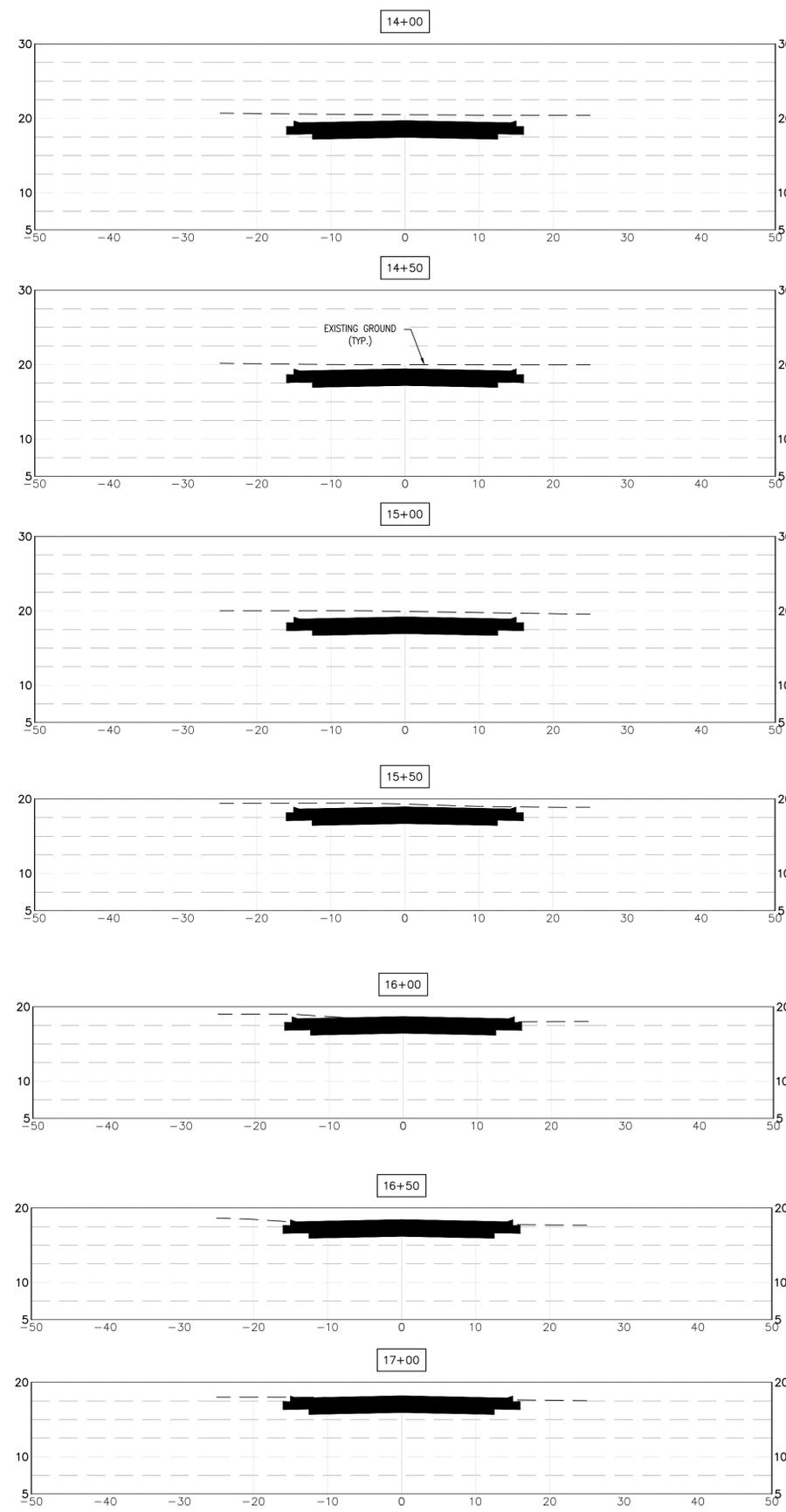
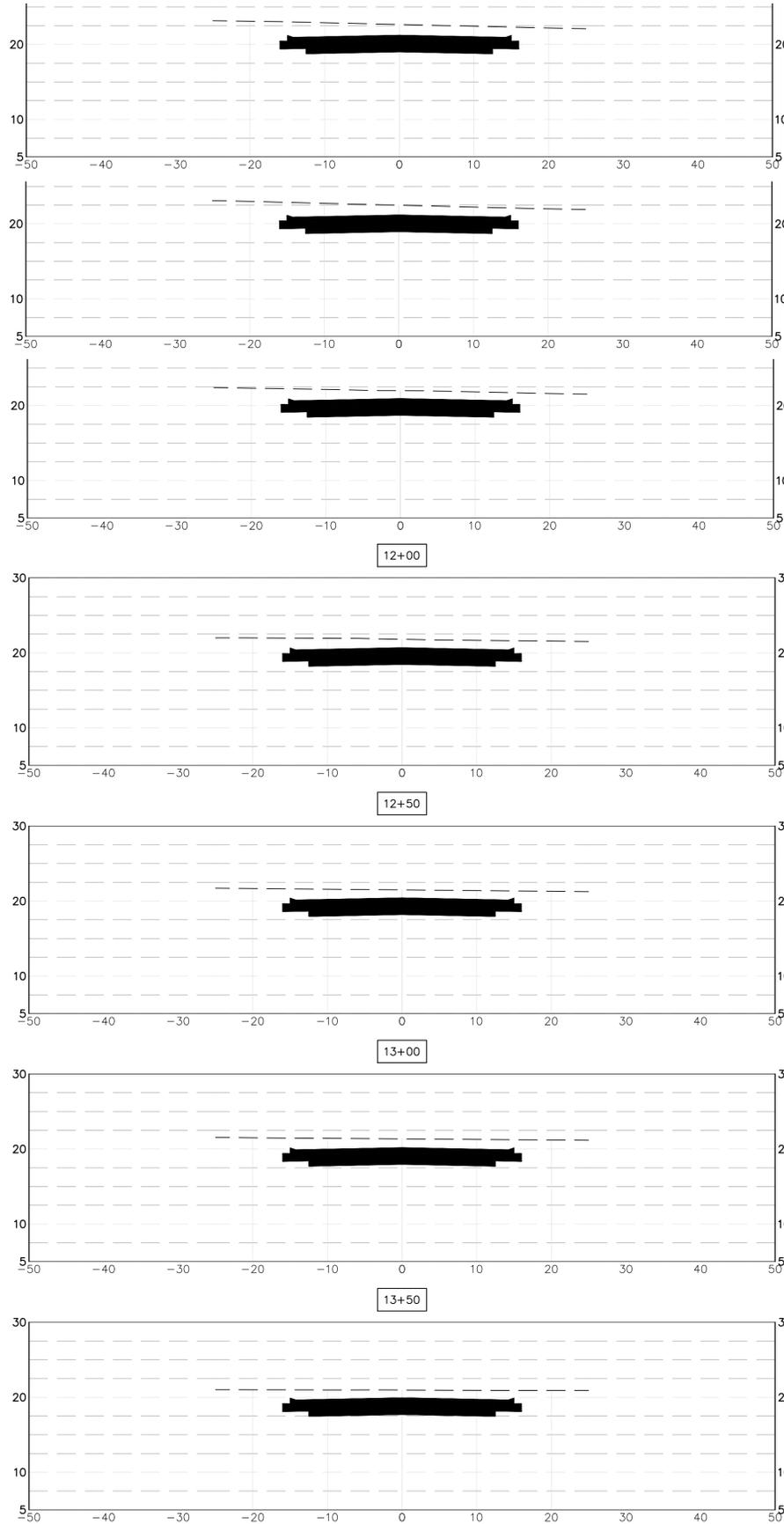
PROFILES  
GULF SHORES, AL  
OWNER:

SHEET NUMBER: 11 OF 14

C11.0 B

07/23/2021

SECTION SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=10'



ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



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1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
PH: (251) 978-9779

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JOB NUMBER: 2019-018  
DRAWN BY: JLG DATE: 06/26/2021 SCALE: AS SHOWN  
CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES -- PHASE ONE

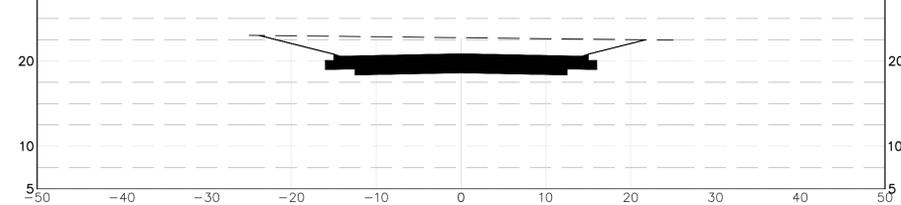
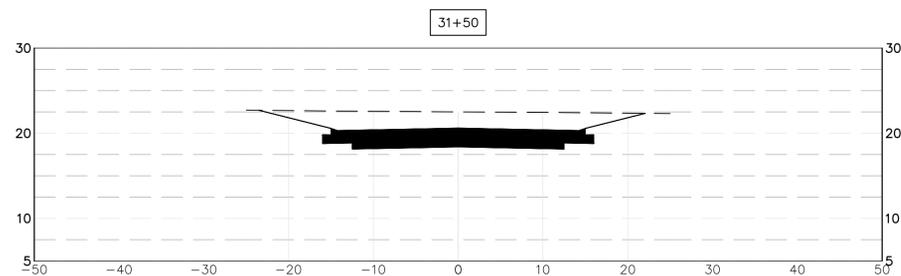
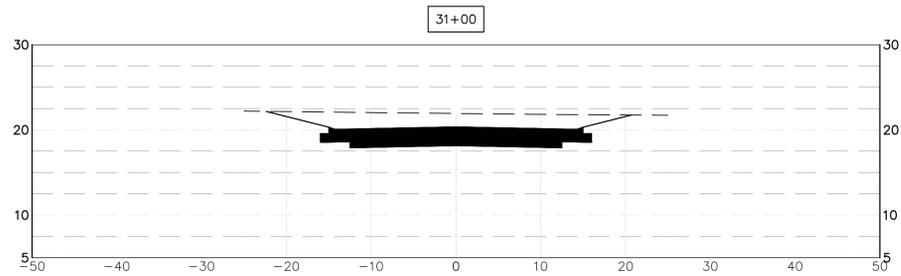
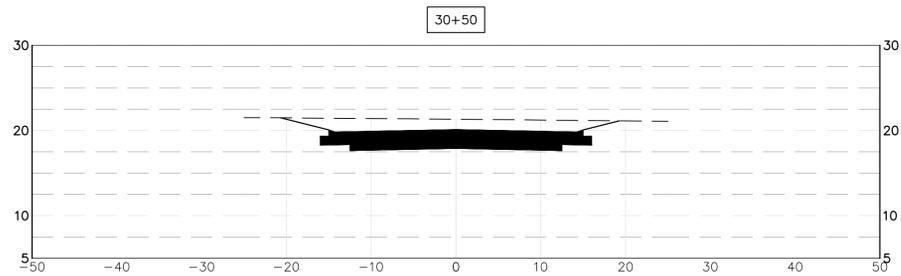
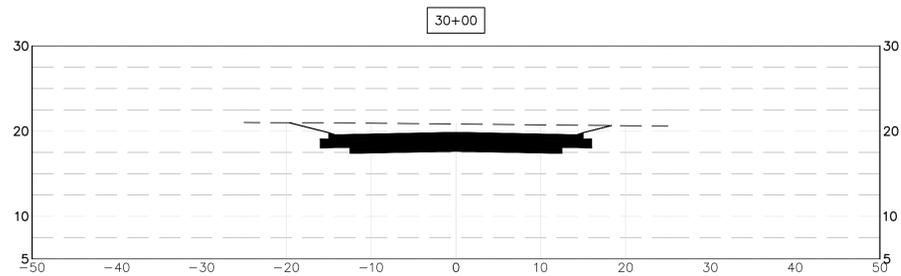
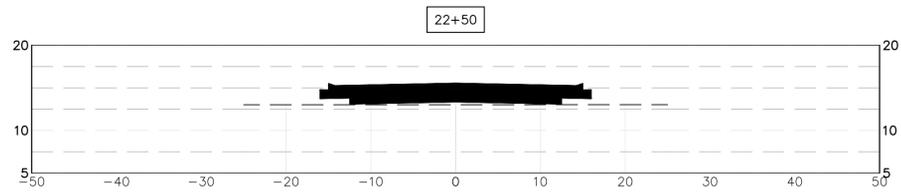
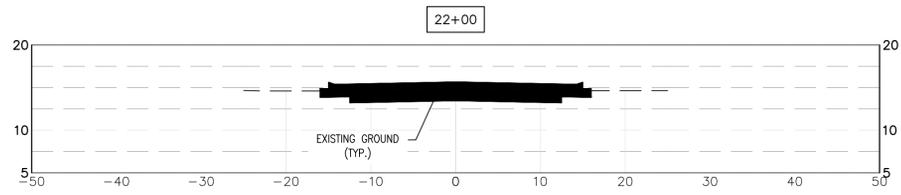
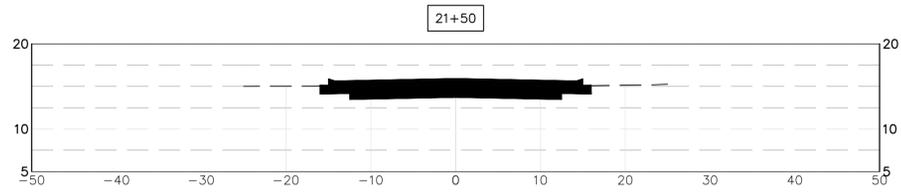
CROSS SECTIONS  
GULF SHORES, AL  
OWNER:

SHEET NUMBER: 12 OF 14

C12.0 B



07/23/2021



SECTION SCALE:  
HORIZONTAL: 1"=10'  
VERTICAL: 1"=10'

ISSUED FOR REVIEW

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESS IN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
1290 MAIN STREET, SUITE E  
DAPHNE, AL 36526  
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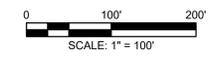
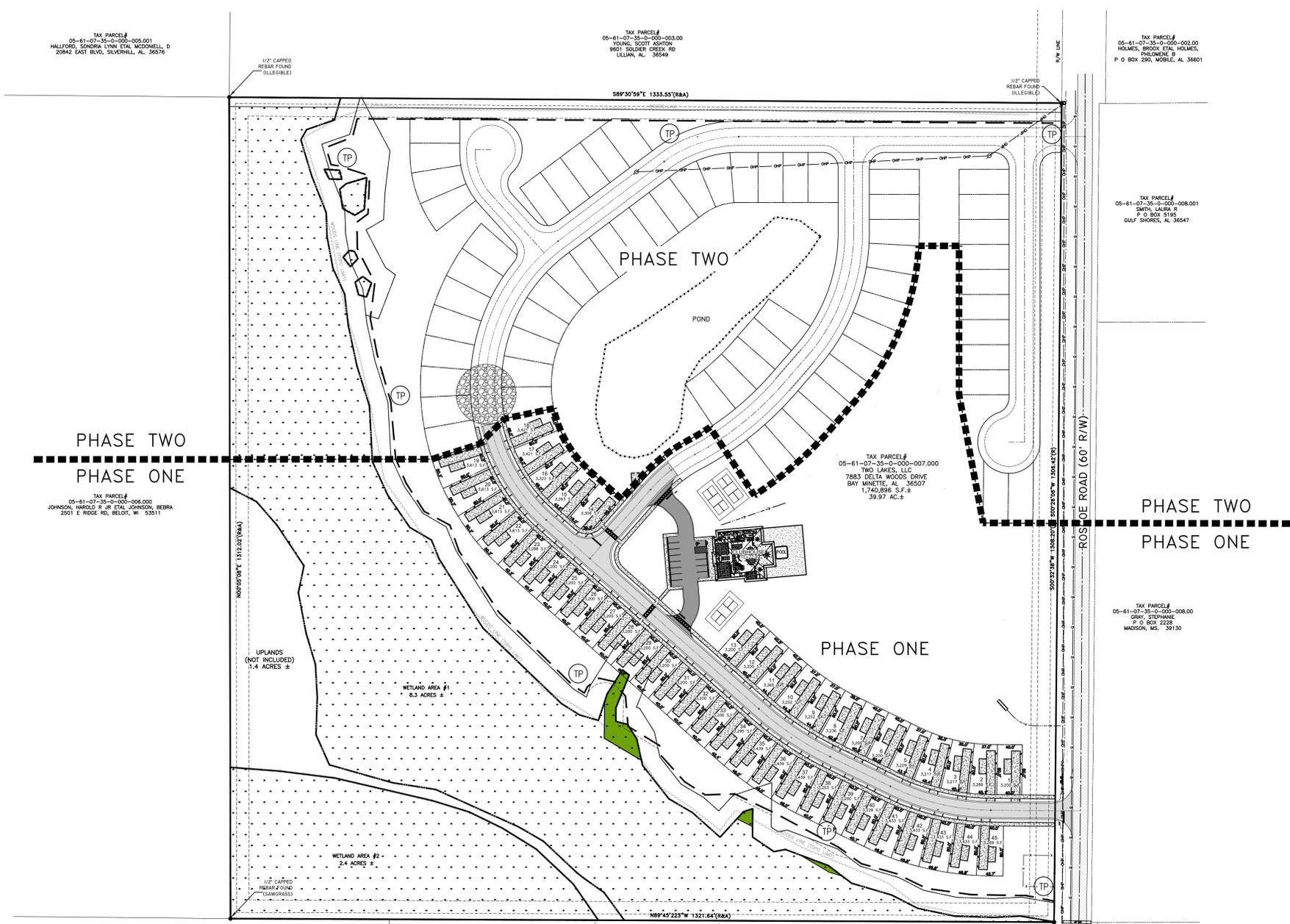
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JOB NUMBER	DRAWN BY: JLG	DATE: 06/26/2021	SCALE: AS SHOWN
2019-018	CHECKED BY: CJL	APPROVED BY: CJL	ENGR: CJL

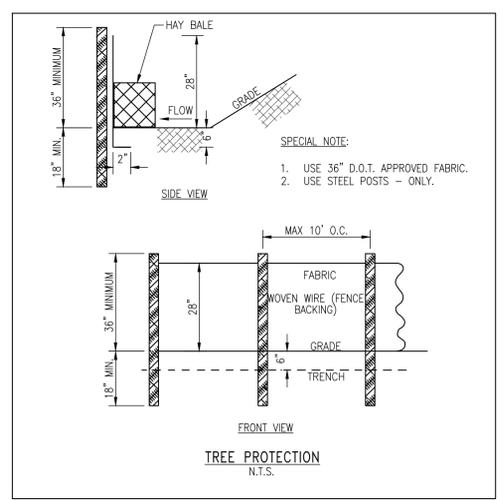
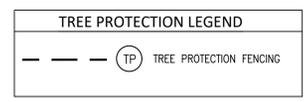
TWO LAKES -- PHASE ONE	
PROFILES	
GULF SHORES, AL	
OWNER:	
SHEET NUMBER	C13.0 B
13 OF 14	



07/23/2021



**NOTES:**  
 1. SEE SHEET C1.0 FOR ALL GENERAL NOTES.



**ISSUED FOR REVIEW**

REVISIONS			
A	ISSUED FOR REVIEW	06/26/21	
B	ADDRESSIN COMMENTS	07/23/21	



LIEB ENGINEERING COMPANY  
 1290 MAIN STREET, SUITE E  
 DAPHNE, AL 36526  
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 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4938

JOB NUMBER: 2019-018  
 DRAWN BY: JLG DATE: 06/26/2021 SCALE: 1"=100'  
 CHECKED BY: CJL APPROVED BY: CJL ENGR: CJL

TWO LAKES - PHASE ONE  
 TREE PROTECTION PLAN  
 GULF SHORES, AL  
 OWNER:

SHEET NUMBER: 14 OF 14  
 C14.0 B

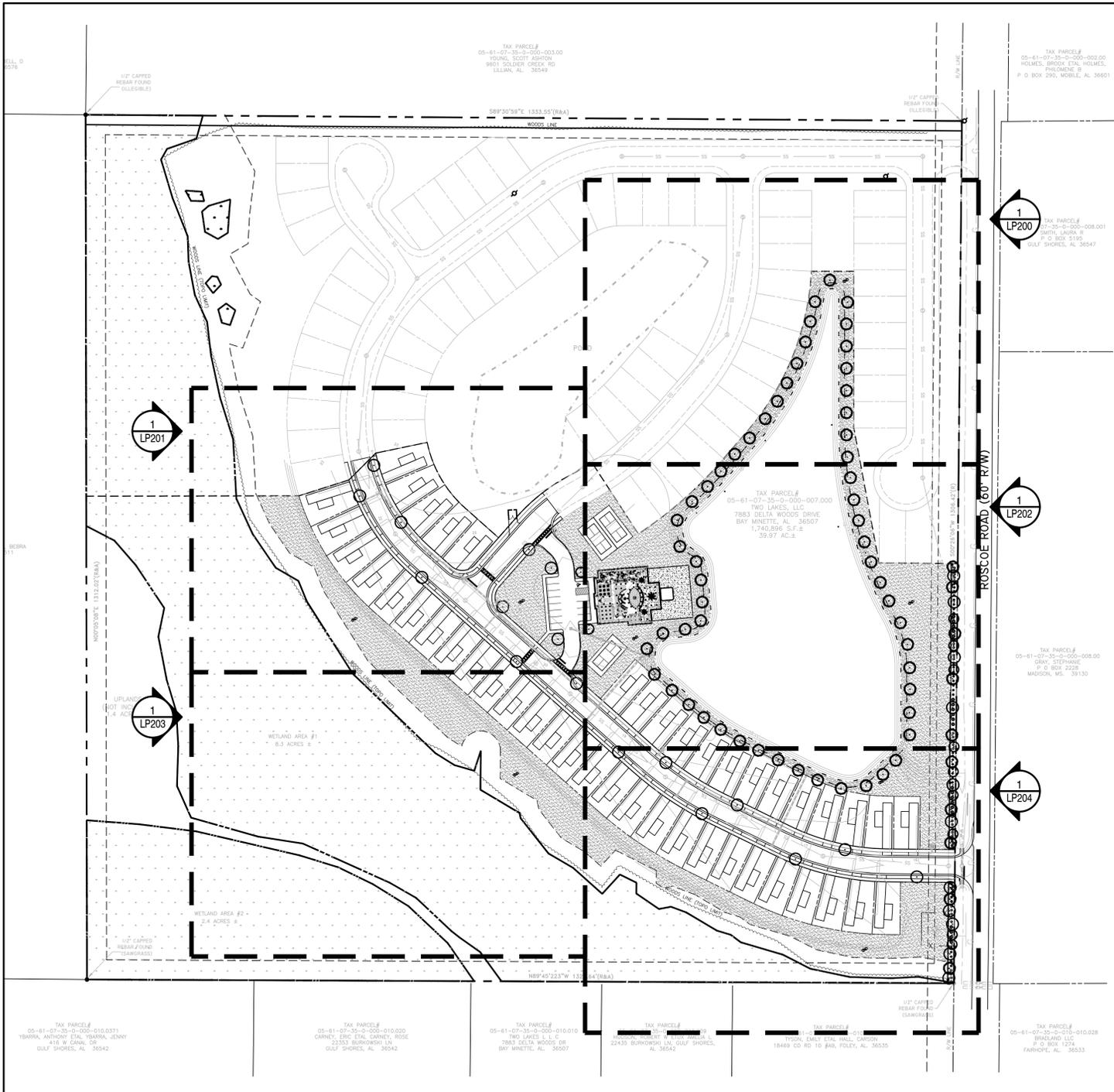


07/23/2021

**REFERENCE NOTES SCHEDULE**

SYMBOL	32 EXTERIOR IMPROVEMENTS DESCRIPTION	QTY	DETAIL
32-01	6" H WOOD PRIVACY FENCE	539 lf	6/LP500
32-02	1"X1"X6"H MASONRY COLUMN	14	/

**IRRIGATION NOTE:**  
ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.



**LANDSCAPE AREA REQUIREMENTS (Section 6-6)**

Total Site Area:	1,014,144 s.f.
Required Landscape Area (20%):	202,829 s.f.
Provided Landscape Area:	208,491 s.f.

**STREET FRONTAGE REQUIREMENTS (Section 6-6 C)**

1 tree per 25 LF ROW @ 754.0 LF = 30.16 trees	
<b>Total Frontage Trees Required:</b>	<b>30 trees</b>
<b>Total Frontage Trees Provided:</b>	<b>30 trees</b>
3 shrubs per 25 LF ROW @ 754.0 LF = 90.48 shrubs	
<b>Total Frontage Shrubs Required:</b>	<b>91 shrubs</b>
<b>Total Frontage Shrubs Provided:</b>	<b>95 shrubs</b>

**PARKING LOT TREE REQUIREMENTS (12-1.E)**

Proposed Parking Lot Area:	4,856 s.f.
Required Landscape Area (10%):	486 s.f.
Provided Landscape Island Area:	500 s.f.

**Trees**

1 tree per 150 s.f. @ 500 s.f. = 3.33 trees	
<b>Total Parking Lot Trees Required:</b>	<b>4 trees</b>
<b>Total Parking Lot Trees Provided:</b>	<b>4 trees</b>

**RETENTION / DETENTION LANDSCAPE REQUIREMENTS (Section 6-6 C-6)**

3 tree per 100 LF @ 1819.0 LF = 54.57 trees	
<b>Total Perimeter Trees Required:</b>	<b>55 trees</b>
<b>Total Perimeter Trees Provided:</b>	<b>55 trees</b>

**PLANT SCHEDULE**

TREES	CODE	QTY	BOTANICAL / COMMON NAME	CONT	CAL	SIZE
	QV	28	Quercus virginiana / Southern Live Oak Full head, specimen quality	30 gal	3"Cal	12'
	TD	67	Taxodium distichum / Bald Cypress Full head, specimen quality	30 gal	3"Cal	12'
	UA	11	Ulmus parvifolia 'Allee' / Allee Lacebark Elm Full head, specimen quality	30 gal	3"Cal	12'
SHRUBS	CODE	QTY	BOTANICAL / COMMON NAME	CONT	HT	
	IN	32	Ilex vomitoria 'Nana' / Dwarf Yaupon Holly	3 gal		
	MG	28	Miscanthus sinensis 'Adagio' / Adagio Maiden Grass	3 gal		
	NP	13	Nerium oleander 'Petite Pink' / Petite Pink Oleander	3 gal		
	SB	22	Viburnum odoratissimum / Sweet Viburnum	3 gal		
SOD/SEED	CODE	QTY	BOTANICAL / COMMON NAME	CONT		
	SOD	161,211 sf	Cynodon dactylon 'Tifway 419' / Tifway 419 Bermuda Grass	sod		

**1 LANDSCAPE PLANTING PLAN**  
Scale: 1"=100'

**NOT FOR CONSTRUCTION**  
THESE PLANS HAVE NOT BEEN APPROVED AND ARE SUBJECT TO CHANGE.

A Landscape Development Plan for  
**Two Lakes Subdivision**  
Gulf Shores, Alabama

**Revisions**

No.	Date	Revisions / Submissions
07.23.21		PERMIT SUBMITTAL
08.20.21		REVISED PER CITY COMMENTS

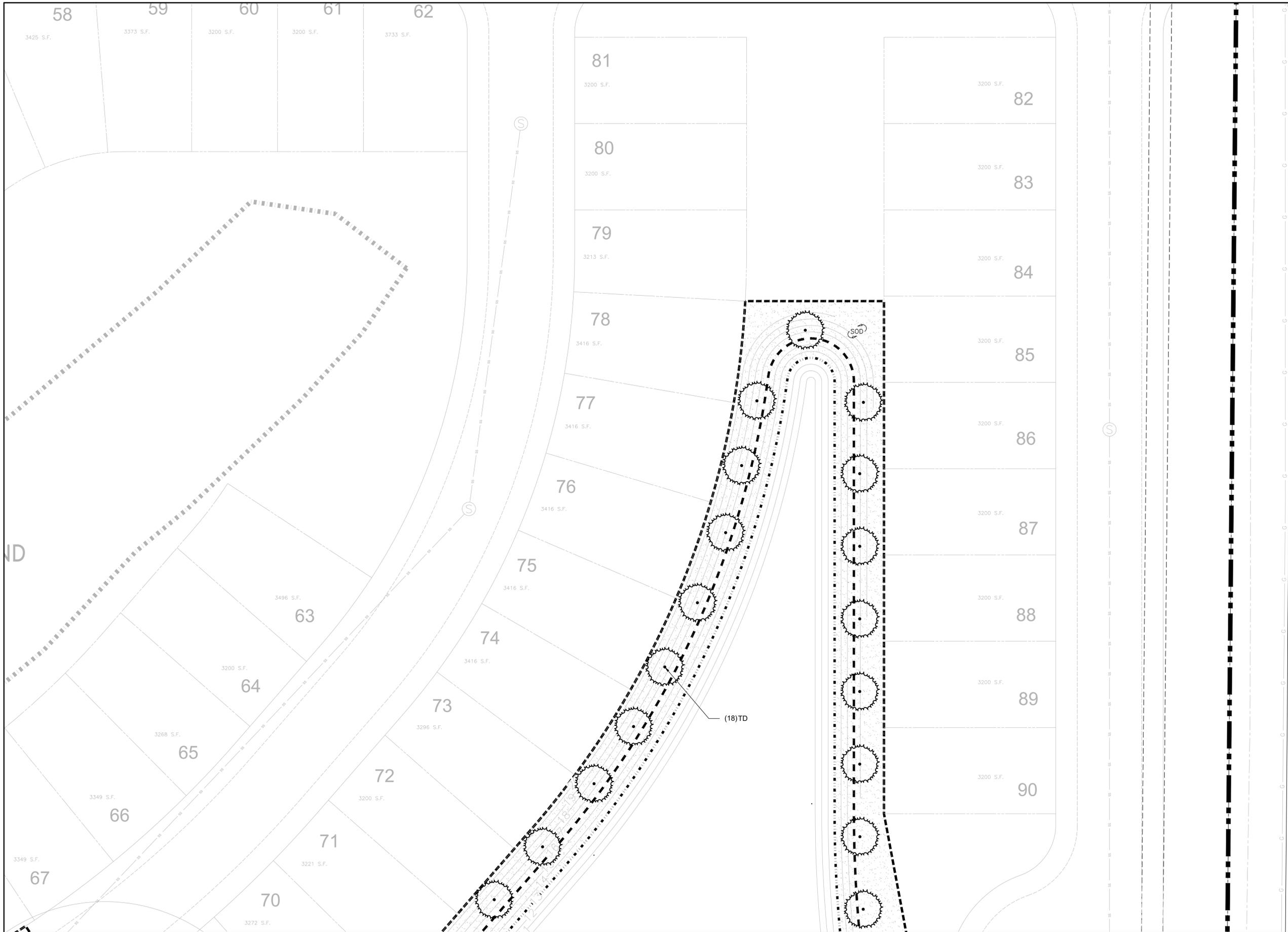
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Drawn \_\_\_\_\_  
DM \_\_\_\_\_  
Project Manager \_\_\_\_\_  
CW \_\_\_\_\_  
Principal \_\_\_\_\_  
212047-006  
Project No. \_\_\_\_\_  
07.19.21  
Date \_\_\_\_\_

STATE OF ALABAMA  
LESTER CHAUDREY  
REGISTERED LANDSCAPE ARCHITECT  
MEMBER  
518

Sheet Title  
**LANDSCAPE PLANTING PLAN**

Sheet No.  
**LP100**



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APPROVED AND ARE SUBJECT  
TO CHANGE.

A Landscape Development Plan for  
**Two Lakes Subdivision**  
Gulf Shores, Alabama

Revisions		
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CW _____ Principal	
212047-006 Project No.	
07.19.21 Date	
_____	

Sheet Title

**LANDSCAPE  
PLANTING  
ENLARGEMENT  
PLAN**

Sheet No. **LP200**

**1** LANDSCAPE PLANTING ENLARGEMENT PLAN  
Scale: 1"=20'



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Principal	
212047-006	
Project No.	
07.19.21	
Date	

Sheet Title

**LANDSCAPE  
PLANTING  
ENLARGEMENT  
PLAN**

Sheet No.

**LP201**



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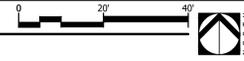
Sheet Title

**LANDSCAPE  
PLANTING  
ENLARGEMENT  
PLAN**

Sheet No. **LP203**



**1** LANDSCAPE PLANTING ENLARGEMENT PLAN  
Scale: 1"=20'



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CW \_\_\_\_\_  
Principal \_\_\_\_\_  
212047-006  
Project No. \_\_\_\_\_  
07.19.21  
Date \_\_\_\_\_



.64'(R&A)

1/2" CAPPED  
REBAR FOUND  
(SAWGRASS)

TAX PARCEL#

05-61-07-35-0-000-010-009

TAX PARCEL#

05-61-07-35-0-000-010-009

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CW \_\_\_\_\_  
Principal  
212047-006  
Project No.  
07.19.21  
Date

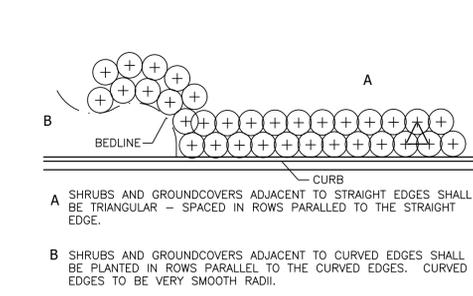
Sheet Title

**LANDSCAPE  
PLANTING DETAILS**

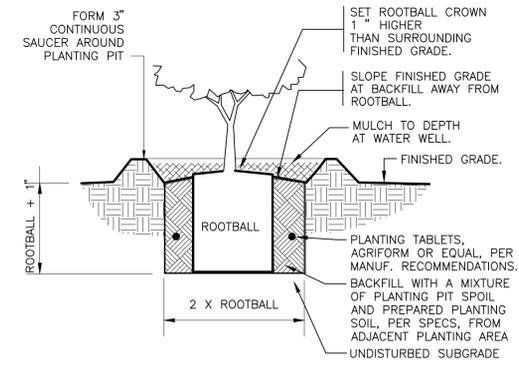
Sheet No. **LP500**

**IRRIGATION NOTE:**  
ALL LANDSCAPE AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM THAT SHALL PROVIDE 100% HEAD-TO-HEAD COVERAGE.

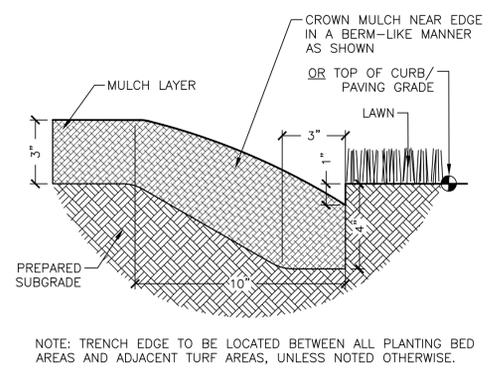
800-292-8525  
#DIG (Cellular)  
Dig Safely. **Alabama 1 Call**



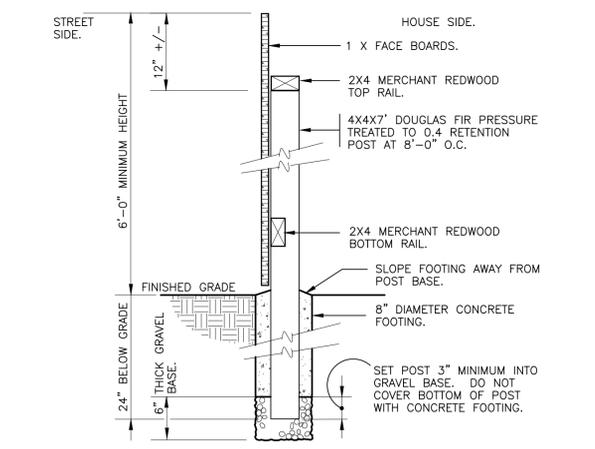
**1** TYPICAL PLANT SPACING  
NOT TO SCALE 329399-04



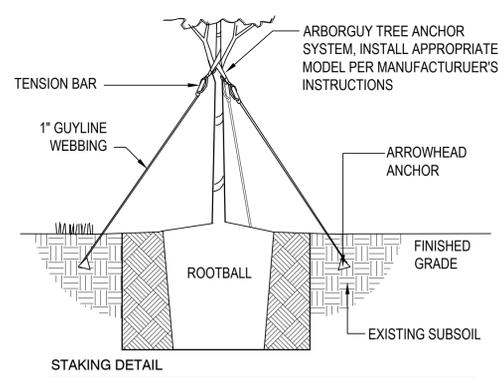
**2** SHRUB PLANTING  
1" = 1'-0" 329333.13-01



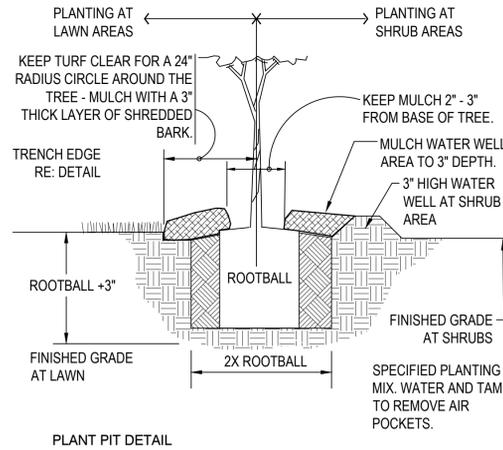
**3** TRENCH EDGE  
3" = 1'-0" 329413.23-02



**6** SOLID PANEL WOOD FENCE  
1" = 1'-0" 32 3129.23-01



**4** TREE PLANTING - GUY STRAP  
1" = 1'-0" 329343.26-02



**4** TREE PLANTING - GUY STRAP  
1" = 1'-0" 329343.26-02

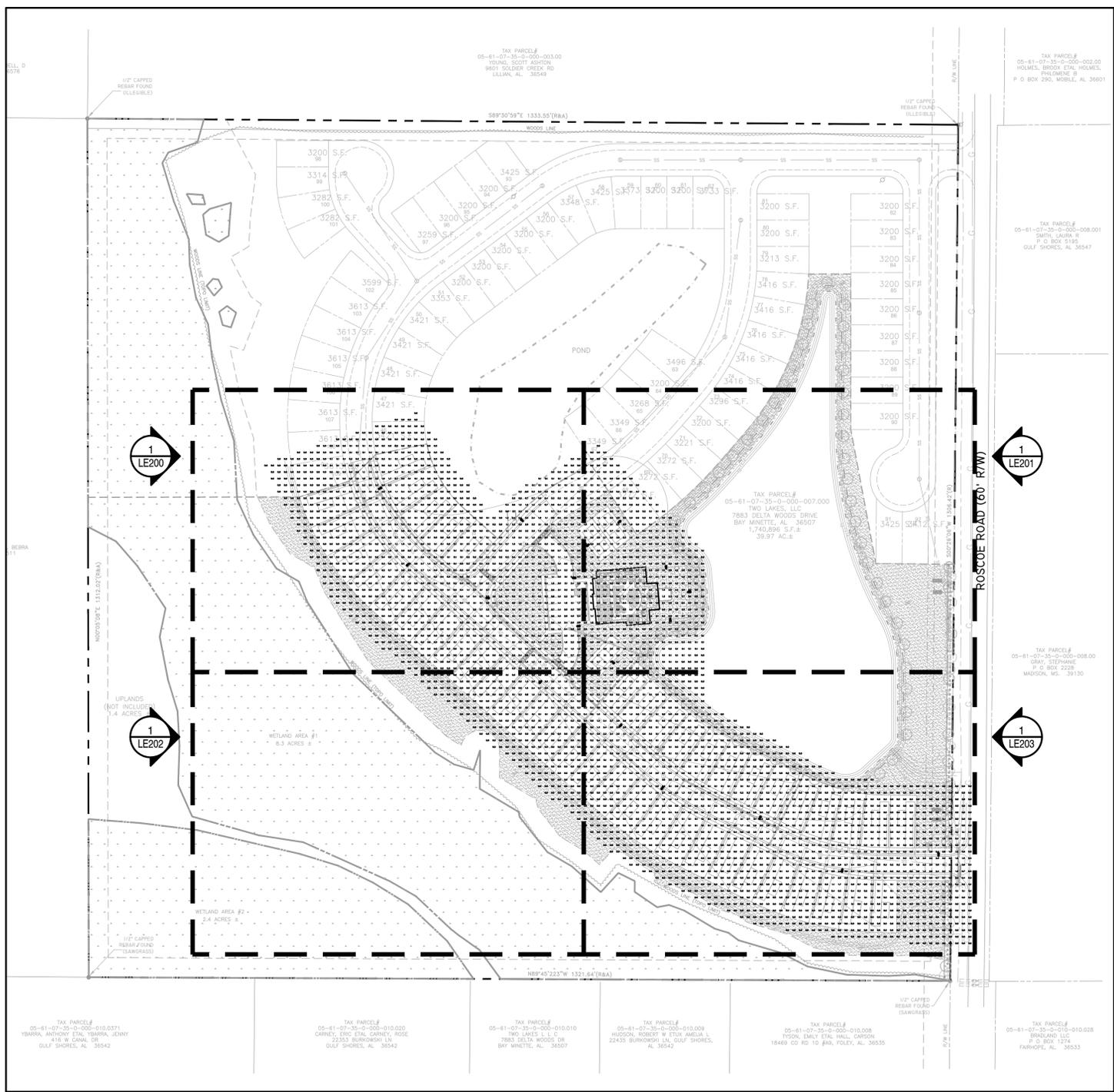
- GENERAL CONDITIONS**
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE SITE INSPECTION PRIOR TO LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO ACQUAINT HIMSELF WITH EXISTING CONDITIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UNDERGROUND UTILITIES BEFORE BEGINNING CONSTRUCTION.
  - CONTRACTOR IS RESPONSIBLE FOR PROTECTION OF LANDSCAPE MATERIAL AT ALL TIMES. LANDSCAPE CONTRACTOR TO COORDINATE SAFE STAGING AREA WITH GENERAL CONTRACTOR AND/OR OWNER.
  - CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL, INCLUDING GRASS, FOR 365 CONSECUTIVE CALENDAR DAYS FROM SUBSTANTIAL COMPLETION OF THE WORK, AS DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT.
  - ALL AREAS IMPACTED NEGATIVELY BY CONSTRUCTION PROCESSES SHALL BE RETURNED TO ORIGINAL CONDITION OR BETTER PRIOR TO SUBSTANTIAL COMPLETION.
- LANDSCAPE AREA SOIL PREPARATION**
- PLANTING SOIL SHALL BE CREATED BY AMENDING TOPSOIL WITH THE ADDITION OF COMPOST. COMPOST TYPE SHALL BE MUSHROOM COMPOST OR DECOMPOSED PINE BARK, AND SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO PURCHASE. COMPOST SHALL BE UNIFORMLY APPLIED OVER PLANTING BEDS AT AN AVERAGE DEPTH OF 2 INCHES AND OVER SOD AREAS AT AN AVERAGE DEPTH OF 3/4 INCH.
  - INCORPORATE UNIFORMLY IN PLANTING BEDS TO A DEPTH OF 6 INCHES AND IN SOD AREAS TO A DEPTH OF 3 INCHES USING A ROTARY TILLER OR OTHER APPROPRIATE EQUIPMENT. PRE-PLANT FERTILIZER AND PH ADJUSTING AGENTS (E.G., LIME AND SULFUR) MAY BE APPLIED IN CONJUNCTION WITH COMPOST INCORPORATION, AS REQUIRED PER SOIL TEST (IF REQUESTED BY OWNER).
  - RAKE SOIL SURFACE SMOOTH PRIOR TO PLANTING.
  - REMOVE STONES LARGER THAN 1 INCH IN ANY DIMENSION AND STICKS, ROOTS, RUBBISH, AND OTHER EXTRANEOUS MATTER AND LEGALLY DISPOSE OF THEM OFF OWNER'S PROPERTY.
  - WATER THOROUGHLY AFTER PLANTING.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING 3% POSITIVE DRAINAGE IN ALL PLANTING BEDS. ANY OTHER PROPOSED DRAINAGE METHODS SHALL BE COORDINATED WITH PLANTING EFFORTS TO MINIMIZE CONFLICTS AND MAINTAIN PROPER FUNCTION OF DRAINAGE SYSTEMS.
- PLANT MATERIAL AND PLANTING**
- PLANT QUANTITIES ARE OFFERED AS A CONVENIENCE TO THE CONTRACTOR, AND ARE NOT ABSOLUTE. CONTRACTOR SHALL VERIFY PLANT COUNT FROM PLAN AND REPORT DIFFERENCES.
  - ALL PLANT MATERIALS ARE SUBJECT TO APPROVAL OR REFUSAL BY THE OWNER OR LANDSCAPE ARCHITECT AT ANY TIME.
  - PLANTS SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM INJURY, INSECTS AND DISEASES. PLANTS SHALL EQUAL OR SURPASS QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERYMEN, INC. UNLESS NOTED SPECIFICALLY, ALL PLANT MATERIAL SHALL BE BALLED AND BURLAPPED OR CONTAINER GROWN.
  - FRONT ROW OF SHRUBS SHALL BE PLANTED FROM CENTER OF PLANT A MINIMUM OF 24" BEHIND BED LINE @ LAWNS OR WALKS AND A MINIMUM OF 36" BACK OF CURB @ PARKING SPACES.
  - NO PRUNING SHOULD BE PERFORMED DURING FIRST GROWING SEASON EXCEPT FOR REMOVING DAMAGED OR DEAD GROWTH. WOUND PAINT IS NOT RECOMMENDED FOR ANY CUTS.
  - ALL PLANTING AREAS, TREE PITS, AND OTHER AREAS INDICATED ON PLANS SHALL BE MULCHED WITH A SETTLED LAYER OF THE INDICATED MULCH:
    - 3" DEPTH PINE BARK
    - 4" DEPTH SHREDDED HARDWOOD MULCH
    - 3" DEPTH LONG LEAF PINESTRAW, SETTLED
  - TRENCH EDGE TO BE LOCATED BETWEEN ALL PLANTING AREAS AND LAWN, UNLESS NOTED OTHERWISE.
  - TREE STAKING SHALL BE PROVIDED TO KEEP TREES PLUMB AND PROTECTED FROM EXCESSIVE WINDS. ALL TREE-STAKING APPARATUS SHALL BE REMOVED AT THE END OF THE ONE-YEAR WARRANTY PERIOD.
  - ONE YEAR OF LANDSCAPE MAINTENANCE FROM SUBSTANTIAL COMPLETION SHALL BE INCLUDED AS AN OPTIONAL BID ITEM TO THE OWNER.

**5** GENERAL PLANTING NOTES  
1" = 1" 329399-01

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A Landscape Development Plan for  
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CALLOUT	SYMBOL	LAMP	DESCRIPTION	BALLAST	MOUNTING	MODEL	VOLTS	NOTE 3	QUANTITY	DEFAULT ELEVATION
POLE	⊕→	(1) Sixty Cree XP-G2 LEDs	Cree Edge Area, Type III Medium, 60 LEDs, 700mA, 4000K	ELECTRONIC	POLE	Cree Inc. ARE-EDG-3M-xx-06-E-UL-xx-700-xxxx-40K	120V 1P 2W	ree-RETL. 9/1/2016. Measurement orientation: base up. Serial Number: PLO9276-001. 120.09 Vac, 1.130 A, 135.44 W. TEST PROCEDURE: IESNA-LM-79-08. TEST DISTANCE = 29.36 Feet. Philips LED-INTA-0700C-210DO. 11332.7	18	18'-0"



**STRUCTURAL ENGINEERING NOTE**

STRUCTURAL ENGINEERING DESIGN IS NEITHER EXPRESSED NOR IMPLIED IN THIS DRAWING. STRUCTURAL ENGINEERING DESIGN RESPONSIBILITY IS DELEGATED TO THE CONTRACTOR, AND SHALL BE DONE BY A PROFESSIONAL ENGINEER OR OTHER QUALIFIED PROFESSIONAL AS REQUIRED FOR CODE COMPLIANCE, PERMITTING, ETC.

**THE EDGE® Series**  
LED Area Luminaire - Round

Rev. Date: 08/10/2022

**Product Description**  
THE EDGE® Series has a slim, low profile design. Its rugged cast aluminum housing minimizes wind load requirements and features an integral, weatheright LED driver compartment, spun vented cover, high performance aluminum heat sinks and leaf/debris guard.  
**Applications:** Auto Dealerships, parking lots, campuses, facade lighting and general site lighting applications

**Performance Summary**

- Patented NanoOptic® Product Technology
- Assembled in the U.S.A. of U.S. and imported parts
- CRF: Minimum 70 CRI
- CCT: 4000K (+/- 300K), 5700K (+/- 500K) standard
- Limited Warranty\*: 10 years on luminaire/10 years on Colorfast DeltaGuard® finish

\*See [www.creeled.com/warranty](http://www.creeled.com/warranty) for warranty terms

**Accessories**

- Field-Installed
- Bird Spikes: XA-BROSPK
- Backlight Control Shields: XA-2003, S-4
- Four Jack
- Unpainted stainless steel

**LED Count (x10) Weight**

04	33.8 lbs. (15.3kg)
06	35.2 lbs. (15.9kg)
08	37.0 lbs. (16.8kg)
10	40.7 lbs. (18.5kg)
12	43.4 lbs. (19.7kg)

R4/R5 Mount - see page 14 for weight & dimensions

**Ordering Information**  
Example: ARE-EDR-2M-R3-12-E-UL-SV-350

ARE-EDR	3M	06	E	UL	700	40K
Product	Optic	Mounting*	LED Count (x10)	Series	Voltage	Color Options
ARE-EDR	2M Type II Type III Medium	R3 Type III Center	04** 06** 08**	E	UL	Black Universal 120-277V
	2MB w/Partial BLS	R3**	08**		UL	Black Universal 120-277V
	4M Type IV Medium	R4 Type IV Center	10 12		UL	Black Universal 120-277V
	2MP Type II Medium	R4 Type IV Center	08**		UL	Black Universal 120-277V
	4MP Type IV Medium	R5 Type V Center	10 12		UL	Black Universal 120-277V
	3M Type III Medium	R5 Type V Center	08**		UL	Black Universal 120-277V
	3MB Type III Medium	R5**	08**		UL	Black Universal 120-277V
	w/BLS	Type V Short			UL	Black Universal 120-277V

**Options**

- 0-10V Dimming
- Control by others
- Refer to Electrical spec sheet for details
- Can't exceed specified drive current
- Flush
- Compatible only with 120V, 277V or 347V (phase to neutral)
- Consist factory of failing to required for 200V, 240V or 480V (phase to phase)
- Refer to ETL spec sheet for availability with PML options
- When ends enclosure facing, use time delay fuse
- HL: Hi/Low (Dual Circuit Input)
- Refer to UL spec sheet for details
- Sensor not included
- PhotoCell
- Available with UL voltage only
- 40K: 4000K Color Temperature
- Minimum 70 CRI
- Color temperature per luminaire
- TLR: Amber Traffic Friendly LEDs
- Available only with 200mA
- Lumen multiplier from 5700K: 0.32 (350mA)
- Power multiplier 0.75
- 400mm dominant wavelength
- Additional shielding by others may be required for Florida Fish and Wildlife Conservation Commission compliance

\*Reference EPA and pole configuration suitability data beginning on page 11.  
\*\*Consists of multiple LED light bars, 4L, 6L, and 8L LED units use tables on needed in plans of populated light bars

UL US DFC  
US: [www.creeled.com](http://www.creeled.com) (800) 234-6800  
Canada: [www.creeled.com](http://www.creeled.com) (800) 473-1234

**CREE LIGHTING**

Revisions

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CW \_\_\_\_\_  
Principal  
212047-006  
Project No.  
07.19.21  
Date

STATE OF ALABAMA  
LESTER CHAD WALKER  
REGISTERED LANDSCAPE ARCHITECT  
NUMBER 518

**SITE LIGHTING PLAN**

**1 SITE LIGHTING PLAN**  
Scale: 1"=100'

Sheet No. **LE100**





**1 SITE LIGHTING ENLARGEMENT PLAN**  
Scale: 1"=20'

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**SITE LIGHTING  
ENLARGEMENT  
PLAN**

Sheet No. **LE201**





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**LANDSCAPE AREA REQUIREMENTS (Section 6-6)**

Total Site Area:	1,014,144 s.f.
Required Open Space Area (10%):	101,414 s.f.
Provided Open Space Area:	467,747 s.f.



Revisions

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Principal 212047-006	
Project No. 07.19.21	
Date	

Sheet Title

**OPEN SPACE PLAN**

Sheet No.  
**OP100**

**1 OPEN SPACE PLAN**  
Scale: 1"=100'





# Baldwin County Planning & Zoning Department

## Baldwin County Planning Commission Staff Report

### Agenda Item

Case No. P-21008

Conditional Use Approval

September 2, 2021

Agenda Item 8.a

## Subject Property Information

**Planning District:** 15  
**General Location:** North side of County Road 64 east of State Hwy 181  
**Physical Address:** 10185 County Road 64  
**Parcel Number:** 05-43-06-14-0-000-015.001  
**Current Zoning:** B-3, General Business District  
**Existing Land Use:** Vacant  
**Proposed Land Use:** 500 square foot drive thru coffee shop  
**Acreage:** 1.00 acres  
**Applicant:** Sawgrass Consulting LLC  
 30673 Sgt E.I. Boots Thomas Drive  
 Spanish Fort, AL 36527  
**Owner:** O and F Development LLC  
 10185 County Road 64  
 Daphne, AL 36526  
**Lead Staff:** Linda Lee, Planner  
**Attachments:** *Within Report*

	Adjacent Land Use	Adjacent Zoning
North	Residential	RSF-E, Single Family Estate District
South	Residential	RSF-E, Single Family Estate District
East	Residential	RSF-E, Single Family Estate District
West	Residential and Commercial	B-3, General Business District

## Summary and Recommendation

The applicant is requesting Conditional Use approval to allow for a 500 square foot drive thru coffee shop on the north end of the proposed building. On property zoned General Business District, a fast food restaurant may be allowed through the Conditional Use process, subject to the approval of the Planning Commission.

Staff recommends that Case P-21008, O and F Development LLC Property be **APPROVED\*** subject to the conditions outlined at the end of this staff report.

**Section 5.3 B-3, General Business District**

5.3.1 *Purpose and intent.* The purpose of this district is to provide for a variety of retail uses and services in free-standing parcels or shopping centers to serve the community's general commercial needs. This district shall only be applied at appropriate locations: to conveniently meet these needs; in conformance with the goals, objectives and policies and location criteria of the Comprehensive Plan; compatible with the surrounding land uses and zoning districts; where it will not adversely impact the facilities and services of the County; where it will not set a precedent for the introduction of inappropriate uses into an area; and so as not to encourage non-residential strip development along streets

5.3.2 *Permitted uses.* The following uses are permitted as of right, or as uses accessory to permitted uses in the B-3, General Business District:

- |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                |                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                  |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| <ul style="list-style-type: none"> <li>(a) All uses permitted by right under the B-2 zoning designation</li> <li>(b) Air conditioning sales and service</li> <li>(c) Amusement arcade</li> <li>(d) Animal clinic/kennel</li> <li>(e) Arboretum</li> <li>(f) Auto convenience market</li> <li>(g) Automobile service station</li> <li>(h) Bakery, wholesale</li> <li>(i) Ball field</li> <li>(j) Bicycle sales and service</li> <li>(k) Bowling alley</li> <li>(l) Business machine sales and service</li> <li>(m) Business school or college</li> <li>(n) Butane gas sales</li> <li>(o) Cemetery</li> <li>(p) City hall or courthouse</li> <li>(q) Country club</li> <li>(r) Department store</li> <li>(s) Discount/variety store</li> <li>(t) Drug store</li> <li>(u) Elevator maintenance service</li> <li>(v) Exterminator service office</li> <li>(w) Farmer's market/truck crops</li> <li>(x) Firing range</li> <li>(y) Fitness center or gym</li> <li>(z) Florist</li> <li>(aa) Fraternity or sorority house</li> <li>(bb) Fruit and produce store</li> <li>(cc) Funeral home</li> </ul> | <ul style="list-style-type: none"> <li>(dd) Golf course</li> <li>(ee) Golf driving range</li> <li>(ff) Grocery store</li> <li>(gg) Landscape sales</li> <li>(hh) Marine store and supplies</li> <li>(ii) Miniature golf</li> <li>(jj) Mini-warehouse</li> <li>(kk) Night club, bar, tavern</li> <li>(ll) Nursery</li> <li>(mm) Office equipment and supplies sales</li> <li>(nn) Park or playground</li> <li>(oo) Pawn shop</li> <li>(pp) Pet shop</li> <li>(qq) Plumbing shop</li> <li>(rr) Printing/publishing establishment</li> <li>(ss) Restaurant sales and supplies</li> <li>(tt) Riding academy</li> <li>(uu) Rug and/or drapery cleaning service</li> <li>(vv) Seafood store</li> <li>(ww) Sign shop</li> <li>(xx) Skating rink</li> <li>(yy) Stone monument sales</li> <li>(zz) Swimming pool (outdoor)</li> <li>(aaa) Taxidermy</li> <li>(bbb) Teen club or youth center</li> <li>(ccc) Tennis court (outdoor)</li> <li>(ddd) Wildlife sanctuary</li> <li>(eee) YMCA, YWCA</li> </ul> |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|

5.3.3 *Conditional uses.* The following uses are permissible as conditional uses in the B-3: General Commercial District, subject to the standards and procedures established in *Section 18.11: Conditional Use*:

- (a) Airport
- (b) Ambulance/EMS service
- (c) Amusement park
- (d) Armory
- (e) Auditorium, stadium, coliseum
- (f) Automobile parts sales
- (g) Automobile repair (mechanical and body)
- (h) Automobile storage (parking lot, parking garage)
- (i) Barge docking
- (j) Boat sales and service
- (k) Broadcasting station
- (l) Building materials
- (m) Bus and railroad terminal facility
- (n) College or university
- (o) Convalescent or nursing home
- (p) Correctional or penal institution
- (q) Dog pound
- (r) Electric power substations
- (s) Farm implements
- (t) Flea market
- (u) Freight depot, rail or truck
- (v) Home improvement center
- (w) Hotel or motel
- (x) Hospital
- (y) Landfill
- (z) Maintenance facility/storage yard for schools, government agencies, and telephone and cable companies
- (aa) Manufactured housing sales, service and repair
- (bb) Marina
- (cc) Motorcycle sales service and repair
- (dd) Movie theatre
- (ee) Radio/television tower
- (ff) Railroad facility
- (gg) Recreational vehicle park
- (hh) Recreational vehicle sales service, and repair
- (ii) Restaurant, drive-in
- (jj) Restaurant, fast-food
- (kk) Sewage treatment plant
- (ll) Taxi dispatching station
- (mm) Taxi terminal
- (nn) Telephone exchange
- (oo) Water or sewage pumping station
- (pp) Water storage tank
- (qq) Wireless telecommunication facility
- (rr) Zoo

5.3.4 *Area and dimensional ordinances.*

Maximum Height of Structure in Feet	40
Maximum Height of Structure in Habitable Stories	3
Minimum Front Yard	40-Feet
Minimum Rear Yard	25-Feet
Minimum Side Yards	15-Feet
Minimum Lot Area	20,000 Square Feet
Maximum Impervious Surface Ratio	.70
Minimum Lot Width at Building Line	80-Feet
Minimum Lot Width at Street Line	60-Feet

5.3.5 *Lighting standards.* The maximum height of exterior lights shall be 25-feet. The intensity, location, and design of lighting shall be such that not more than one foot candle of light is cast upon adjacent property or public rights-of-way. Light fixtures shall be designed to cast light downward. Where necessary, cut-off devices shall be used to minimize glare off premises. No light shall be aimed directly toward a property designated residential, which is located within 200-feet of the source of the light.

5.3.6 *Distance between structures.* If there is a separation between any two principal structures on the same parcel, said separation shall be a minimum of 15-feet or a distance equal to one-half the sum of their heights, whichever is the greater.

5.3.7 *Landscaping and buffering.* All B-3, General Business District, uses shall meet the requirements of *Article 17: Landscaping and Buffers.*

**Baldwin County Highway Department:**

**From:** Alfreda Jeffords <[Weesie.Jeffords@baldwincountyga.gov](mailto:Weesie.Jeffords@baldwincountyga.gov)>

**Sent:** Thursday, August 26, 2021 10:54 AM

**To:** D Hart <[DHart@baldwincountyga.gov](mailto:DHart@baldwincountyga.gov)>

**Subject:** RE: P-21008

Yes, I reached out to the engineer they are using to get some more information but have not heard back from him.

We have issued a commercial turnout permit for this site and the work is almost completed. Depending on the peak hour trips, there may need to be a left turn lane on CR 64.

Thanks,  
Weesie

**Staff Analysis and Findings**

The applicant is requesting Conditional Use approval to allow for a 500 square foot drive thru coffee shop on the north end of the proposed building. On property zoned General Business District, a fast food restaurant may be allowed through the Conditional Use process, subject to the approval of the Planning Commission. Per the applicant, the proposed hours of operation are 6:00am to 1:00pm.

The following factors for reviewing Conditional Use approvals are found in Section 18.11.1 of the *Baldwin County Zoning Ordinance*.

Section 18.11.1 *Authorization*. The Planning Commission may, under the prescribed standards and procedures contained herein, authorize the construction or initiation of any use that is expressly permitted as a Conditional Use in a particular zoning district; however, the county reserves full authority to deny any request for Conditional Use, to impose conditions on the use, or to revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.

Section 18.11.4 *Standards for approval*. A Conditional Use may be approved by the Planning Commission only upon determination that the application and evidence presented clearly indicate that all of the following standards have been met:

- (a) The proposed use shall be in harmony with the general purpose, goals, objectives and standards of the Baldwin County Master Plan, these ordinances, or any other official plan, program, map or ordinance of Baldwin County.**

The Baldwin County Master Plan – 2013 indicates a future land use designation of Commercial for the subject property. This category provides for retail and wholesale trade facilities which offer convenience and other types of goods and services. Institutional uses, recreational uses, mixed-use developments and transportation, communication and utility uses may be included in accordance with the Zoning Ordinance. Multiple family developments may also be included. Commercial uses should be located on major streets so as to be accessible to the residential population. Zoning designations may include RR, B-1, B-2, B-3, B-4, LB, RV-1, RV-2, MR and TR.

The proposed use conforms to the Master Plan.

**(b) The proposed use shall be consistent with the community welfare and not detract from the public's convenience at the specific location.**

The applicant proposes to develop the site with a wine shop, offices and a drive thru coffee shop. The wine shop is relocating from the corner of State Highway 181 and County Road 64. The area has seen significant residential growth since zoning was implemented in 2006. As a result, there is an increased demand for commercial development to serve the residents of the area. The surrounding properties are residential, commercial and agricultural.

**(c) The proposed use shall not unduly decrease the value of neighboring property.**

The proposed drive thru coffee shop should not unduly decrease the value of neighboring property.

**(d) The use shall be compatible with the surrounding area and not impose an excessive burden or have substantial negative impact on surrounding or adjacent uses or on community facilities or services.**

Staff knows of no excessive burdens or negative impacts which would result from approval of this conditional use application.

Section 18.11.5 *Conditions and restrictions on approval.* In approving a Conditional Use, the Planning Commission may impose conditions and restrictions upon the property benefited by the Conditional Use approval as may be necessary to comply with the standards set out above, to reduce or minimize any potentially injurious effect of such conditional use upon the property in the neighborhood, and to carry out the general purpose and intent of the ordinances. In approving any Conditional Use, the Planning Commission may specify the period of time for which such approval is valid for the commencement of the proposed Conditional Use. The Planning Commission may, upon written request, grant extensions to such time allotments not exceeding 6 months each without written notice or hearing. Failure to comply with any such condition or restriction imposed by the Planning Commission shall constitute a violation of these ordinances. Those Conditional Uses which the Planning Commission approves subject to conditions shall have specified by the Planning Commission the time allotted to satisfy such conditions.

### Staff Comments and Recommendation

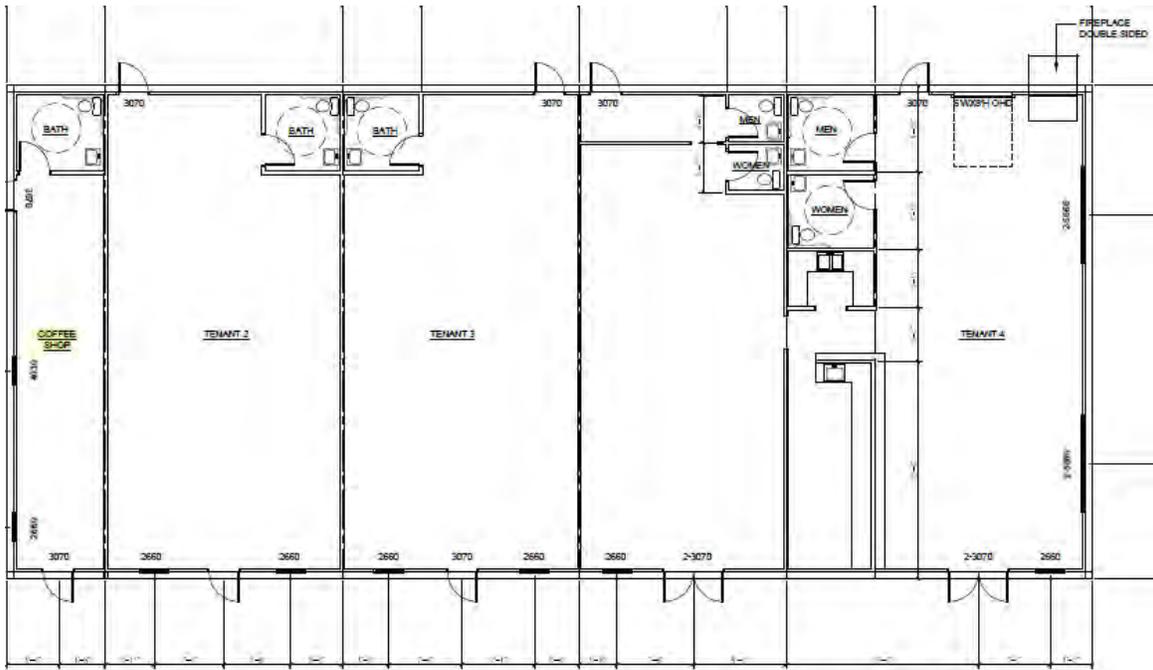
Staff recommends that Case P-21008 be **APPROVED**, subject to the following conditions:

- ❖ Approval is contingent on the approval of variances from the required number of parking spaces and the reduced size of the loading/unloading space.
- ❖ Approval shall be for this location only.
- ❖ Hours of operation are limited to 6:00am to 1:00pm.
- ❖ The Applicant will be required to submit a subsequent land-use certificate application to the planning and zoning department, which must include a site plan that substantially conforms with the site plan that is part of this approval and meets all the requirements of the Zoning Ordinance, including landscape buffer requirements, setbacks, parking requirements, etc.
- ❖ A land use certificate shall be obtained within six (6) months from the date of approval.
- ❖ Any major changes and/or additions shall result in further review and approval by the Planning Commission.

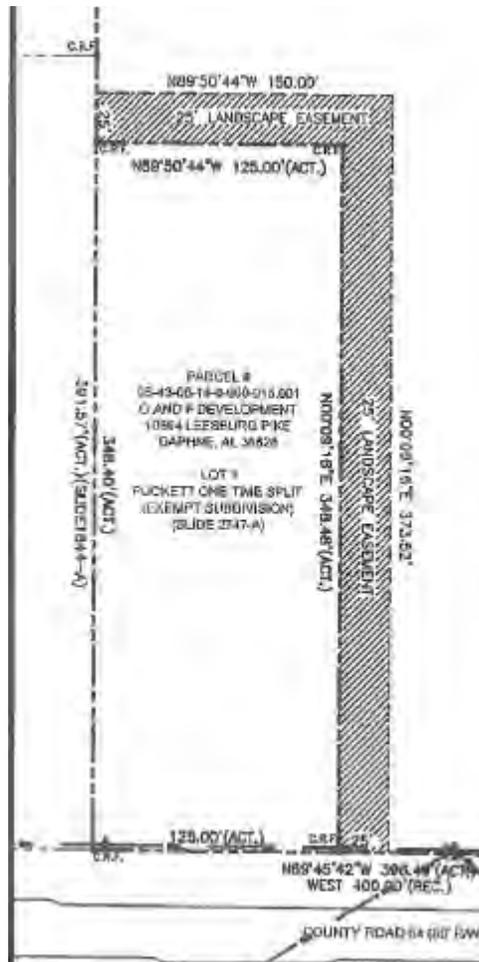
*\*On Conditional Use applications, the Planning Commission makes the final decision.*



# Preliminary Floor Plan and Landscaped Buffer Easement



FLOOR PLAN- CONCEPT 2  
SCALE 1/8"=1'-0"

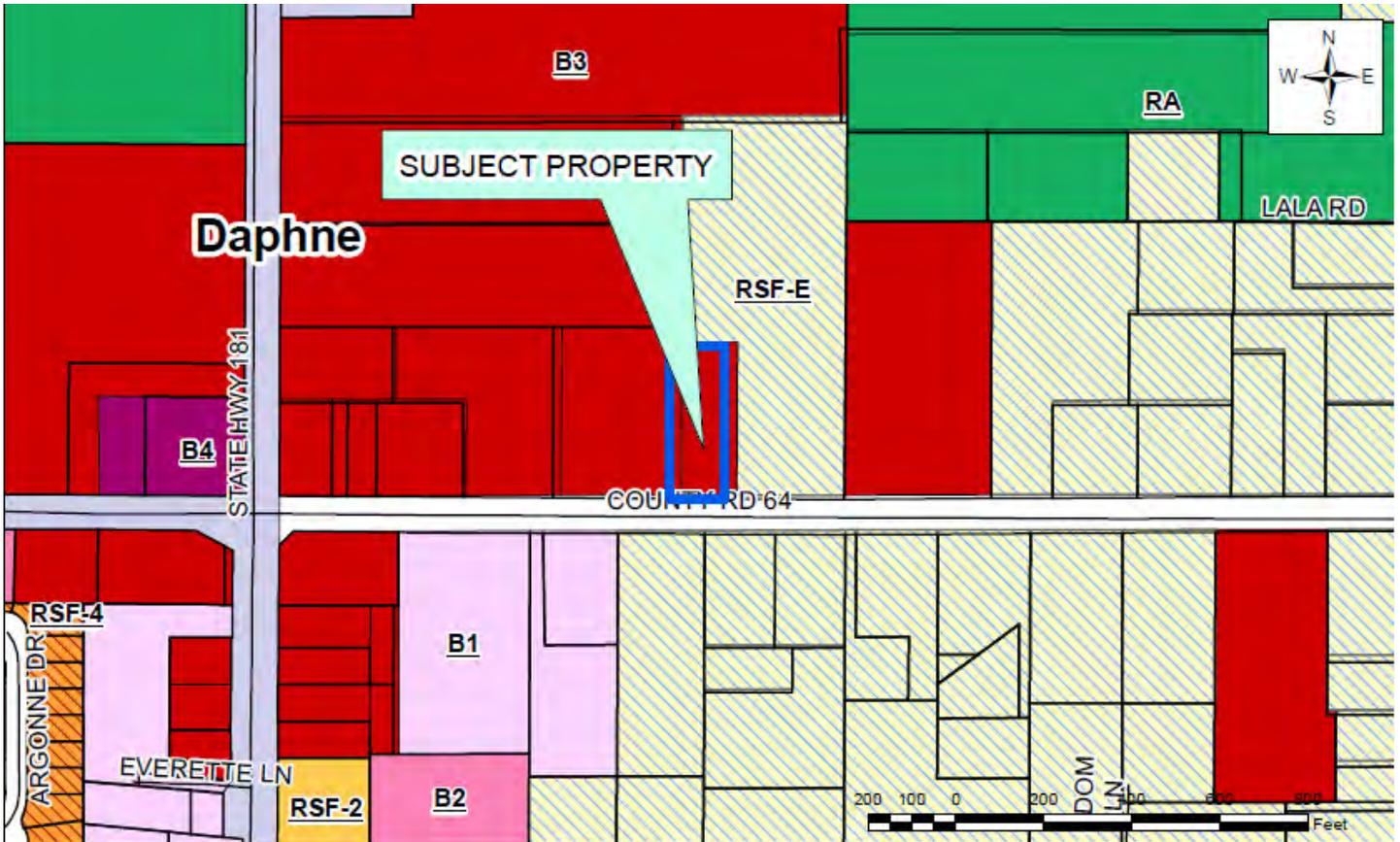


Property Images





### Locator Map



### Site Map





# Baldwin County Planning & Zoning Department

## Baldwin County Planning Commission Staff Report

### Agenda Item 7.c

Case No. TA-21002

### Amendments to the *Baldwin County Zoning Ordinance*

Article 3, 4, 5, 6, 7, 8, 10, 12, 13, 18, 19, 21, 22, and 23

Site Plan Approval and Removal of Section 19.17

September 2, 2021

### Agenda Item 8.b

## Proposed Amendment Information

**General Information:** Amendments to Article 3, 4, 5, 6, 7, 8, 10, 12, 13, 18, 19, 21, 22, and 23 of the *Baldwin County Zoning Ordinance*, pertaining to Site Plan Approval.

**Lead Staff:** Matthew Brown, Interim Planning Director

**Attachments:** Text of Proposed Amendments

## Summary and Recommendation

### I. DISCUSSION:

#### Planning Commission Site Plan Approval

The purpose of Commission site plan approval is to allow the proper integration of uses into a community and zoning district. The Commission site plan approval process recognizes that certain uses, though technically permitted by zoning, are only suitable under certain conditions and at appropriate locations. Certain uses require special consideration so that the use may be properly located with respect to the objectives of this chapter and their effect on surrounding properties.

A Commission site plan approval must be heard by the Planning Commission. The Planning Commission, after a public hearing, will make the final decision to approve or deny the application. The Planning Commission shall have the authority to impose such reasonable conditions and restrictions as are directly related to and incidental to the proposed site plan approval. Upon its granting of the site plan approval, any such conditions must be met in connection with the issuance of County permits. These conditions may include but are not limited to increasing the required lot size or yard dimensions; controlling the location and number of vehicle access points; increasing the number of off-street parking and loading spaces required; limiting the number, size and location of signs; and required fencing, screening, lighting, landscaping or other facilities to protect adjacent or nearby property.

The following uses are subject to the Commission site plan approval:

- (a) All multiple unit developments.
- (b) Non-residential projects involving a combined total building square footage of 5,000 square feet or more;
- (c) Non-residential development within 200 feet of property that is either zoned or used as residential;
- (d) Non-residential development where more than 30% of the lot (excluding the building) is impervious;
- (e) All changes to existing structures, other than single family residences, that increase the gross floor area by thirty percent (30%) or more;
- (f) All changes of use on non-residential properties, unless proposed use would be permitted with an administrative approval.

The Planning Commission review of an application for site plan approval shall include, but is not limited to, the following considerations:

1. The proposed use shall comply with all applicable regulations of the Zoning Ordinance or Subdivision Regulations or other applicable regulations.
2. The physical characteristics, topography and other features of the lot and the scale and physical design and other features of any new or existing buildings to be occupied by the use are suitable and adaptable for the proposed use without any modifications which would change the established character of the street or neighborhood setting.
3. The nature and intensity of operations of the use will not be objectionable to surrounding properties.
4. The use is not in such proximity to a religious facility, school, community center, recreation place, or other prominent place of community activity and public assembly so as to regularly conflict with such other activity and thereby constitute a danger to health, safety or general welfare.
5. The use will not unreasonably increase or introduce traffic congestion or safety hazards or impose traffic volumes on streets and street patterns which are deficient in width, design, sight distance, intersection configuration, or other typical standards necessary to accommodate such traffic changes. Adequate measures shall be taken to provide ingress and egress designed to minimize traffic congestion.
6. Adequate utilities exist or will be extended to adequately serve the site.
7. The use makes adequate provision for off-street parking in accordance with these regulations.
8. The use and the proposed design of building and other structure and site facilities for the use are appropriate in the proposed location and have incorporated reasonable efforts to harmonize with surrounding uses and mitigate any adverse impacts on surrounding uses, including but not limited to traffic congestion and hazards, untimely scheduling of activities, removal of trees and other established natural features, and excessive stormwater runoff, noise, nuisance, odors, glare or vibration.
9. The cumulative impacts of the use in the proposed location will not unreasonably interfere with or diminish the continued use, preservation, stability, value, enjoyment, prosperity or growth of the neighborhood or community.

10. The effect of the proposed use on the other properties in the community and the enjoyment by the inhabitants of their properties, and whether it will materially affect the value of such properties and the use and enjoyment of such properties by the occupants and any other effect of such use on the health, welfare and safety of the occupants of such properties.

11. The use will not conflict in any way with the Master Plan.

## **II. Overview of Changes:**

- Change the term “Land Use Certificate” to “Site Plan Approval”
- Create a Commission Site Plan Approval that would Replace All Conditional Uses and include some other categories.
- All other site plan approvals required by the zoning ordinance will be processed administratively.
- Special Exception categories would all be moved to the Commission Site Plan Approval.
- Removal of Section 19.17 Agricultural Land

## **III. RECOMMENDATION:**

Staff recommends **APPROVAL** of Case TA-21002. \*

*\*On text amendments to the zoning ordinance, the Planning Commission will make a recommendation to the County Commission.*

**PROPOSED AMENDMENTS : See attachment**

Baldwin County Planning and Zoning Commission  
Case No. S-19038 – Deep South Boat Storage & RV Park  
Final Site Plan Approval Extension Request  
Staff Report for Planning and Zoning Commission Public Hearing  
**September 2, 2021**  
Agenda Item 9.a

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This report is prepared by the Baldwin County Planning and Zoning Department Subdivision Staff to provide information to the Baldwin County Planning and Zoning Commission to assist in making decisions on this application.

**I. PUBLIC HEARINGS:**

<b>Planning Commission:</b>	September 2, 2021	Final Site Plan Approval Extension request
	September 5, 2019	Final Site Plan Approval
	August 1, 2019	Final Site Plan Approval (tabled)

<b>Attachments:</b>	Vicinity Map
	Site Map
	Previously Approved Final Site Plan
	Extension Request Letter

**II. IDENTIFICATION AND LOCATIONAL INFORMATION:**

<b>Planning District:</b>	District 27 – Unzoned
<b>Location of Property:</b>	The subject property is on the south side of County Road 12 South approximately 0.40 miles west of State Highway 59.
<b>Parcel Number:</b>	05-61-04-17-1-001-006.000
<b>Report Prepared By:</b>	J. Buford King, Development Review Planner

**III. SUBDIVISION PROPOSAL:**

<b>Proposed number of Sites:</b>	70
<b>Linear Feet of Streets:</b>	± 3,418 linear feet
<b>Total Acreage:</b>	± 10.25 acres
<b>Smallest Site Size:</b>	± 2,075 square feet
<b>Owner/Developer:</b>	Pridmore Rentals, LLC PO Box 1372 Columbus, MS 39703
<b>Engineer:</b>	Goodwyn, Mills and Cawood, Inc. PO Box 1127 Daphne, AL 36526

**Request:** The applicant is requesting a two-year extension of the Final Site Plan approval for the above-mentioned RV park from the Baldwin County Planning and Zoning Commission.

**IV. PUBLIC UTILITIES AND SITE CONSIDERATIONS:**

**Public Utilities Services:** Water: Riviera Utilities  
Sewer: Baldwin County Sewer Service  
Electricity: Baldwin EMC

**Transportation:** The proposed sites will utilize new gravel private roadways with direct access to County Road 12 South.

**V. STAFF COMMENTS:**

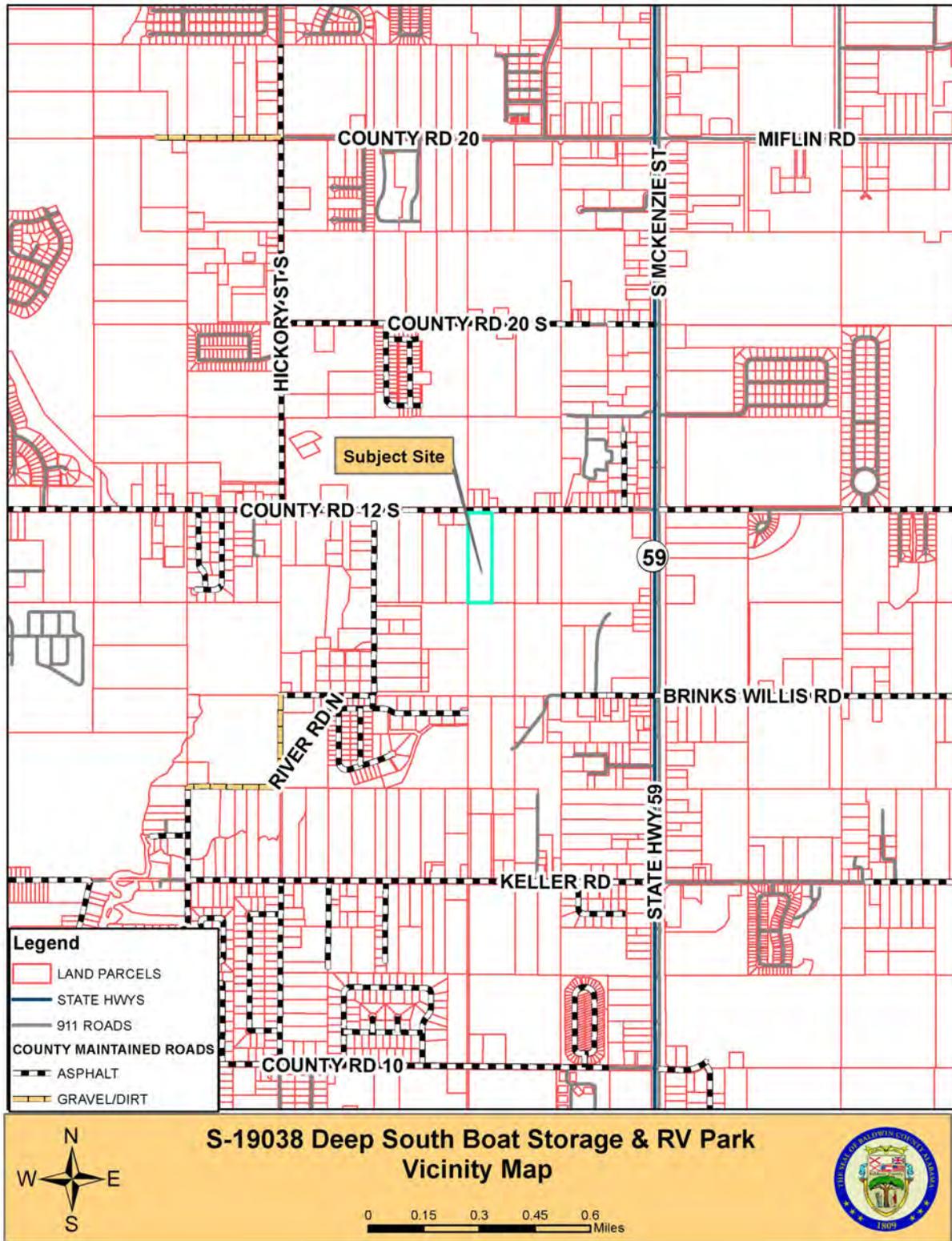
- All items of the Final Site Plan met the requirements of the circa 2019 subdivision regulations as indicated in the staff report dated September 5, 2021
- The applicant cites COVID, Hurricane Sally and the shortage of building materials as the reasons the development cannot be completed by September 5, 2021.
- Article 9, section 5.3 of the *Baldwin County Subdivision Regulations* states the following regarding Final Site Plan Approval effective periods and extensions:
  - Final Site Plan approval shall be effective for a period of two (2) years. A Development Permit (for typical subdivisions) or a building permit (for non-typical subdivisions, i.e. condominiums, apartments, etc.) for the first phase shall be submitted within this two (2) year period. Each successive phase must be submitted within two (2) years of the approval of the previous phase.
  - The developer shall have thirty (30) calendar days from the date of expiration to file for a one (1) year extension. If no extension is requested the Final Site Plan approval is automatically revoked. **A maximum of two (2) - one (1) year extensions may be granted.** If an extension is granted the proposed development **must conform to the Subdivision Regulations in place at the time** when the extension is granted. Extensions may be granted only upon a demonstration to the satisfaction of the Baldwin County Planning and Zoning Commission, that the need for extension results from an event that the developer could not have anticipated and controlled, which event or effect makes the commencement or continuation impossible or impracticable.

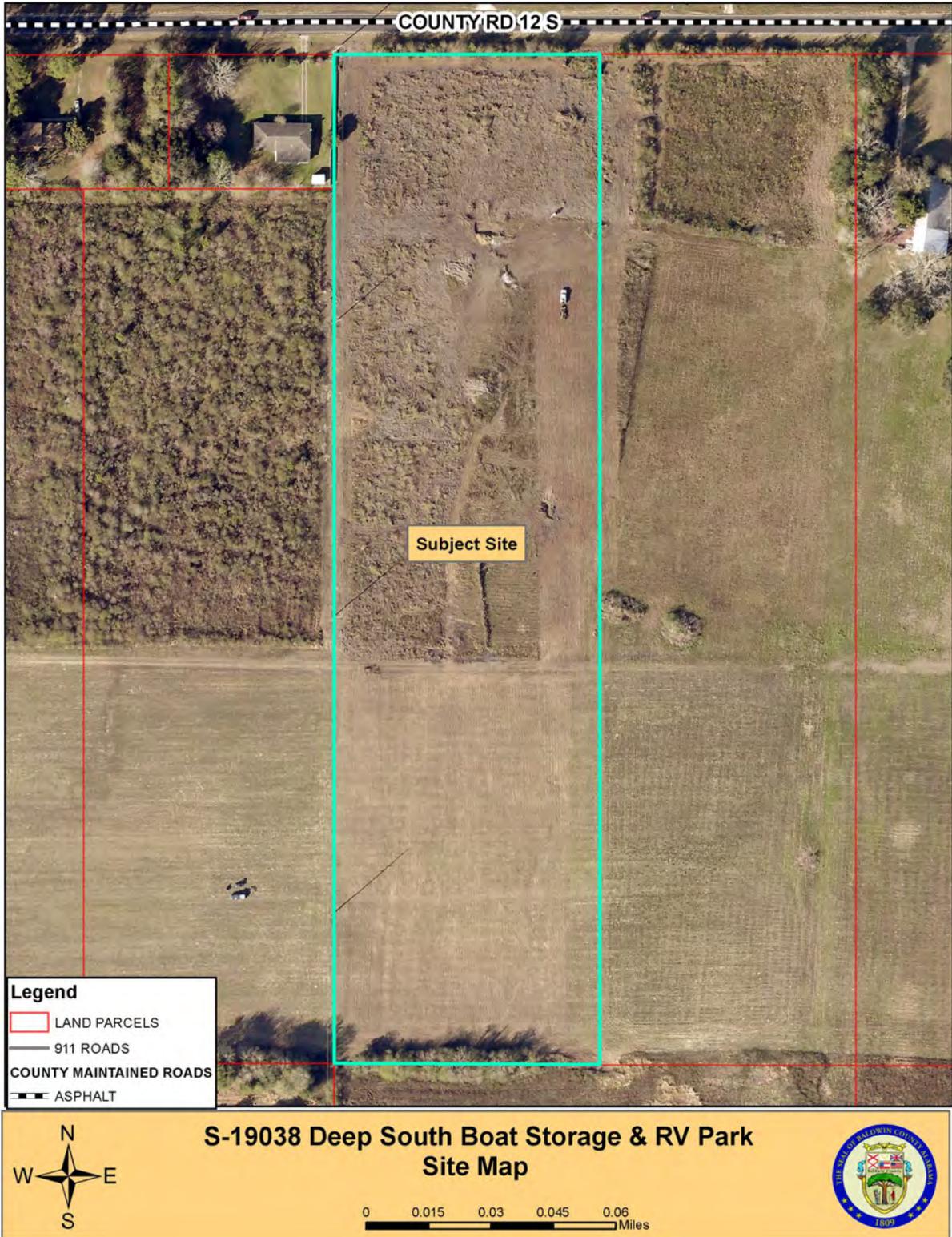
**VI. RECOMMENDATIONS:**

Staff recommends that a one (1) year extension of the Final Site Plan for Case No. S-19038, Deep South Boat Storage & RV Park be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations with the following contingencies:

1. The development shall conform to the Baldwin County Subdivision Regulations in effect at the time when the extension is granted as contemplated by Article § 9.5.3.
  - a. The Baldwin County Subdivision Regulations in effect at the time of this extension consideration were adopted by the Baldwin County Commission on October 6, 2020

- b. Staff has not performed an exhaustive cross-comparison of the 2019 vs. 2020 subdivision regulations to determine if any alterations to the approved Final Site Plan are required to comply with the 2020 Baldwin County Subdivision Regulations.







19546 County Rd  
Foley, Al 36535  
251-9RV-PARK

[deepsouthstorageandpark@outlook.com](mailto:deepsouthstorageandpark@outlook.com)

July 22, 2021

Subdivision Permit  
Deep South Boat Storage and RV Park  
Case# S-19038  
Developer: Pridmore Rentals, LLC  
Expiration date: September 5, 2021

To whom it may concern:

Please accept this letter as a request for a time extension on Case # S-19038 for the construction of Deep South Boat Storage and RV Park, located on County Road 12. We have completed phase one of our construction. Due to Covid, Hurricane Sally and the shortage of building materials, we are unable to complete the project by September 5, 2021. We would like to request a two-year extension on our construction permit for the RV park.

Thank you for your consideration on this matter. We look forward to your positive response.

Sincerely,  
Joey and Jennifer Pridmore  
662-891-8483

