



Baldwin County Planning & Zoning Commission Agenda

Thursday, May 7, 2026

4:00 p.m.

Baldwin County Central Annex

Main Auditorium

22251 Palmer Street

Robertsdale, Alabama

[Email:planning@baldwincountyal.gov](mailto:planning@baldwincountyal.gov)

1. **Call to order**
2. **Invocation**
3. **Pledge of Allegiance**
4. **Roll call**
5. **Approval of Agenda**
6. **Approval of meeting minutes**

April 2, 2026, Agenda Review Meeting Minutes

April 2, 2026, Regular Meeting Minutes

7. Proposed Consent Agenda Items

Staff proposes that the Planning Commission place the following cases on the Consent Agenda as they are noncontroversial and do not require a Public Hearing.

a.) HCA26-01, Clausen Carport Highway Construction Setback Appeal

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting an appeal to allow a carport to be built in the required highway construction setback.

Location: Subject property is located on the corner of Main St and Charbon Dr in the Montrose community in Planning District 16.

8. Old Business

None.

9. Public Hearings

Public Hearing Guidelines: *Please register at the booth in the lobby if you would like to address the Planning Commission concerning a case within the Public Hearing portion of the agenda. Public comments should only be made during the public hearing portion of the meeting. Comments should be directed to the Planning Commission Chairman. Comments should be focused on the application being presented. Comments from individuals should be limited to 3 minutes; groups are asked to select a spokesperson to speak on behalf of the group with comments limited to 5 minutes.*

a.) PUD26-01, Oak Ridge RV Park Phase 2

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Planned Unit Development approval for a 35 unit RV Park.

Location: Subject property is located on the east side of Hwy 287 (Rabun Rd) and north of Louis Cooper Rd in Planning District 5.

b.) PUD26-02 / SV26-04, Stanley Storage Subdivision & Variance

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

- Purpose: The applicant is requesting Planned Unit Development approval for five (5) storage buildings and a Variance from the Baldwin County Subdivision Regulations regarding the landscape buffer and usable open space requirements.
- Location: Subject property is located east of County Rd 11 and southeast of Monk Rd in Planning District 17.

c.) SC26-09, Bella Casa Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

- Purpose: The applicant is requesting Preliminary Plat approval for a 5-lot residential subdivision.
- Location: Subject property is located north of Interstate 65 and west of Rabun Rd in Planning District 2.

d.) SC26-10, Maytower Estates Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

- Purpose: The applicant is requesting Preliminary Plat approval for an 8-lot residential subdivision.
- Location: Subject property is located north of Interstate 65 and west of Rabun Rd in Planning District 2.

e.) SC26-13, Cheval Farm Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

- Purpose: The applicant is requesting Preliminary Plat approval for a 9-lot residential subdivision.
- Location: Subject property is located on the east side of County Rd 48 and west of County Rd 65 in the Robertsdale area in Planning District 18.

f.) SC26-14, Replat Lot 27 Ranches of Creekside Preserve Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 4-lot residential subdivision.

Location: Subject property is located north of Interstate 65 and northwest of Rabun Rd in Planning District 2.

g.) SPP25-32, Baywood of Point Clear Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 21-lot residential subdivision.

Location: Subject property is located north of County Rd 34 and west of County Rd 13 in Planning District 8.

h.) SPP26-01, Orchard at Horseneck Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 3-lot residential subdivision.

Location: Subject property is located southeast of US Hwy 98 and northeast of County Rd 112, off Horseneck Rd in Planning District 5.

i.) SPP26-05, JWG Estates Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b),
Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 3-lot residential subdivision.

Location: Subject property is located north of Underwood Rd and west of Daugherty Rd in Planning District 18.

j.) SRP26-04, Determann Place Subdivision

*Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b),
Planning Commission By-Laws*

Purpose: The applicant is requesting to remove the lot line between two existing lots of record located within two separate subdivisions.

Location: Subject property is located on North Winding Brook Dr in the Montrose community in Planning District 16.

k.) SRP26-07/SV26-07, Replat Lots 1 & 8 Lillian Estates Subdivision & Variance

*Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b),
Planning Commission By-Laws*

Purpose: The applicant is requesting Revised Preliminary Plat approval for a 2-lot residential subdivision and a Variance from the Baldwin County Subdivision Regulations regarding the length of the flag portion of a lot.

Location: Subject properties are located on the west side of County Road 91, north of US Hwy 98 in Planning District 22.

l.) SV26-03, Woodmont Ph 2 Lot 120 Variance

*Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b),
Planning Commission By-Laws*

Purpose: The applicant is requesting a Variance from the Baldwin County Subdivision Regulations regarding the front building setback requirements.

Location: Subject property is located on the east side of Troon Dr in Planning District 18.

m.) SV26-06, Robert Wells Variance

*Disclosure of Prior Outside Communication –Pursuant to Article VI, Section 15(b),
Planning Commission By-Laws*

Purpose: The applicant is requesting a Variance from the Baldwin County Subdivision Regulations regarding the width of the flag portion of the lot.

Location: Subject properties are located on the east side of County Rd 138 in Planning District 4.

10. Commission Site Plan Reviews

a.) CSP26-09, Lickin Good Donut Shop & Retail Space

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Commission Site Plan approval for a 5,070 sq ft commercial building with 2 units.

Location: Subject property is located east of St Hwy 181 and south of St Hwy 104 in Planning District 37.

b.) CSP26-10, New Cell Tower

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Commission Site Plan approval for a 250' self-support tower.

Location: Subject property is located at the end of John Oliver Rd and west of Whitehouse Fork Rd in Bay Minette in Planning District 4.

c.) CSP26-11, Dental Office

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Commission Site Plan approval for a 5,070 sq ft dental office.

Location: Subject property is located west of US Hwy 98 and north of Graham St in the Montrose community in Planning District 16.

11. Other Business

None.

12. Public Comments

13. Planning Commissioner Comments

14. Director's Report

a.) Update on ongoing projects

b.) Summary of rezoning actions by the County Commission

c.) Summary of permits issued to date with trend from previous years

d.) Questions/Comments

15. Adjourn Regular Meeting

Next Regular Meeting: **June 4, 2026**



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. HCA26-01 (HCA26-000001)
Clausen Carport Highway Construction Setback Appeal
May 7, 2026

Subject Property Information

Planning District: 16
General Location: Montrose near SeaCliff Drive
Physical Address: 7216 Charbon Drive Fairhope, AL 36532
Parcel Numbers: 05-46-03-07-0-000-027.000
PIN: 28978
Zoning: RSF-2
Applicant: Austin Twilley, Twilley Construction, 7216 Charbon Drive Fairhope, AL 36532
Lead Staff: Elizabeth Wilson, Planning Technician
Recommendation: **Approval**

SUMMARY

The request is to build a covered carport over an existing concrete slab. The proposed carport will be 24ft x 24ft with support poles and a covered roof. The structure will meet all other setbacks and zoning requirements. The proposed building will be 53ft off the centerline of Scenic 98 at its closest point. The location has a walkout basement on the interior side yard that accesses the house via a set of stairs. The current owners utilize a parking area on the Main Street side of the house that does not require stairs to enter the house. The request is to add a covered pole barn structure to cover the existing paved area. The entire side yard is within the Highway Construction Setback. Due to the grade of the lot, the proposed location is the only location to place the covered parking area.

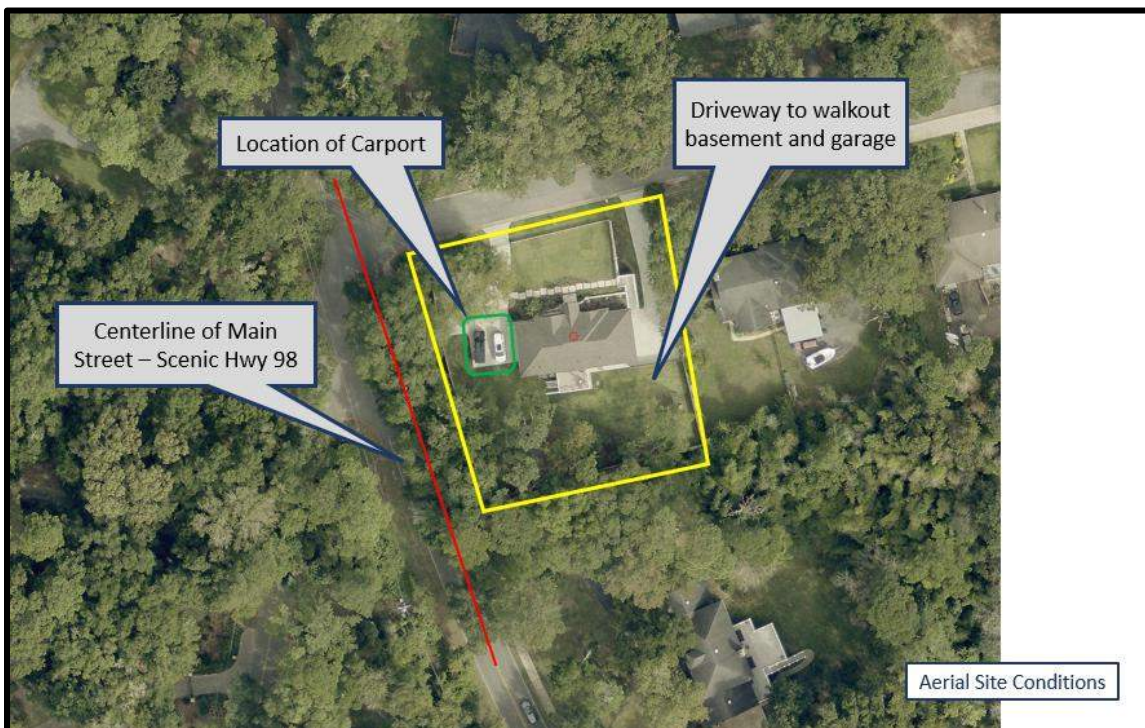
Scenic Highway 98 is classified as a major collector with a 75ft setback. The request is for a 53ft setback.

The highway department reviewed the request and has no objections.

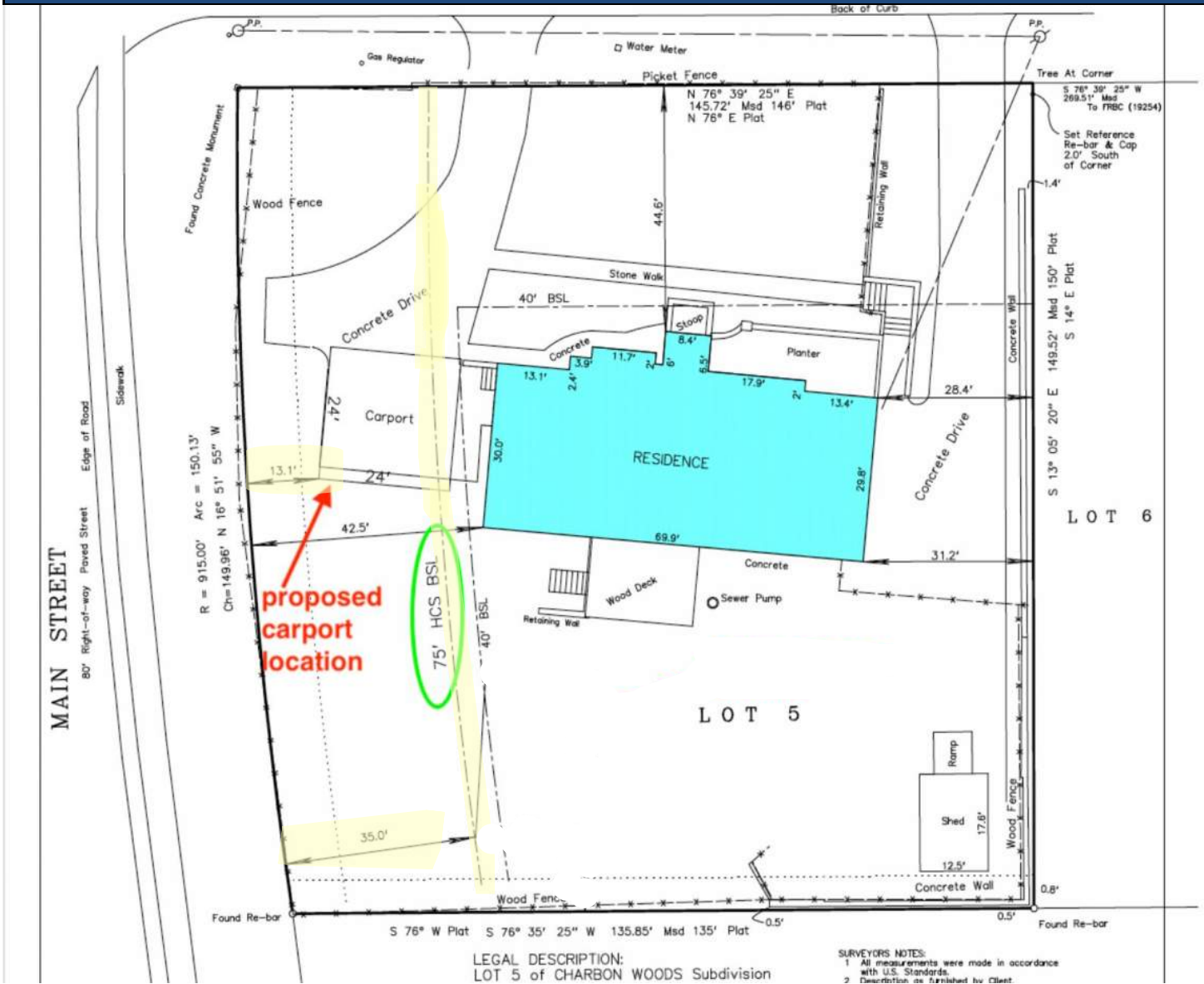
Locator Map



Aerial Site Conditions



Proposed Site Plan



Staff Comments and Recommendation

The applicant has requested a variance from the Highway Construction Setback. The standard setback is 75ft and the applicant is requesting a 53ft setback. The highway department reviewed the request and has no objections.

Unless information to the contrary is revealed at the public hearing, staff feels this variance request should be recommended for **APPROVAL**.



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. PUD26-01
Oak Ridge RV Park Ph 2
May 7, 2026

Subject Property Information

Planning District: 5
Zoning: Unzoned
Location: Subject property is located on the east side of Hwy 287 (Rabun Rd), north of Louis Cooper Rd. It is north of Bay Minette.
Parcel Numbers: 05-18-05-22-0-000-009.000 **PIN:** 37470
Lead Staff: Fabia Waters, Associate Planner
Applicant/Owner: Oak Ridge RV Park LLC
Engineer/Surveyor: Chris Lieb, PE, Lieb Engineering
Online Case #: When searching online CitizenServe database, please use PUD26-000001
Attachments: *Within Report*

Subdivision Proposal

Request: Final Site Plan approval for Oak Ridge RV Park Ph 2
Number of units: 35
Linear ft of streets: 1,637 of privately maintained streets, that will not be accepted by Baldwin County for maintenance.
Lot setbacks: 30' setback along the perimeter of the exterior property lines. A minimum separation between RV's is required
Total acreage: 19.20 ac
Smallest lot size: 2,128 sf (The RV sites must be a minimum of 1,600 sf)
Open space: 20% Total required: 3.84 ac
Total provided: 8.14ac (40%)
Total usable (50% of required): 4.56ac

Public Utilities and Site Considerations

Public Utilities: Water & Sewer: North Baldwin Utilities, Letter dated: March 5, 2026
Electrical: Baldwin EMC, Letter dated August 19, 2025
Fire flow: Adequate fire flows were reflected, with appropriate setback separation of at least 10' between RV's
Traffic study: A revised traffic study was prepared by Shane Bergin, PE, Neel Schaffer. It was reviewed by the Planning and Zoning Permit Engineer, no traffic improvements were warranted.
Flood zone: x zone, no special requirements

Drainage improve.: Drainage narrative prepared by Chris Lieb,P.E., Lieb Engineering It was reviewed and accepted by the P&Z Permit Engineer.

Wetlands A wetland delineation prepared by J.J. McCool, *Wildlife Solutions, Inc* was provided to staff for review with the original approval of PUD23-06 Oak Ridge RV Park Ph1, a non-jurisdictional wetland area is reflected with a 5’ natural Buffer.

Staff Analysis and Comments

The applicant is requesting a final site plan approval for Oak Ridge Ph 2, the new phase will consist of 35 units that will be connected to public utilities.

Staff Recommendation:

Staff recommend that the PLANNED UNIT DEVELOPMENT for Case No. **PUD26-01 Oak Ridge RV Park Ph 2** be **Approved with conditions** subject to compliance with the Baldwin County Subdivision Regulations

Specific conditions:

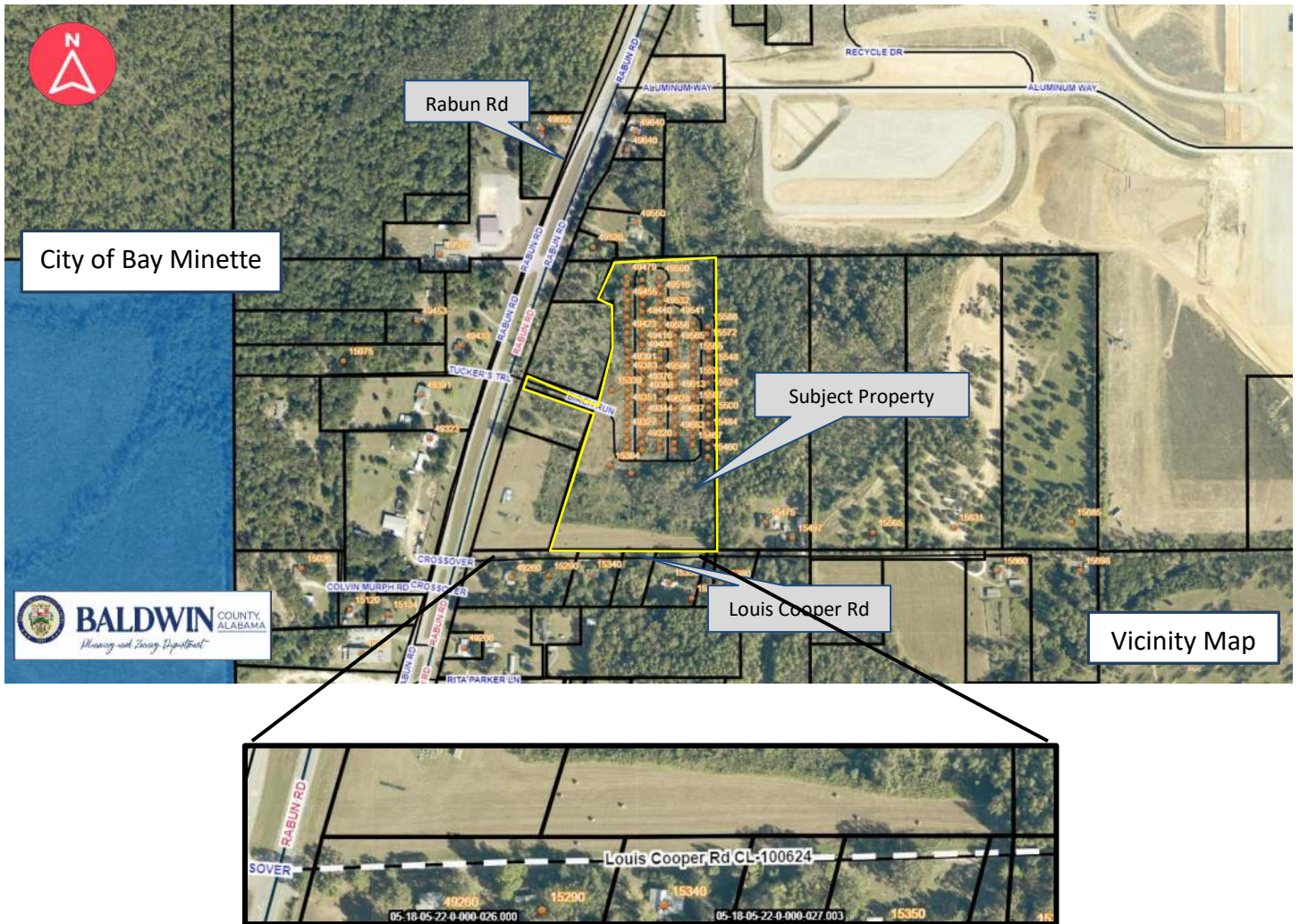
1. An as-built site plan shall be recorded upon completion of all site improvements and buildings, within the effective period of approval.
2. The applicant shall coordinate with the Baldwin County Highway Department regarding any required roadway improvements within the right-of-way and the pavement width along Louis Cooper Road.
3. Revise the landscaping plan submitted for review to reflect a 10’ landscaping buffer along the perimeter of the whole development, including Ph 1.

General Conditions:

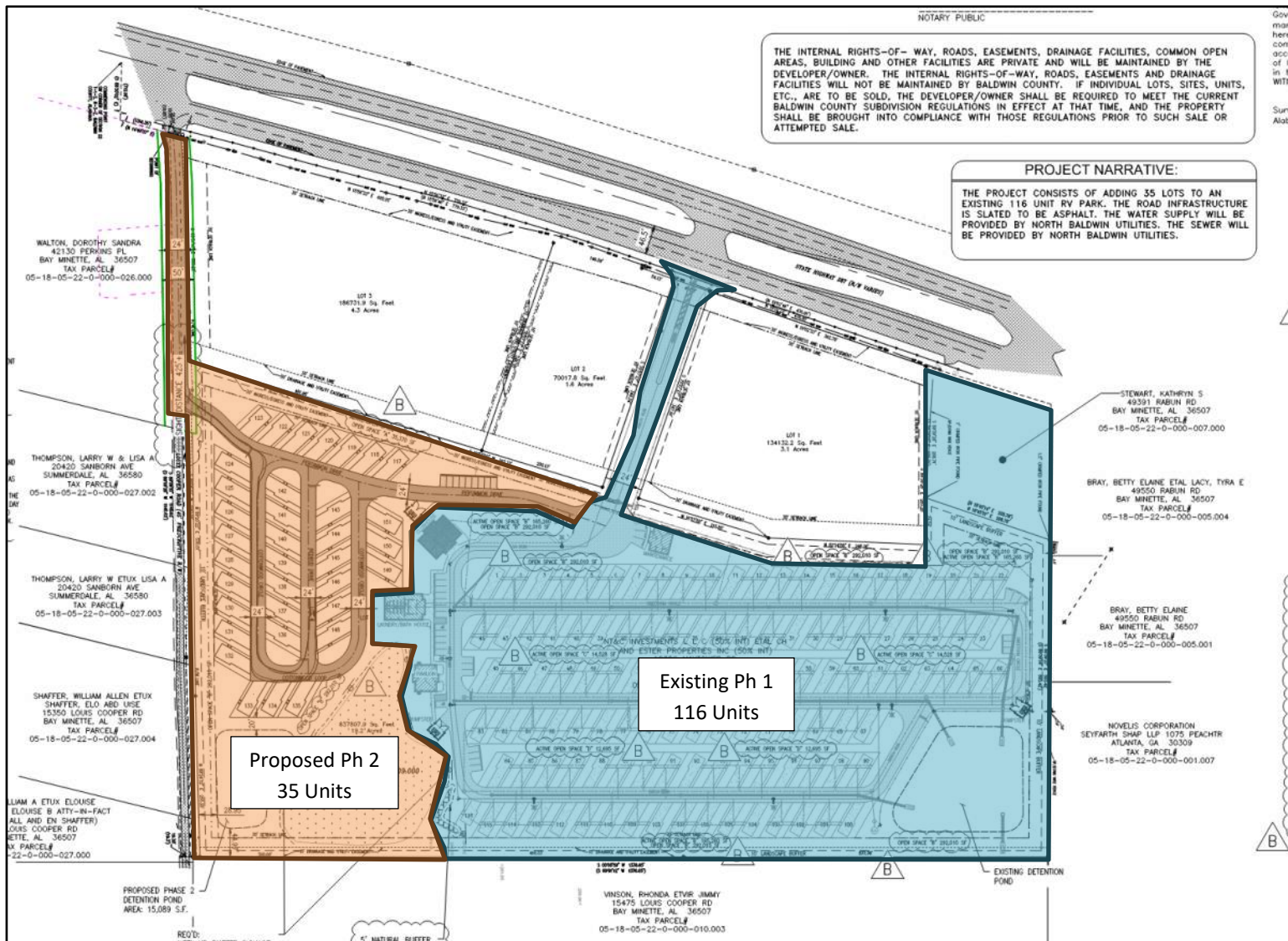
1. Compliance with the Baldwin County Subdivision Regulations, including but not limited to submission of a Construction Plan Review and Commercial Turnout Permit to the Baldwin County Planning and Zoning Department for all improvements and system upgrades (including, but not limited to, water main, sewer, and traffic improvements) to be installed with the development.
2. As required by Sections 4.5.6 and 4.5.7, any and all local, state, and federal permits shall be submitted to the County Engineer and Planning and Zoning staff as a component of the construction plans submittal.
3. Effective period is 2 years from approval of Planned Unit Development Site Plan.

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps



Site Plan



PHASE II SITE PLAN DATA:

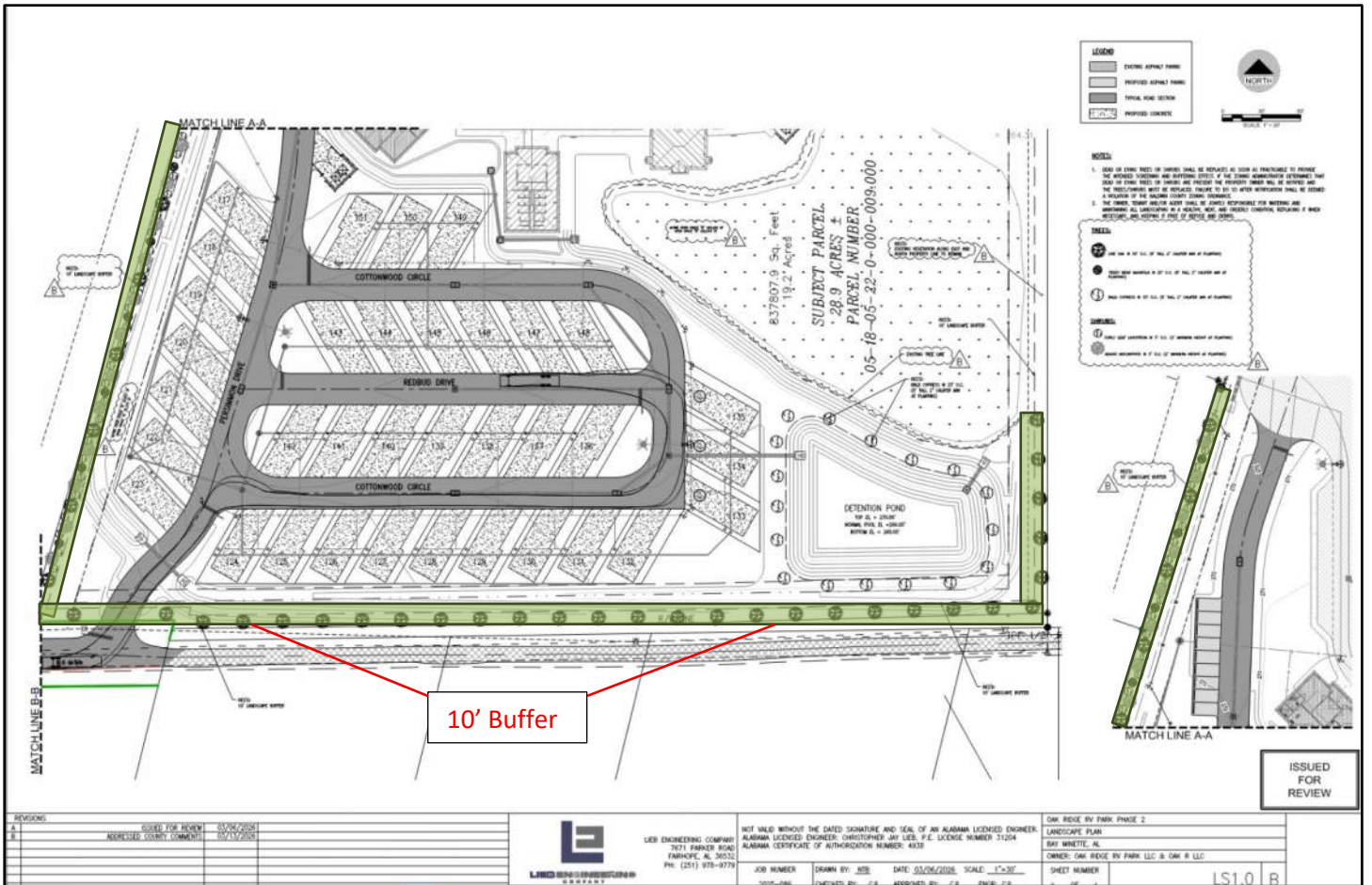
UNIT SIZE:	19.20 AC.±
PARCEL ID:	05-18-05-22-0-000-009.000
USE:	RV PARK
SMALLEST SPACE SIZE:	2,128 S.F.
PROPOSED NUMBER OF HOOKUPS:	35
PARKING SPACES:	44
LINEAR FEET OF PRIVATE ROADS:	1,637 L.F.
PROPOSED IMPERVIOUS AREA:	85,776 S.F.
DENSITY:	151 HOOKUPS/ACRE=7.86
OPEN SPACE:	354,604 S.F. (42.36%)
USABLE OPEN SPACE:	198,896 S.F. (23.76%)
COUNTY:	BALDWIN
CITY & STATE:	BAY MINETTE, AL
STREET:	STATE HIGHWAY 287
ZONING:	NONE
PLANNING DISTRICT:	5
OPEN SPACE:	11.79 AC/61.41%
FRONT SETBACK:	30'
REAR SETBACK:	30'
SIDE SETBACK:	30'

UTILITY PROVIDERS

WATER:	NORTH BALDWIN UTILITIES
POWER:	BALDWIN EMC
GAS:	NORTH BALDWIN UTILITIES
SEWER:	NORTH BALDWIN UTILITIES
INTERNET:	AT&T

THE INTERNAL RIGHTS-OF-WAY, ROADS, EASEMENTS, DRAINAGE FACILITIES, COMMON OPEN AREAS, BUILDING AND OTHER FACILITIES ARE PRIVATE AND WILL BE MAINTAINED BY THE DEVELOPER/OWNER. THE INTERNAL RIGHTS-OF-WAY, ROADS, EASEMENTS AND DRAINAGE FACILITIES WILL NOT BE MAINTAINED BY BALDWIN COUNTY. IF INDIVIDUAL LOTS, SITES, UNITS, ETC., ARE TO BE SOLD, THE DEVELOPER/OWNER SHALL BE REQUIRED TO MEET THE CURRENT BALDWIN COUNTY SUBDIVISION REGULATIONS IN EFFECT AT THAT TIME, AND THE PROPERTY SHALL BE BROUGHT INTO COMPLIANCE WITH THOSE REGULATIONS PRIOR TO SUCH SALE OR ATTEMPTED SALE.

Landscaping Plan



10' Buffer

ISSUED FOR REVIEW

REVISIONS A B	ISSUED FOR REVIEW 05/26/2024 ADDRESSED COUNTY COMMENT 05/17/2024	 LINER ENGINEERING COMPANY LINER ENGINEERING COMPANY 7071 PARKER ROAD FARMHOPE, AL 36531 PH: (205) 978-9779	NOT VALID WITHOUT THE DATED SIGNATURE AND SEAL OF AN ALABAMA LICENSED ENGINEER. ALABAMA LICENSED ENGINEER: CHRISTOPHER JAY LEE, P.E. LICENSE NUMBER 31204 ALABAMA CERTIFICATE OF AUTHORIZATION NUMBER: 4038 JOB NUMBER: _____ DRAWN BY: JSE DATE: 05/26/2024 SCALE: 1"=20' CHECKED BY: JLA APPROVED BY: CLR	OAK RIDGE BY PARK PHASE 2 LANDSCAPE PLAN DAY WHITE, AL OWNER: OAK RIDGE BY PARK LLC & OAK R LLC SHEET NUMBER: _____ OF _____ IS10 B
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NECESSARY, AND RELIES IN FULL ON RESUSE AND REPAIRS.

TREES:

- LIVE OAK ● 30' O.C. (8' TALL 2" CALIPER MIN AT PLANTING)
- TEDDY BEAR MAGNOLIA ● 20' O.C. (8' TALL 2" CALIPER MIN AT PLANTING)
- BALD CYPRESS ● 33' O.C. (8' TALL 2" CALIPER MIN AT PLANTING)

SHRUBS:

- CURLY LEAF LIGUSTRUM ● 3' O.C. (2' MINIMUM HEIGHT AT PLANTING)
- ADAGIO MISCANTHUS ● 3' O.C. (2' MINIMUM HEIGHT AT PLANTING)



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. PUD26-02 SV26-04
Stanley Storage Site Plan
May 7, 2026

Subject Property Information

Planning District: 17
Zoning: Unzoned
Location: Subject property is located east of County Rd 11 and southeast of Monk Rd.
Parcel Numbers: 05-56-02-09-2-001-004.002 PIN#: 371586
Lead Staff: Fabia Waters, Associate Planner
Applicant/Owner: Stanley Limber Products Inc.
Engineer/Surveyor: Tim Lawley, PE, Sawgrass Inc
Online Case #: When searching online CitizenServe database, please use PUD26-000002 & SV26-000004
Attachments: *Within Report*

Subdivision Proposal

Request: Final Site Plan approval for a Planned Unit Development for five (5) storage buildings, along with a subdivision variance from Article 6 related to the landscaping buffer and usable open space requirements.
Number of units: 5 building units (Four buildings are existing to the site)
Linear ft of streets: n/a
Lot setbacks: 30' front, 30' rear and 10' side.
Total acreage: 6.07ac
Smallest lot size: 3 acres
Open space: 20% Total required: 51,663 SF
Total provided: 53,388 SF
Total usable (50% of required) The applicant has submitted a subdivision variance request in lieu of providing the required usable open space for a commercial development.

Public Utilities and Site Considerations

Public Utilities: Water: No connection to public water is proposed
Electrical: Riviera Utilities, Letter dated March 10, 2026
Sewer: On-Site Septic Tanks
Fire flow: No connection to public water is proposed
Traffic study: Not applicable to this project.

Drainage improve.: Drainage narrative prepared by Tim Lawley, P.E. It was reviewed and accepted by the P&Z Permit Engineer.

Wetlands Potential wetlands were identified through the Baldwin County ISV. The applicant provided a wetland delineation prepared by Craig Martin, *Wetland Science Inc.* indicating that no wetlands are present on the subject property.

Staff Analysis and Comments

The applicant is requesting a final site plan approval for a commercial storage development consisting of four (4) existing buildings and one (1) proposed 100' x 40' building.

Staff Recommendation:

Staff recommend that the PLANNED UNIT DEVELOPMENT AND SUBDIVISION VARIANCE for Case No. **PUD26-02 & SV26-04 Stanley Storage** be **Approved with conditions** subject to compliance with the Baldwin County Subdivision Regulations

Specific conditions:

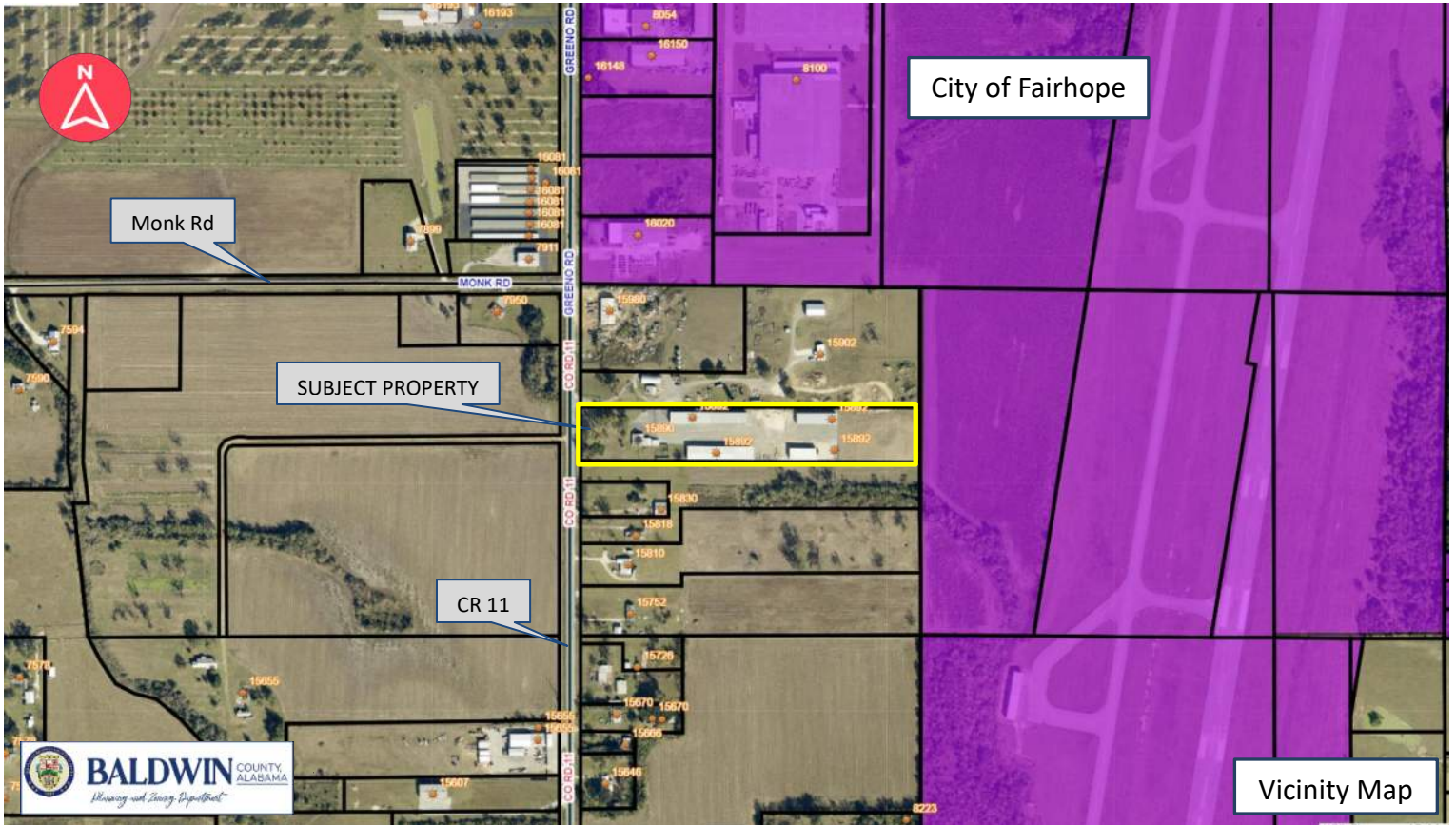
1. An as-built site plan shall be recorded upon completion of all site improvements and buildings, within the effective period of approval.

General Conditions:

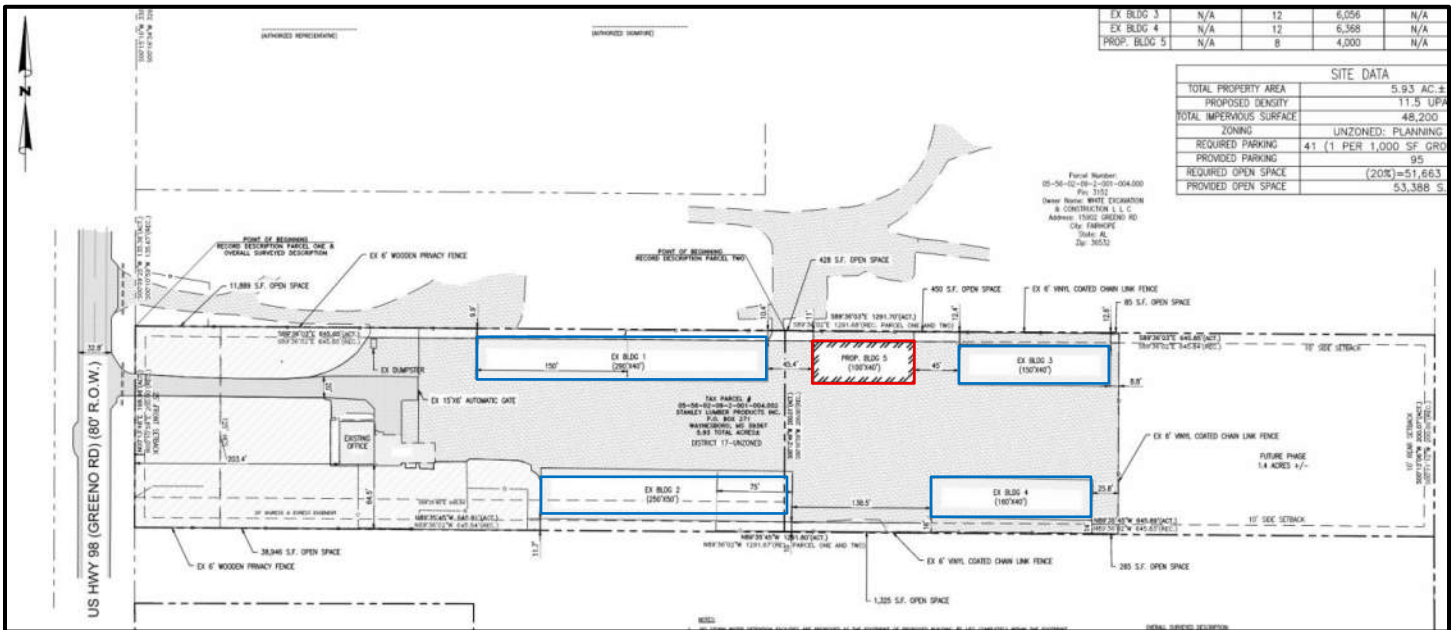
1. Compliance with the Baldwin County Subdivision Regulations, including but not limited to submission of a Construction Plan Review and Commercial Turnout Permit to the Baldwin County Planning and Zoning Department for all improvements and system upgrades (including, but not limited to, water main, sewer, and traffic improvements) to be installed with the development.
2. As required by Sections 4.5.6 and 4.5.7, any and all local, state, and federal permits shall be submitted to the County Engineer and Planning and Zoning staff as a component of the construction plans submittal.
3. Effective period is 2 years from approval of Planned Unit Development Site Plan.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps



Site Plan



EX BLDG 3	N/A	12	6,056	N/A
EX BLDG 4	N/A	12	6,368	N/A
PROP. BLDG 5	N/A	8	4,000	N/A

SITE DATA	
TOTAL PROPERTY AREA	5.93 AC.±
PROPOSED DENSITY	11.5 UPA
TOTAL IMPERVIOUS SURFACE	48,200
ZONING	UNZONED: PLANNING
REQUIRED PARKING	41 (1 PER 1,000 SF GRD)
PROVIDED PARKING	95
REQUIRED OPEN SPACE	(20%)=51,663
PROVIDED OPEN SPACE	53,388 S.F.

SITE DATA	
TOTAL PROPERTY AREA	5.93 AC.±
PROPOSED DENSITY	11.5 UPA
TOTAL IMPERVIOUS SURFACE	48,200
ZONING	UNZONED: PLANNING DISTRICT 17
REQUIRED PARKING	41 (1 PER 1,000 SF GROSS FLOOR AREA)
PROVIDED PARKING	95
REQUIRED OPEN SPACE	(20%)=51,663 S.F.
PROVIDED OPEN SPACE	53,388 S.F.

BUILDING DATA TABLE					
	ENCLOSED UNIT	OPEN UNIT	SF	SF PER UNIT (ENCLOSED)	SF PER UNIT (OPEN)
EX BLDG 1	10	10	11,644	603.5	560.9
EX BLDG 2	10	6	12,541	879.0	625.2
EX BLDG 3	N/A	12	6,056	N/A	504.7
EX BLDG 4	N/A	12	6,368	N/A	530.7
PROP. BLDG 5	N/A	8	4,000	N/A	500.0

NOTES:

- NO STORM WATER DETENTION FACILITIES ARE PROPOSED AS THE FOOTPRINT OF PROPOSED BUILDING #5 LIES COMPLETELY WITHIN THE FOOTPRINT OF THE EXISTING STORAGE YARD IN AN AREA THAT IS NEARLY IMPERVIOUS IN THE EXISTING CONDITION (COMPACTED GRAVEL/ASPHALT MILLINGS). STORM WATER WILL CONTINUE TO SHEET FLOW ACROSS THE SITE FROM THE NORTH TO SOUTH IN POST DEVELOPMENT CONDITIONS, AS IT CURRENTLY DOES UNDER EXISTING CONDITIONS.
- DRAINAGE/UTILITY EASEMENTS INTERNAL REAR AND SIDE BOUNDARY LOT LINES: 15 FEET INTERIOR REAR AND 7.5 'SIDE LOT LINES.
- NO CURB GUTTER, SIDEWALKS, OR PAVING IMPROVEMENTS ARE PROPOSED.
- ALL EXISTING PAVEMENT/STREETS WILL BE PRIVATELY MAINTAINED.
- VARIANCE FOR WAIVER OF USABLE OPEN SPACE REQUIREMENTS HAS BEEN SUBMITTED.
- VARIANCE FOR REDUCTION IN LANDSCAPE BUFFER HAS BEEN SUBMITTED.
- HIGHWAY CONSTRUCTION SETBACK ALONG GREENO RD. IS 125' FROM THE CENTERLINE OF THE RIGHT OF WAY AT THE TIME OF RECORDING.

LEGEND

- EX BUREAU
- EX ENCLOSED BUILDING AREA
- EX OPEN BUILDING AREA
- EX SPECIAL AREA
- PROP. BLDG. AREA
- PROP. OPEN SPACE

SEAL OF BALDWIN COUNTY
 BALDWIN COUNTY, ALABAMA
 MAY 7, 2026

CERTIFICATE OF OWNER

I, the undersigned, being the owner of the above described premises, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE BY INDIVIDUAL

I, the undersigned, being the owner of the above described premises, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF APPROVAL BY E-911 ADDRESSING

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF APPROVAL BY UTILITIES (BROWARD)

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF APPROVAL BY UTILITY UTILITIES (POWER)

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF THE BALDWIN COUNTY ENGINEER

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY PLANNING DIRECTOR

The undersigned, as authorized by Baldwin County, Alabama, do hereby certify that the same are being used for the purposes herein stated, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama, and that the same are being used in accordance with the provisions of the zoning ordinance of Baldwin County, Alabama.

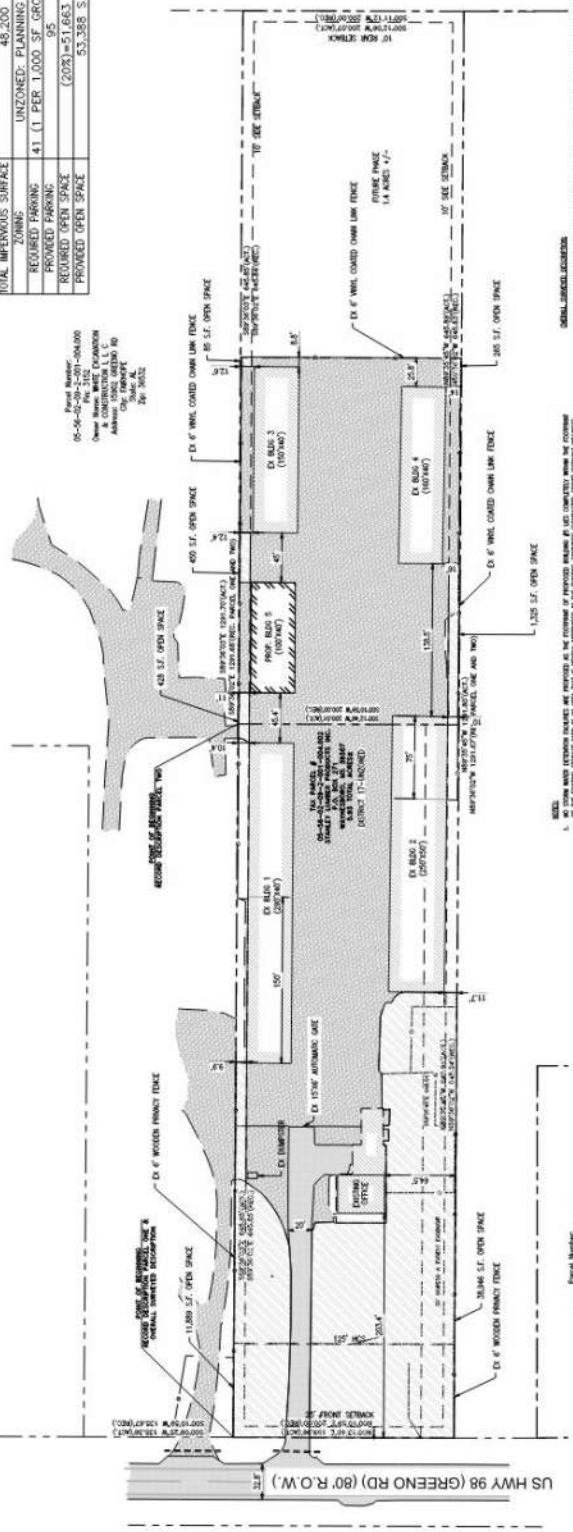


BUILDING DATA TABLE

EX BLDG	ENCLOSED UNIT	OPEN UNIT	SF	SF PER UNIT (ENCLOSED)	SF PER UNIT (OPEN)
1	10	11,644	603.5	60.35	560.9
2	10	12,541	879.0	87.90	825.2
3	N/A	12	6,056	N/A	504.7
4	N/A	12	6,368	N/A	530.7
5	N/A	8	4,000	N/A	500.0
PROP. BLDG	N/A	8	4,000	N/A	500.0

SITE DATA

TOTAL PROPERTY AREA	5.93 AC ±
PROPOSED DENSITY	11.5 UFA
TOTAL IMPERVIOUS SURFACE	48,200
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PROVIDED PARKING	95
REQUIRED OPEN SPACE	(20%)=51,663 S.F.
PROVIDED OPEN SPACE	53,388 S.F.



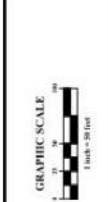
GENERAL NOTES:
 1. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
 2. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
 3. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
 4. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.
 5. ALL DIMENSIONS SHOWN ARE TO FACE UNLESS OTHERWISE NOTED.

REVISIONS

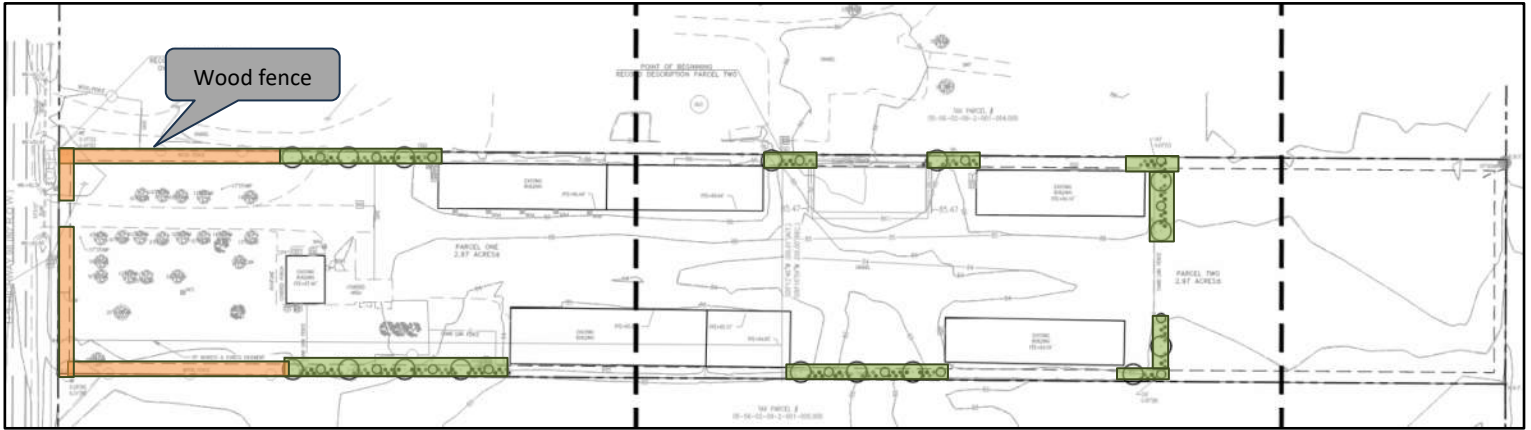
NO.	DATE	DESCRIPTION

STANLEY STORAGE PUD
PROPOSED BUILDING ADDITION
STANLEY LUMBER

SCALE: 1"=50'
 DATE: MARCH 2026
 DRAWN BY: RT
 CHECKED BY: TC
 SHEET: 87 OF 91



Landscaping Plan



Open area that is not vegetated or fenced

Subdivision Variance Request

1. The purpose of this Variance is to allow:

Applicant's response:

- 1) *The purpose of this variance is to request a waiver from the usable open space requirements.*
- 2) *The purpose of this variance is to request a reduction in the landscape buffer requirements.*

1. Please explain how the granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property.

Applicant's response:

1) Granting this variance will not be detrimental to the public safety, health, or welfare or be injurious to other property. This facility is an existing storage unit facility. Not providing useable open space at this facility will not have any effect on the public, customers, or adjacent properties.

2. Please explain how the conditions upon which the request for a variance is based are unique to the property for which the variance is sought.

Applicant's response:

The conditions for this variance are unique to this property for the following reasons.

- a. *The property is already developed and functions as a commercial storage unit facility.*
- b. *The customers/users of the property have no need for usable open space, and the installation of usable open space is not practical.*
- c. *The property is only used as a storage facility. There are no residential units or other commercial uses proposed on this property*

3. Please explain how, because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.

Applicant's response:

- 1) *This is an existing storage unit facility. No other uses are proposed.*
- 2) *The proximity of the existing buildings to the property line does not allow for landscape buffers to be installed within the areas adjacent to the existing buildings.*

4. Please explain whether the variance will not in any manner vary the provisions of other adopted policies and regulations of the Baldwin County Commission.

Applicant's response: No. The variance will not have any effect on the provisions of other adopted policies and regulations of the Baldwin County Commission

5. Do you understand that inconvenience, financial concerns, or self-imposed conditions shall not be considered as a hardship for the purpose of granting the variance?

Applicant's response: Yes



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SC26-09
BELLA CASA Subdivision
5/7/2026

Subject Property Information

JURISDICTION: Baldwin County
PLANNING DISTRICT: 2
ZONING: Un-zoned
PARCEL ID # 05-14-08-33-0-000-003.002 **PIN:** 633633
LOCATION: North of Interstate Hwy 65 and West of Rabun Rd
CITIZENSERVE REF: SC26-000009
Lead Staff: Jenny Mosley, Planning Tech I
Attachments: *Within Report*

Subdivision Proposal

Request: BELLA CASA Subdivision, 5-lot Residential Subdivision
Proposed # of Lots: 5 Lots
Linear feet of streets: N/A , no new streets / roads proposed
Total acreage: 25.61 +/- acres
Smallest lot size: 3.00 +/- acres (130,815.6 sq ft)
Setbacks: **Front & Rear:** 30' **Side:** 10' **Side Street:** 20'
50' Natural Wetland Buffer
Owner/Developer: JOSEPH JAMES LAZZARI III
Engineer/Surveyor: Michael Smith, ALCO Engineering Services, LLC / Matthew Burkett

Public Utilities and Site Considerations

Public Utilities: **Water:** North Baldwin Utilities
Sewer: Septic
Electricity: Southern Pine Electric

Traffic study: Less than 50 lots requested, not required per Section 5.5.14

Drainage Improvement: Drainage letter prepared and stamped by Michael Smith, ALCO Engineering Services, LLC and accepted by the Baldwin County Permit Engineer .

Wetlands / Flood Zone : Yes, X -9999.0

Streets / Roads: N/A
Baldwin County Planning and Zoning Commission, May 7, 2026 Agenda

Staff Analysis and Comments

The request is a **5-lot Residential Subdivision**. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. **SC26-09, Bella Casa Subdivision** be **Approved with Conditions** subject to compliance with the Baldwin County Subdivision Regulations;

Specific conditions:

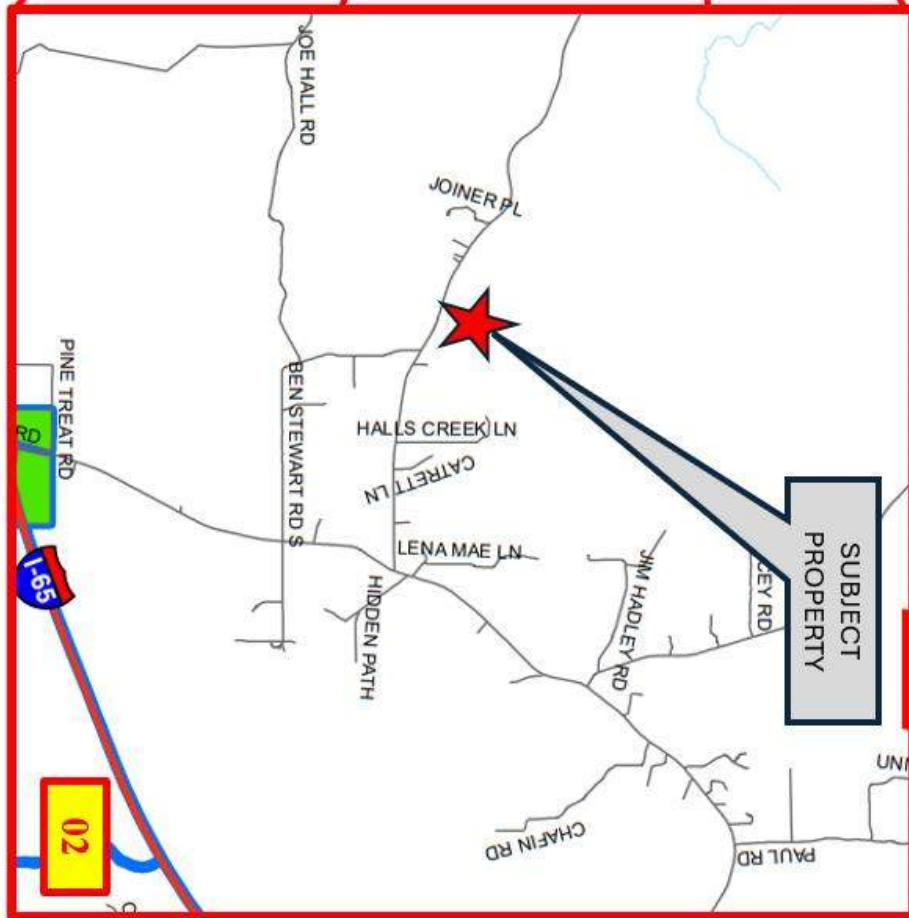
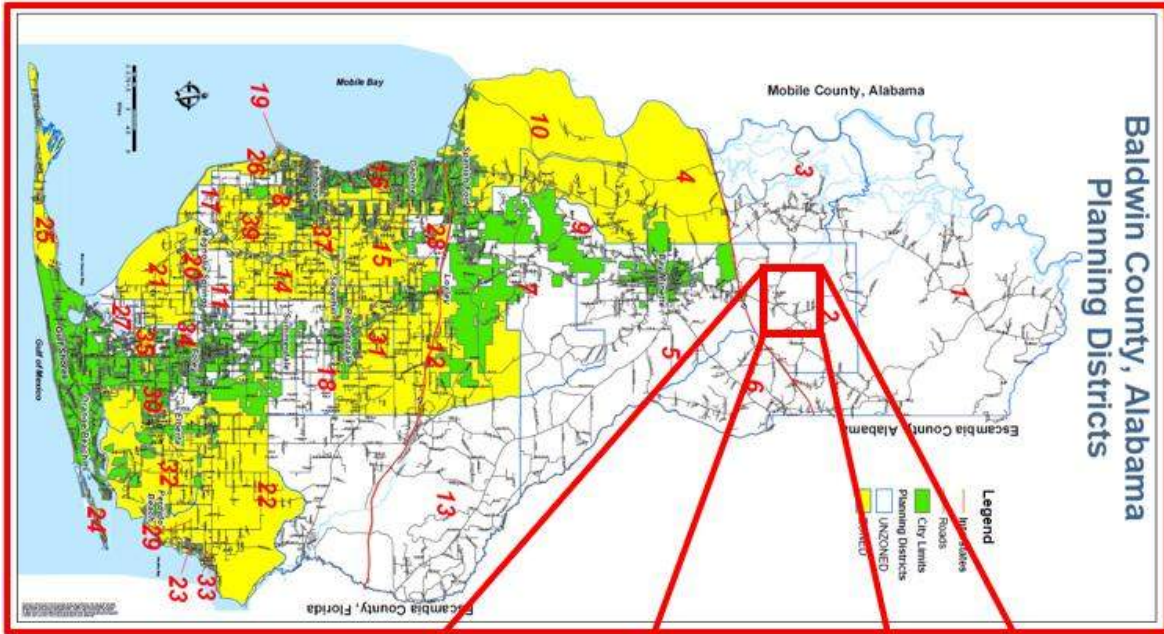
1. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.
2. Correct the final plat to read "50' Natural Buffer".

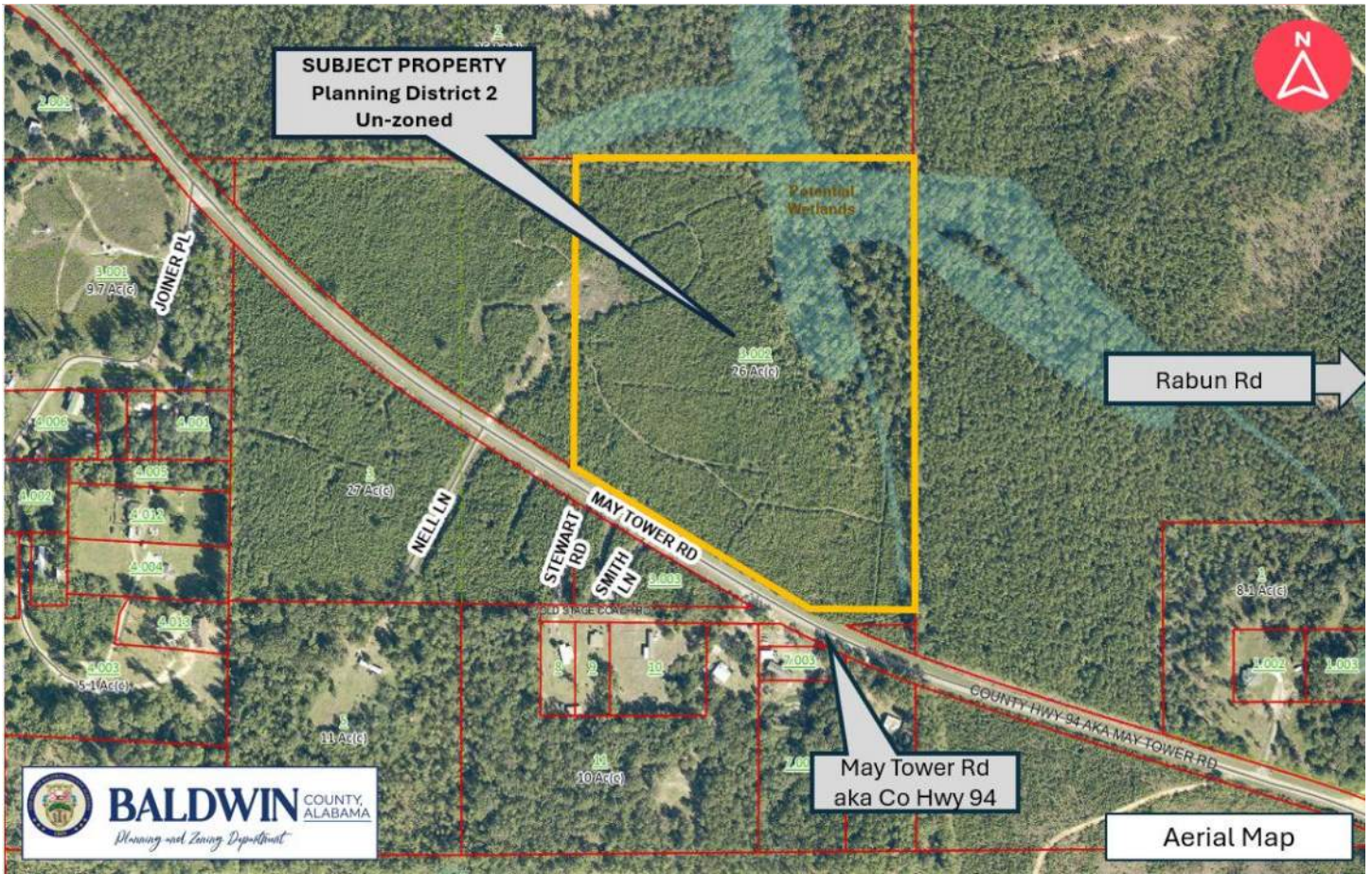
General Conditions:

All conditions shall be met, and the final plat shall be recorded within 90 days of Planning Commission approval.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps





APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION
 The undersigned, as County Planning and Zoning Commission, hereby certifies that, at the meeting of the Planning and Zoning Commission on this day of _____, 2026, the subject plat was presented and approved by a majority of the members of the Planning and Zoning Commission. The undersigned hereby certifies that the subject plat was presented and approved by a majority of the members of the Planning and Zoning Commission on this day of _____, 2026.

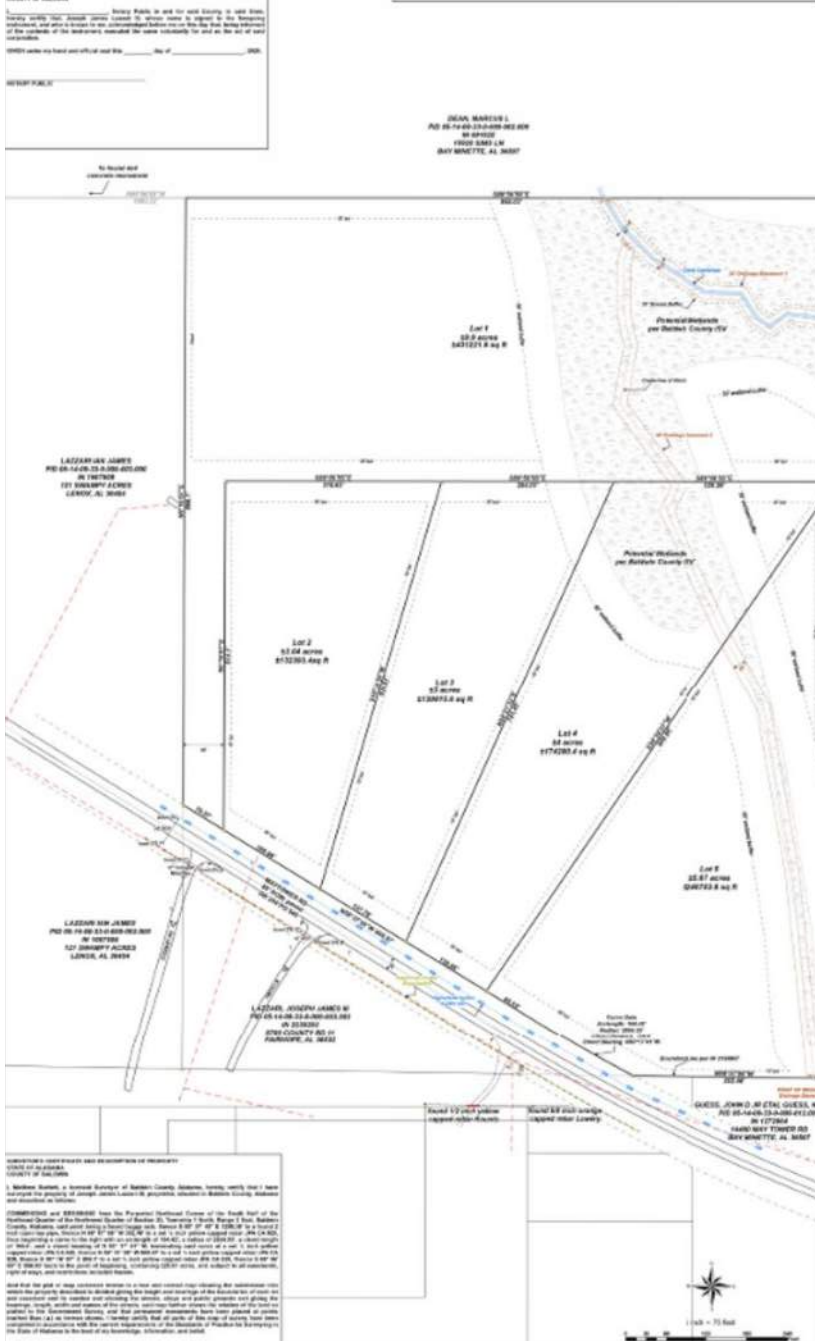
APPROVAL BY THE BALDWIN COUNTY HEALTH DEPARTMENT
 The undersigned, as Baldwin County Health Department, hereby certifies that, at the meeting of the Health Department on this day of _____, 2026, the subject plat was presented and approved by a majority of the members of the Health Department. The undersigned hereby certifies that the subject plat was presented and approved by a majority of the members of the Health Department on this day of _____, 2026.

APPROVAL BY THE BALDWIN COUNTY ENGINEER
 The undersigned, as Baldwin County Engineer, hereby certifies that, at the meeting of the Baldwin County Engineer on this day of _____, 2026, the subject plat was presented and approved by a majority of the members of the Baldwin County Engineer. The undersigned hereby certifies that the subject plat was presented and approved by a majority of the members of the Baldwin County Engineer on this day of _____, 2026.



DISCUSS SUMMARY 1
 The proposed subdivision consists of the subdivision of the subject property into four (4) lots, as shown on the attached plat. The subject property is located in the unincorporated area of Baldwin County, Georgia, and is currently zoned R-1. The proposed subdivision is consistent with the requirements of the subdivision laws of the State of Georgia and the rules and regulations of the Baldwin County Planning and Zoning Commission. The proposed subdivision is also consistent with the requirements of the subdivision laws of the State of Georgia and the rules and regulations of the Baldwin County Planning and Zoning Commission.

DISCUSS SUMMARY 2
 The proposed subdivision consists of the subdivision of the subject property into four (4) lots, as shown on the attached plat. The subject property is located in the unincorporated area of Baldwin County, Georgia, and is currently zoned R-1. The proposed subdivision is consistent with the requirements of the subdivision laws of the State of Georgia and the rules and regulations of the Baldwin County Planning and Zoning Commission. The proposed subdivision is also consistent with the requirements of the subdivision laws of the State of Georgia and the rules and regulations of the Baldwin County Planning and Zoning Commission.



Preliminary/Final Plat
Subdivision

Symbol	Description
1	Proposed Subdivision
2	Proposed Easement
3	Proposed Right-of-Way
4	Proposed Utility Easement
5	Proposed Access Easement
6	Proposed Survey Easement
7	Proposed Encroachment
8	Proposed Boundary
9	Proposed Corner
10	Proposed Monument
11	Proposed Iron Pipe
12	Proposed Iron Pipe with Cap
13	Proposed Iron Pipe with Plug
14	Proposed Iron Pipe with Stop
15	Proposed Iron Pipe with Tee
16	Proposed Iron Pipe with Elbow
17	Proposed Iron Pipe with Cross
18	Proposed Iron Pipe with Tee and Cross
19	Proposed Iron Pipe with Tee and Elbow
20	Proposed Iron Pipe with Tee and Tee
21	Proposed Iron Pipe with Tee and Tee and Cross
22	Proposed Iron Pipe with Tee and Tee and Tee
23	Proposed Iron Pipe with Tee and Tee and Tee and Cross
24	Proposed Iron Pipe with Tee and Tee and Tee and Tee
25	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Cross
26	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Tee
27	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Tee and Cross
28	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Tee and Tee
29	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Tee and Tee and Cross
30	Proposed Iron Pipe with Tee and Tee and Tee and Tee and Tee and Tee and Tee

J Pierce and Associates LLC
 Geospatial Consultants
 16116 Old Ganey Road
 Bay Minette, AL 36507
 jpc@jpcandassociates.com
 jpcandassociates.com
 251-508-5675

BELLA CASA
 Section 33
 T19N R12E
 JPA Project #1058-2026
 May Town Rd
 Bay Minette, AL 36507
 Date: 4/8/2026
 This document represents a preliminary plat.



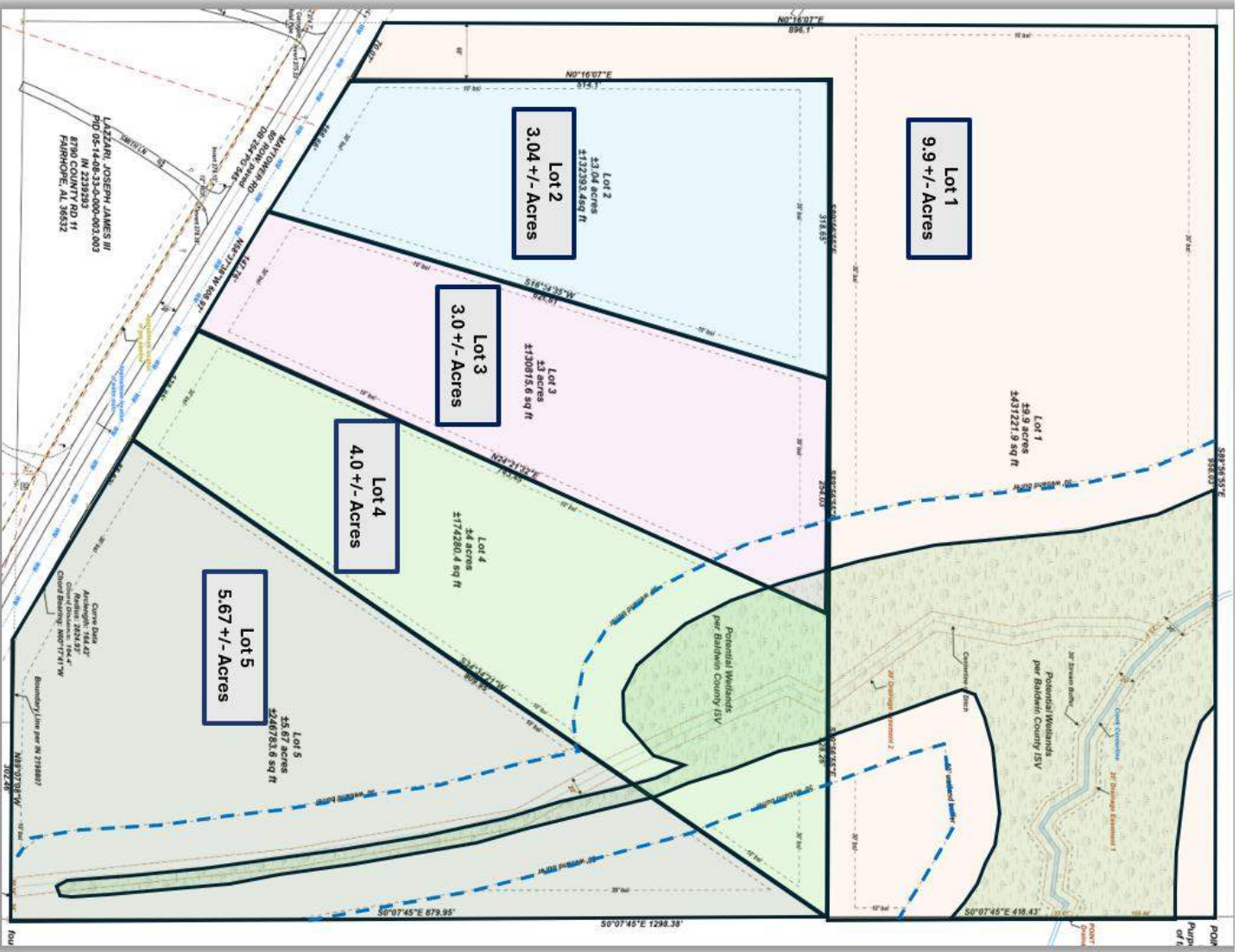
Plat is Enlarged to Show
Details

Site Data
PID 05-14-08-33-0-000-003.002
IN 2239292

1. Total Acres: ±25.61 acres
2. Smallest Lot Size: ±3 acres
3. Total Number of Lots: 5
4. Linear Feet in Streets: 0
5. Front Building Setbacks: 30'
6. Side Building Setbacks: 10'
7. Rear Building Setbacks: 20'
8. Side Street Setback: 20'
9. Rear Building Setbacks: 30' (unless otherwise noted)
10. Planning District 2 & Unzoned
11. Density (lots or units per acre): 0.28.
12. 50' natural wetland buffer

FEMA Flood Zone X
The flood map for the selected area is 01003C0200M, effective on 4/19/2019

DRAINAGE/UTILITY EASEMENTS
EXTERNAL REAR, FRONT AND SIDE BOUNDARY LOT LINES: 15 FEET
INTERIOR REAR AND SIDE LOT LINES: 10 FEET





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SC26-10
Maytower Estates Subdivision
5/7/2026

Subject Property Information

JURISDICTION: Baldwin County
PLANNING DISTRICT: 2
ZONING: Un-zoned
PARCEL ID # 05-14-08-33-0-000-003.000 **PIN:** 27516
LOCATION: North of Interstate Hwy 65 and West of Rabun Rd
CITIZENSERVE REF: SC26-000010
Lead Staff: Jenny Mosley, Planning Tech I
Attachments: *Within Report*

Subdivision Proposal

Request: Maytower Estates Subdivision, 8-lot Residential Subdivision
Proposed # of Lots: 8 Lots
Linear feet of streets: N/A , no new streets / roads proposed
Total acreage: 27.33 +/- acres
Smallest lot size: 3.01 +/- acres (131,011.4 sq ft)
Setbacks: **Front & Back:** 30' **Side:** 10' **Side Street Setback:** 20'
Owner/Developer: IAN JAMES LAZZARI
Engineer/Surveyor: Michael Smith, ALCO Engineering Services, LLC / Matthew Burkett

Public Utilities and Site Considerations

Public Utilities: **Water:** North Baldwin Utilities
Sewer: Septic
Electricity: Southern Pine Electric

Traffic study: Less than 50 lots requested, not required per Section 5.5.14

Drainage Improvement: Drainage letter prepared and stamped by Michael Smith, ALCO Engineering Services, LLC and accepted by the Baldwin County Permit Engineer .

Wetlands / Flood Zone : No, X -9999.0

Streets / Roads: N/A

Staff Analysis and Comments

The request is an **8-lot Residential Subdivision**. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. **SC26-10, Maytower Estates Subdivision** be **Approved with Conditions** subject to compliance with the Baldwin County Subdivision Regulations;

Specific conditions:

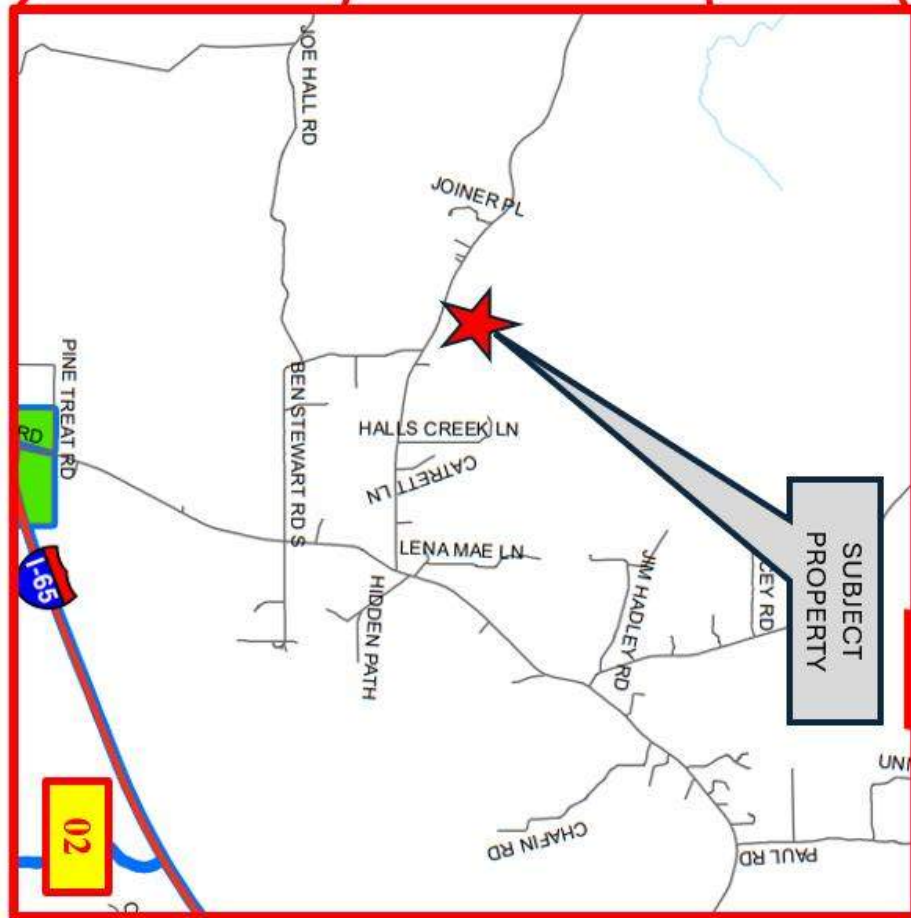
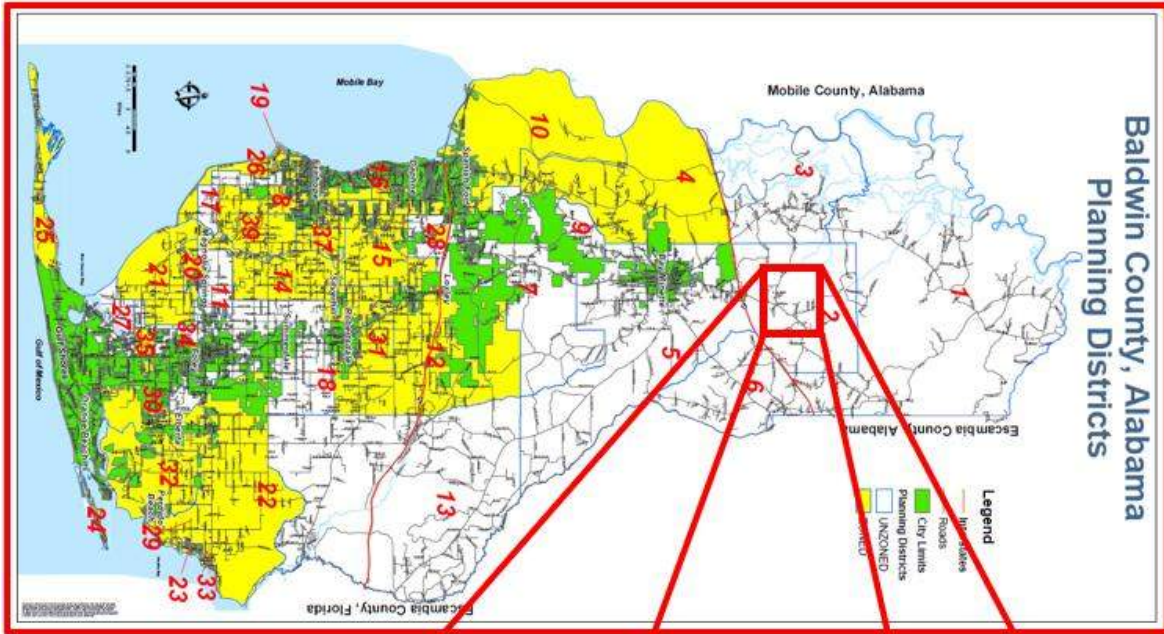
1. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.

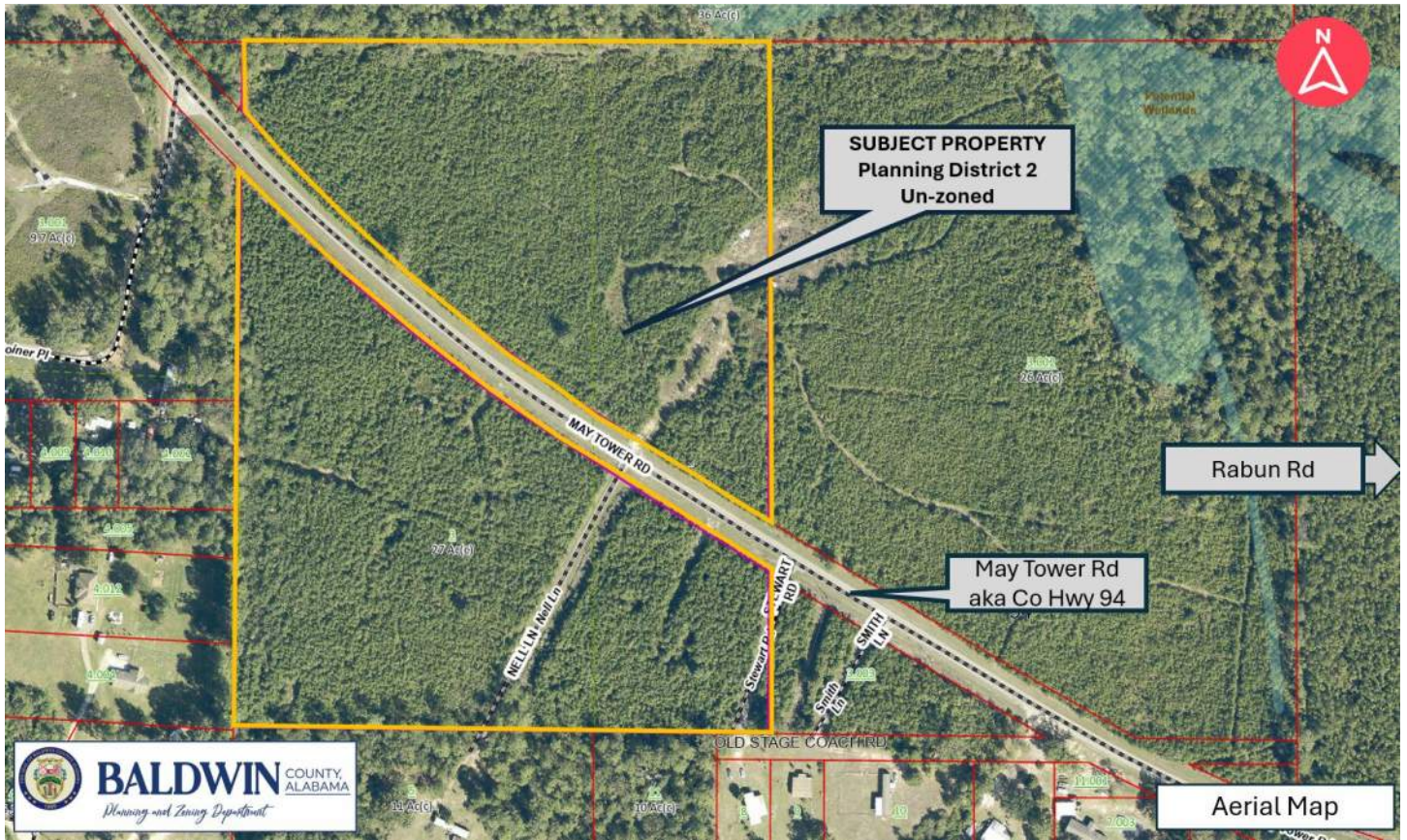
General Conditions:

All conditions shall be met, and the final plat shall be recorded within 90 days of Planning Commission approval.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps





Plat

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION
The undersigned, as Chairman of Baldwin County Planning and Zoning Commission, hereby certifies that, at its meeting of...

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY HEALTH DEPARTMENT
The title to this plat is subject to approval by Baldwin County Health Department. The representative in this plat for this plat was...

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING DIRECTOR
The undersigned, as Director of the Baldwin County Planning and Zoning Department, hereby approves the within plat for the recording of...

CERTIFICATE OF APPROVAL BY NORTH BALDWIN UTILITIES
The undersigned, as authorized by NORTH BALDWIN UTILITIES, hereby approves the within plat for the recording of same in the Public Office of Baldwin...

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER
The undersigned, as County Engineer of Baldwin County, Alabama, hereby approves the within plat for the recording of same in the Public Office of Baldwin County, Alabama...

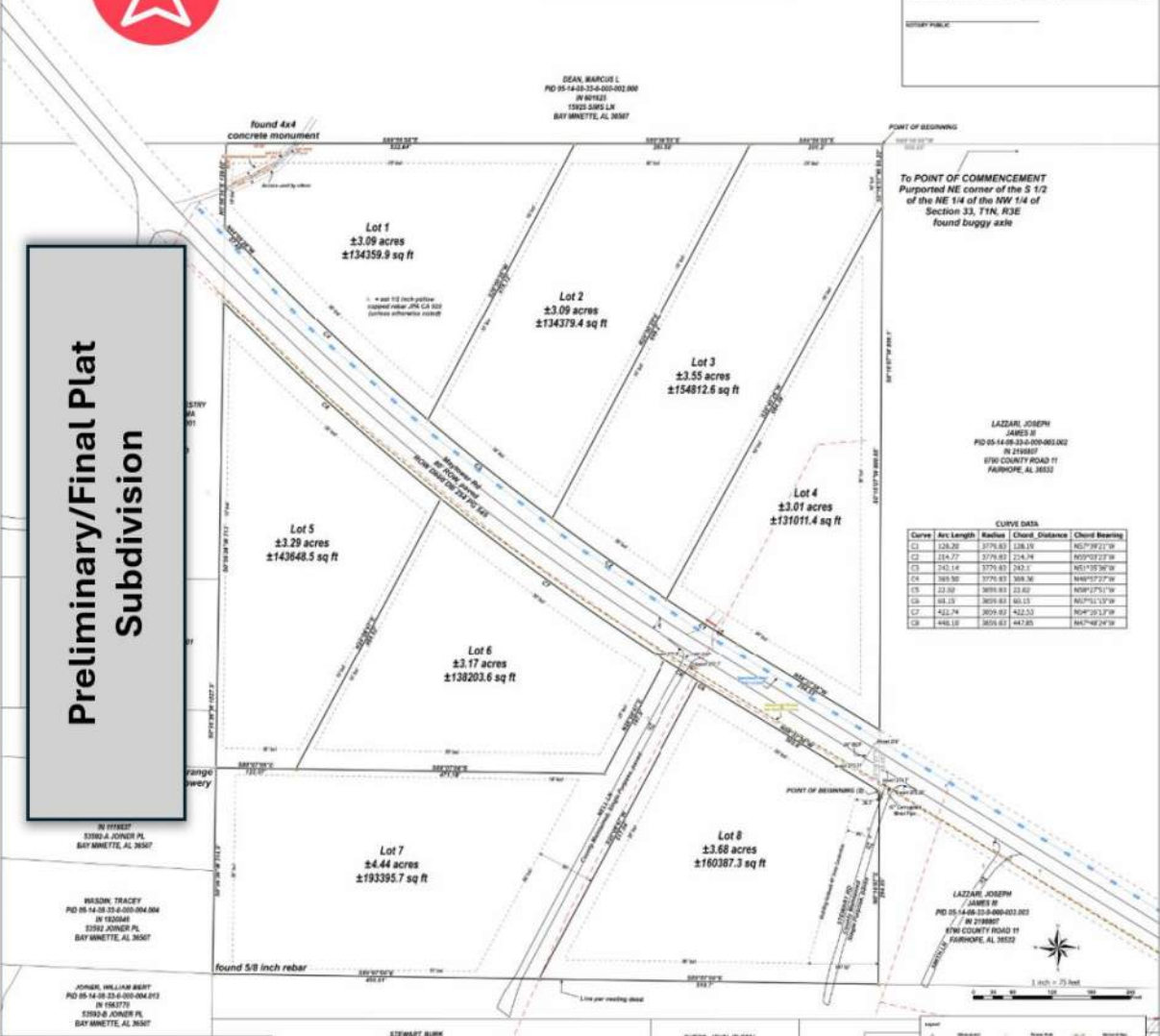
CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY BOARD OF HEALTH
The undersigned, as Chairman of the Baldwin County Board of Health, hereby approves the within plat for the recording of same in the Public Office of Baldwin...

CERTIFICATE OF APPROVAL BY BALDWIN POWER ELECTRIC
The undersigned, as authorized by BALDWIN POWER ELECTRIC, hereby approves the within plat for the recording of same in the Public Office of Baldwin County...

CERTIFICATE OF APPROVAL BY BALDWIN POWER ELECTRIC
The undersigned, as authorized by BALDWIN POWER ELECTRIC, hereby approves the within plat for the recording of same in the Public Office of Baldwin County...



OWNER'S DECLARATION
I, Joe James Lazzari, as proprietor, have caused the land embraced in the within plat to be surveyed, laid out and divided into lots...



Preliminary/Final Plat Subdivision

Table with 4 columns: Curve, Arc Length, Radius, Chord Distance, Chord Bearing. Lists curves C1 through C8.



OWNER'S CERTIFICATE AND DESCRIPTION OF PROPERTY
I, Joe James Lazzari, as proprietor, hereby certify that I own the above described property...

STEWART BURK & ERMA LUCILLE
DEAN, MARCUS L
DESS, JOHN JERAL
DESS, KAREN C
STEWART, J & W & VONCKE

Utility Provider: North Baldwin Utilities
Electric, Southern Power Electric
Sewer: On Site Septic, to be provided by lot owners
Developer & Owner: Joe James Lazzari

J Pierce and Associates LLC Geospatial Consultants
16116 Old Ganey Road Bay Minette, AL 36507
jacob@jerpierceandassociates.com

MAYTOWER ESTATES
Section 33 T1N R3E JPA Project #1057-2026 MAYTOWER RD BAY MINETTE, AL 36507
Date: 4/2/2026



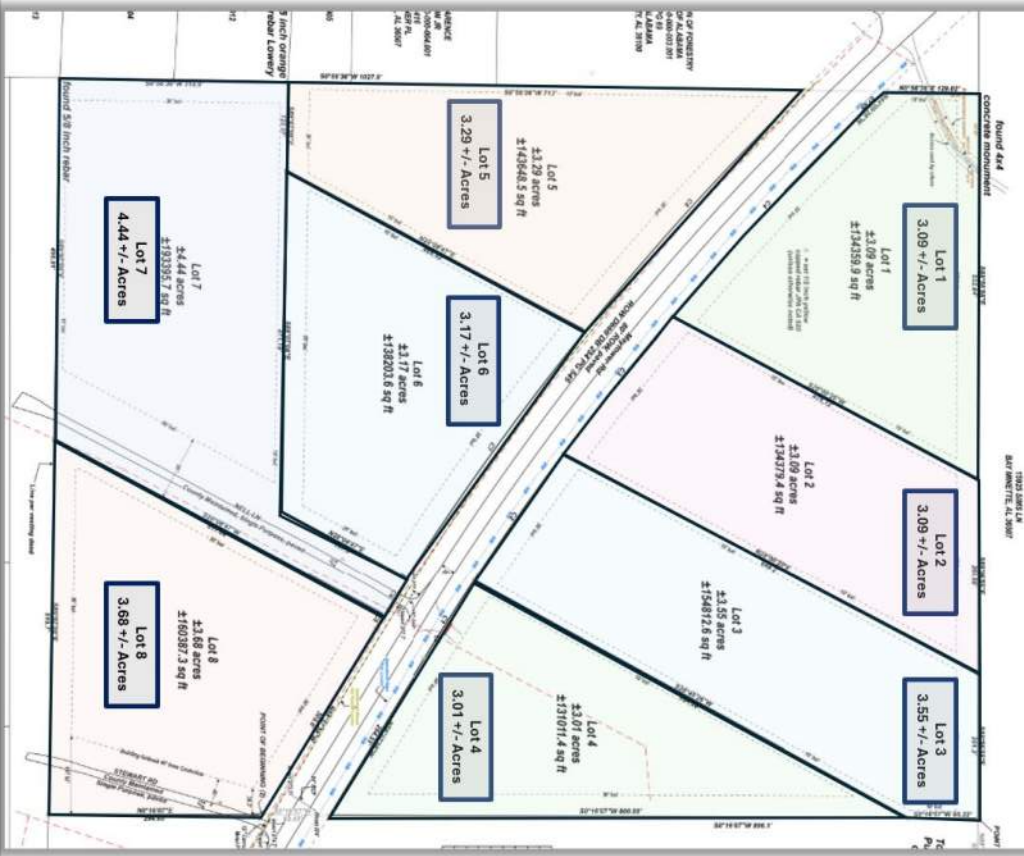
Plat is Enlarged to Show Details

Site Data
 PID 05-14-08-33-0-000-003-000
 1. Total Acres: 327.33 acres
 2. Smallest Lot Size: 3.01 acres
 3. Total Number of Lots: 8
 4. Linear Feet in Streets: 0
 5. Front Building Setbacks: 30'
 Side Building Setbacks: 10'
 Rear Building Setbacks: 20'
 (unless otherwise noted)
 6. Planning District 2 & Unzoned
 7. Density (lots or units per acre): 0.29

1. The portion of the common driveways, water bodies, and drainage easements outside the public right-of-way as shown hereon is private and will not be maintained by Baldwin County.
 2. On-site sewage disposal to be provided by lot owners.
 3. The highway construction setback along Maytower Rd, Nell Ln, and Stewart Rd is 40' from centerline of right of way at time of recording.
 4. Contours shown are sourced from 2018 Baldwin County LIDAR Data
 5. Underground utilities shown were from 811 locate ticket. Not all underground utilities may be shown on this survey.
 6. Any future development of the proposed subdivision will need to meet the Access Management Plan requirements.

Utility Providers
 Water: North Baldwin Utilities
 Electric: Southern Pine Electric
 Sewer: On Site Septic to be provided by lot owners

Developer & Owner
 Ian James Lazzari
 171 Swanley Acres
 Lenox, AL 36854





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SC26-13
Preliminary Plat Approval
Cheval Farm
May 7, 2026

Recommendation: Approval, with conditions

Subject Property Information

JURISDICTION: County
PLANNING DISTRICT: 18
ZONING: Unzoned
PARCEL ID # 05-47-06-13-0-000-002.001
PIN: 256589
LOCATION: Subject property is located on the east side of County Road 48, south of County Road 48, west of County Road 65 in the Robertsdale area.
Online Case #: SC26-000013
Lead Staff: Mary Booth, Associate Planner
Attachments: *Within Report*

Subdivision Proposal

REQUEST: Request for Preliminary plat approval of a residential subdivision.
Proposed # Lots: 9
Linear feet of streets: N/A, lots front County Road 48
Total acreage: +/- 4.03 acres
Smallest lot size: 2.26 ac (98,501SF)
Lot setbacks: 30'F/30'R/15'S
Owner/Developer: Done Deal, LLC, 17423 CR48, Robertsdale, AL 36567
Surveyor: David Lowery, PLS, David Lowery Surveying LLC, 9915 Bryant's Landing Rd., Stockton, AL 36579

Property History:

N/A

Public Utilities and Site Considerations

- Public Utilities: Water: On-Site Well
 Sewer: On-Site Septic
 Electrical: City of Robertsdale Utilities (*Email dated April 14, 2026*)
- Traffic study: N/A; less than 50 lots requested so not required per Section 5.5.14
- Drainage: Drainage narrative prepared and stamped by Jason Wooten, P.E., Wooten Engineering, has been reviewed and accepted by the P&Z Permit Engineer
- Wetlands: N/A; There are no potential wetlands on subject property
- Flood Zones: X zone, no special requirements are applicable

Staff Analysis and Comments

The subject property is outside of Robertsdale’s municipal jurisdiction, and the plat has been reviewed for compliance with the Baldwin County Subdivision regulations.

County Road 48 along subject property is classified as a local road, and all proposed driveways must comply with the requirements of the Access Management Policy. The proposed driveway locations and spacing are reflected on the plat. This has been reviewed and accepted by the Permit Engineer. Future drives will need to be installed as reflected on the plat in order to meet the Access Management Policy.

PUBLIC COMMENTS:

No comments received as of this Staff Report.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. SC26-13, Cheval Farm, be Approved with conditions subject to compliance with the Baldwin County Subdivision Regulations.

Specific conditions:

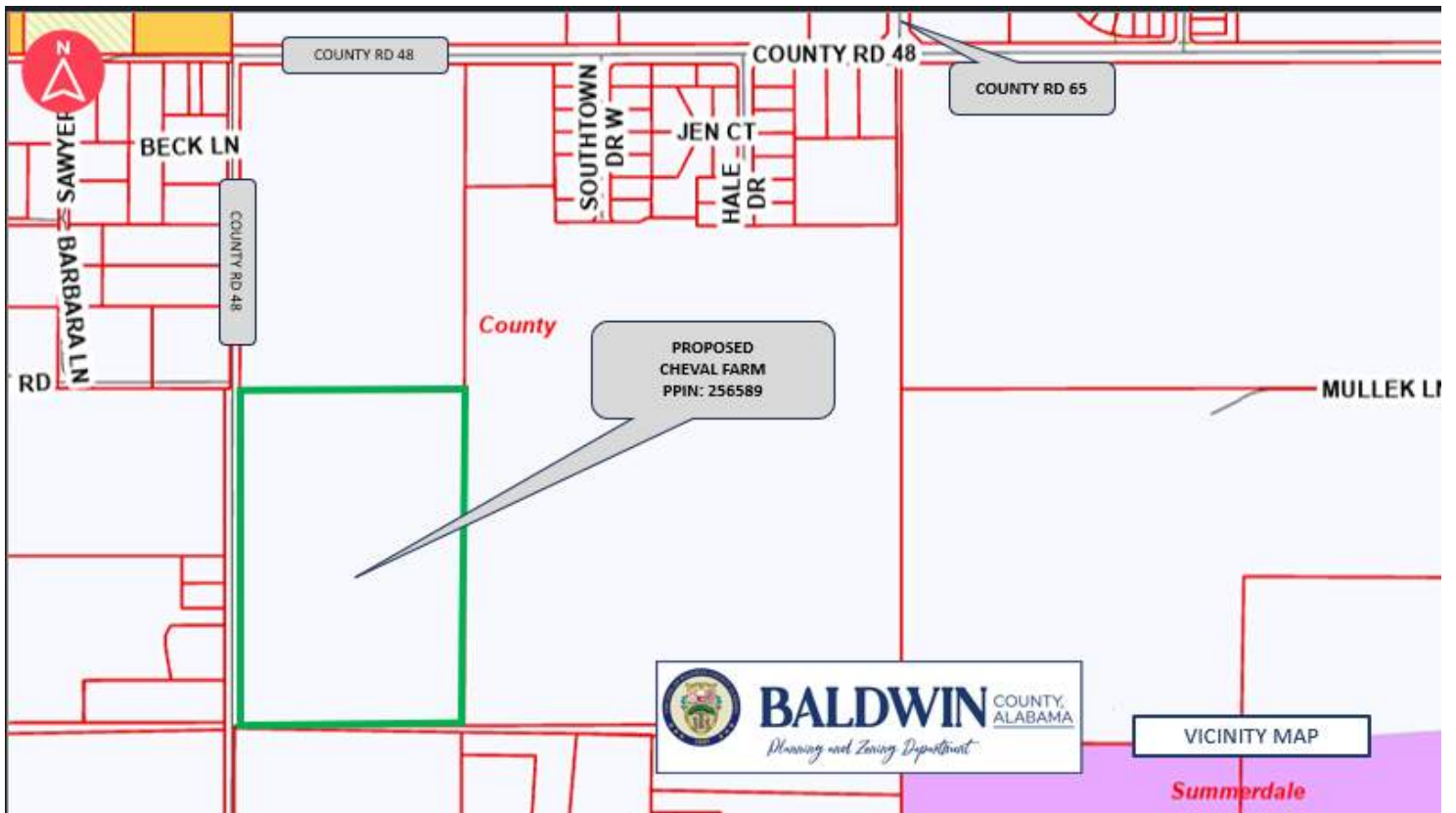
Please show the driveway spacing on the final plat to ensure future residential driveways are installed in compliance with the Access Management Policy.

General Conditions:

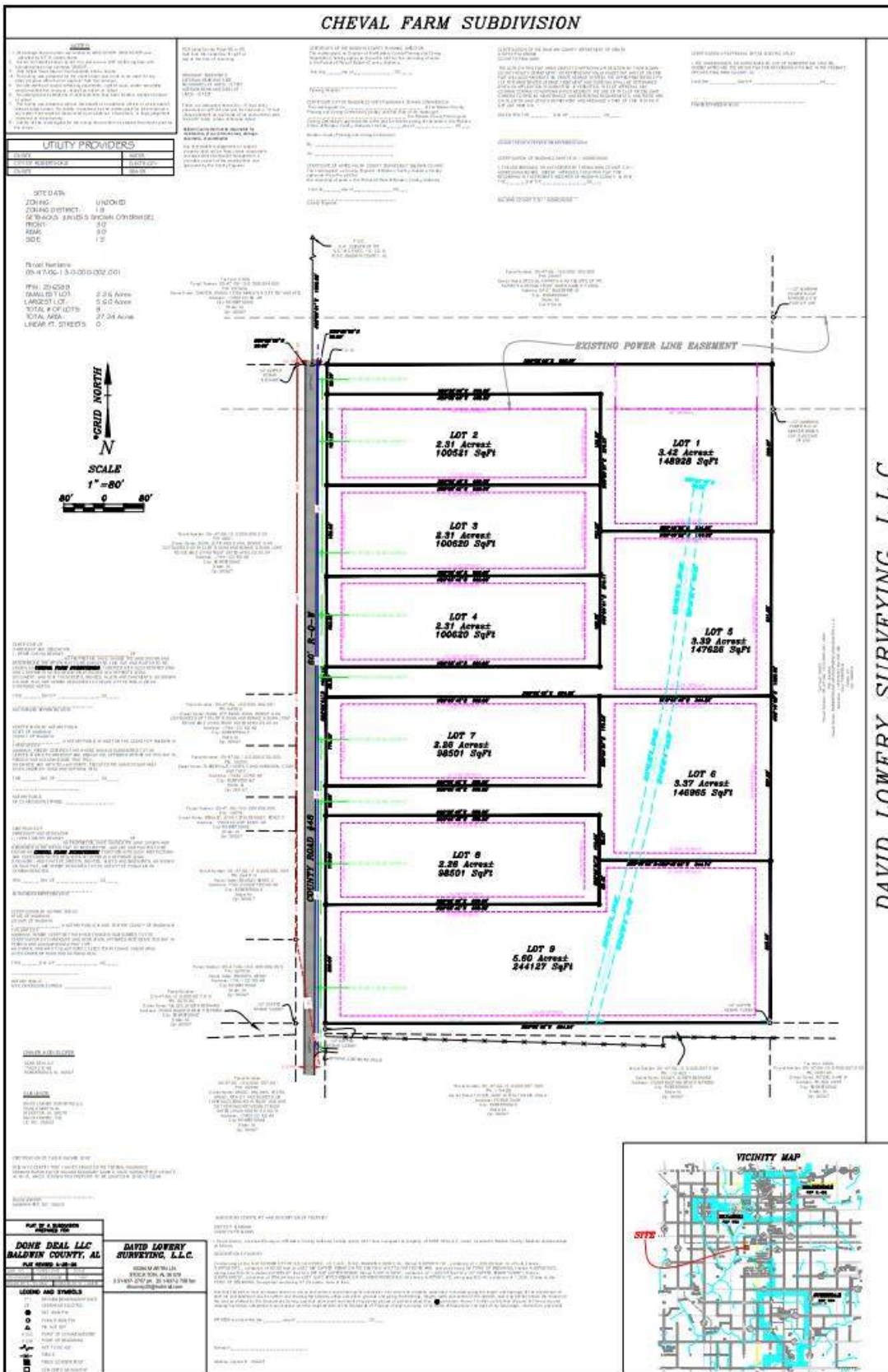
All conditions shall be met, and the final plat shall be circulated for signatures and recorded within 90 days of Planning Commission approval.

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

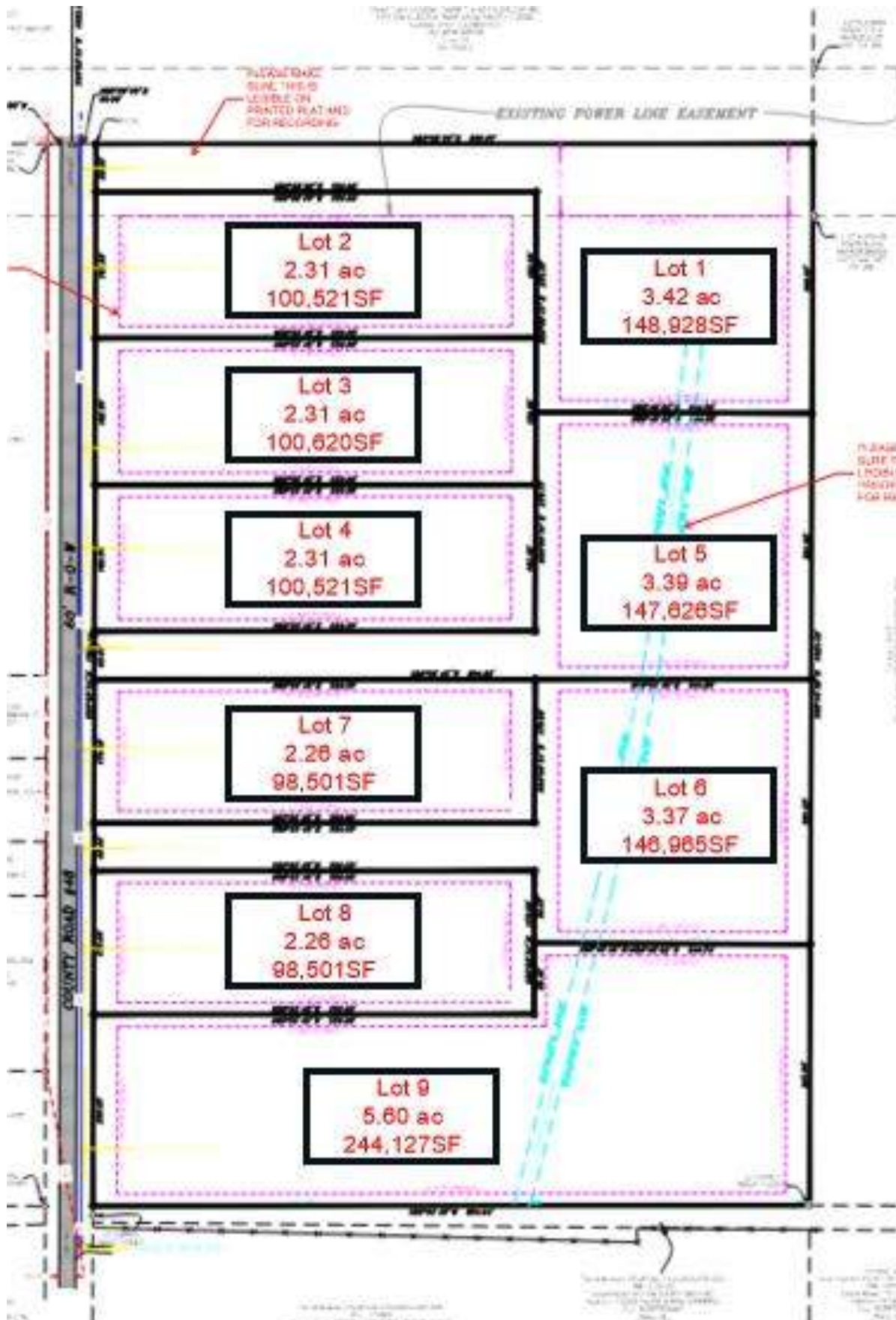
Locator Maps

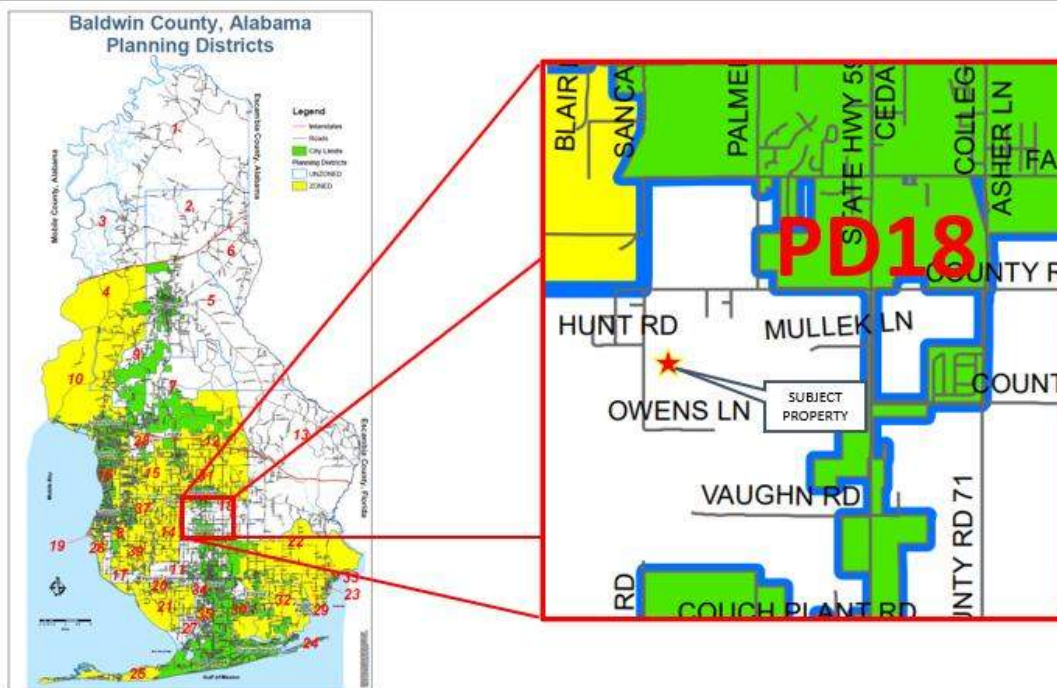
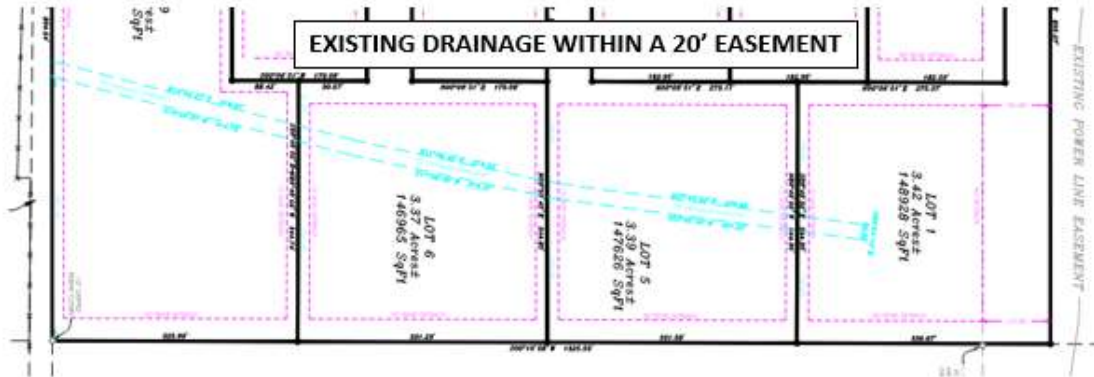
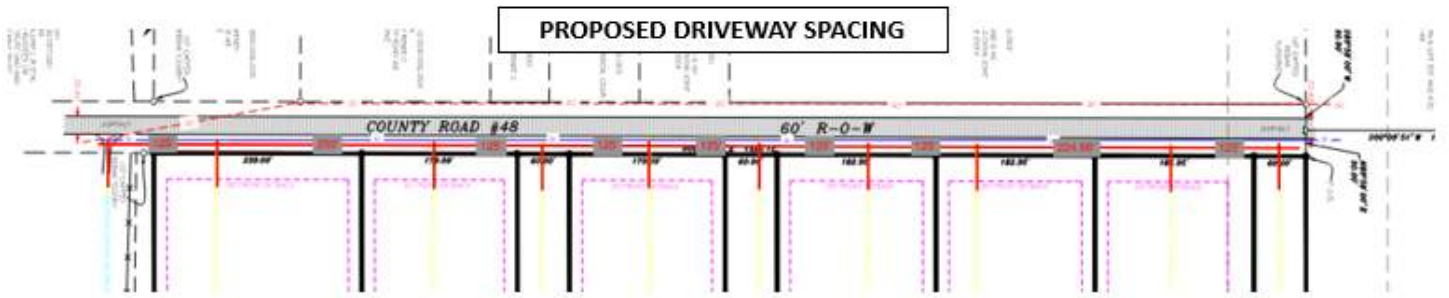


Overall Plat



Cropped Plat





To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SC26-14
Replat of Lot 27 Ranches of Creekside Preserve Subdivision
5/7/2026

Subject Property Information

JURISDICTION: Baldwin County
PLANNING DISTRICT: 2
ZONING: Un-zoned
PARCEL ID # 05-14-05-15-0-000-001.029 **PIN:** 632069
LOCATION: North of Interstate Hwy 65 and Northwest of Rabun Rd
CITIZENSERVE REF: SC26-000014
Lead Staff: Jenny Mosley, Planning Tech I
Attachments: *Within Report*

Subdivision Proposal

Request: Replat of Lot 27 Ranches of Creekside Preserve, 4-lot Residential Subdivision
Proposed # of Lots: 4 Lots
Linear feet of streets: N/A , no new streets / roads proposed
Total acreage: 49.86 +/- acres
Smallest lot size: 8.40 +/- acres
Owner/Developer: RANCHES AT CREEKSIDE PRESERVE LLC
Engineer/Surveyor: DAVID LOWERY SURVEYING LLC / JE Hamlin PE

Public Utilities and Site Considerations

Public Utilities: **Water:** Well
Sewer: Septic
Electricity: Southern Pine Electric

Traffic study: Less than 50 lots requested, not required per Section 5.5.14

Drainage Improvement: Drainage letter prepared and stamped by JE Hamlin PE and accepted by the Baldwin County Permit Engineer .

Wetlands / Flood Zone : Yes, X -9999.0

Streets / Roads: N/A

Staff Analysis and Comments

The request is a **4-lot Residential Subdivision**. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.

History: The Ranches of Creekside Preserve Subdivision was approved on February 3rd, 2025, and recorded on July 3rd, 2025.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. **SC26-14, Replat of Lot 27 Ranches of Creekside Preserve Subdivision** be **Approved with Conditions** subject to compliance with the Baldwin County Subdivision Regulations;

Specific conditions:

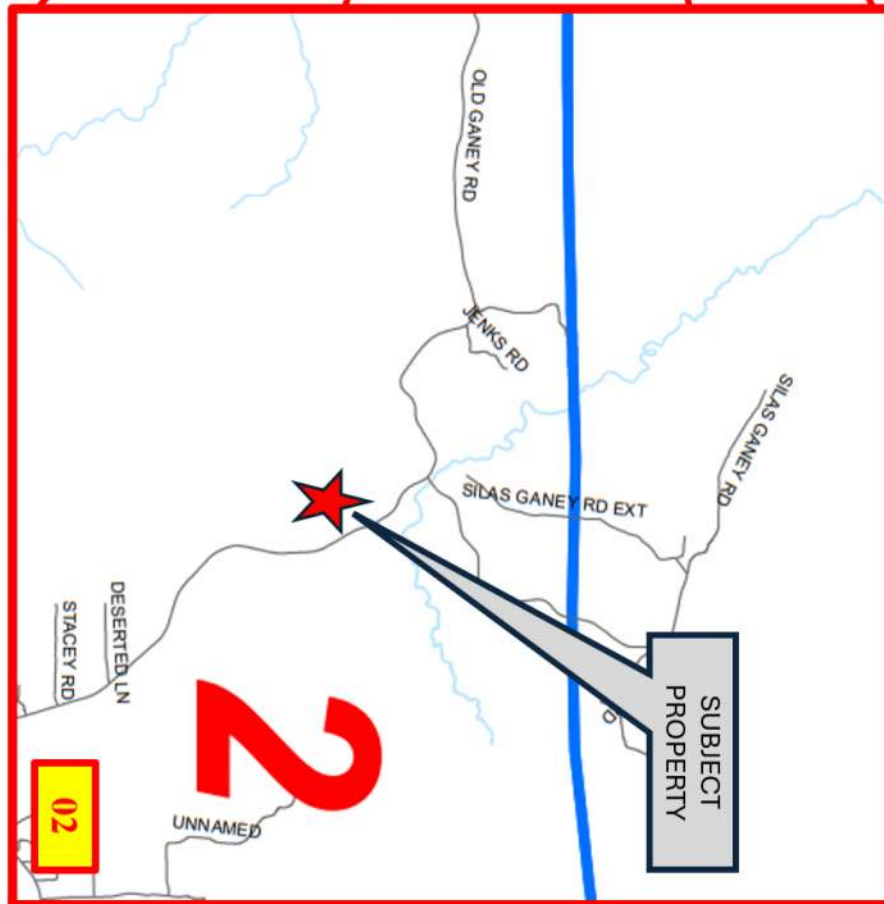
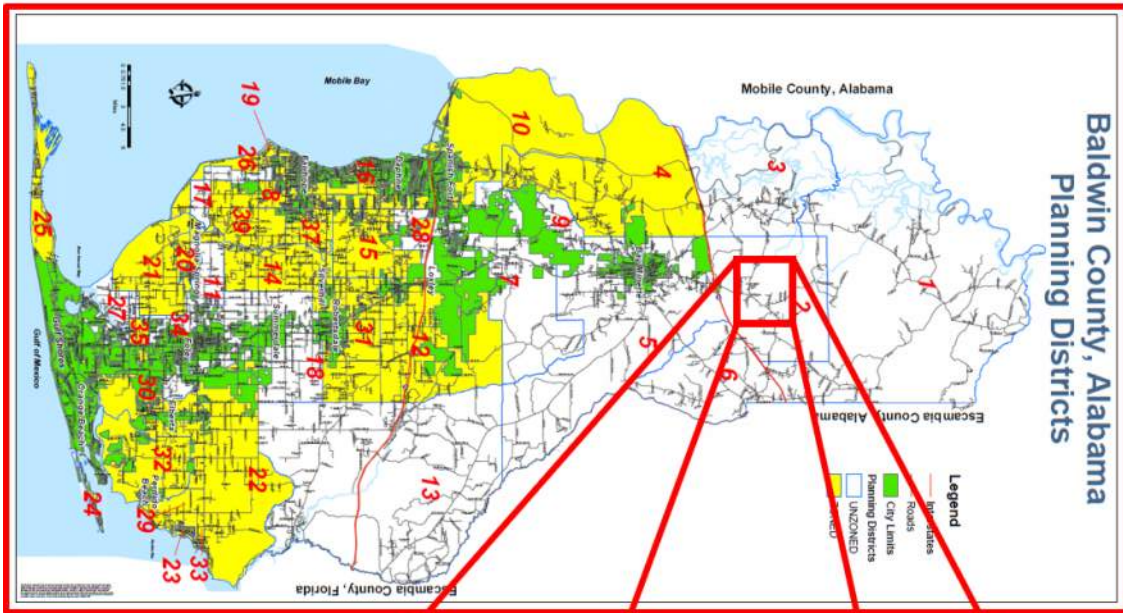
1. Any Future Improvements will require all applicable local, state, and federal permits and will need to adhere to the Baldwin County Access Management Plan.
2. Final Plat Corrections:
 - a. Plat needs to be in Black & White (not color) for better recording quality.
 - b. Correct the setback line on Lot 27-A (missing in northeast corner).
 - c. Correct wording in the site data table to read: Natural Wetland Buffer.

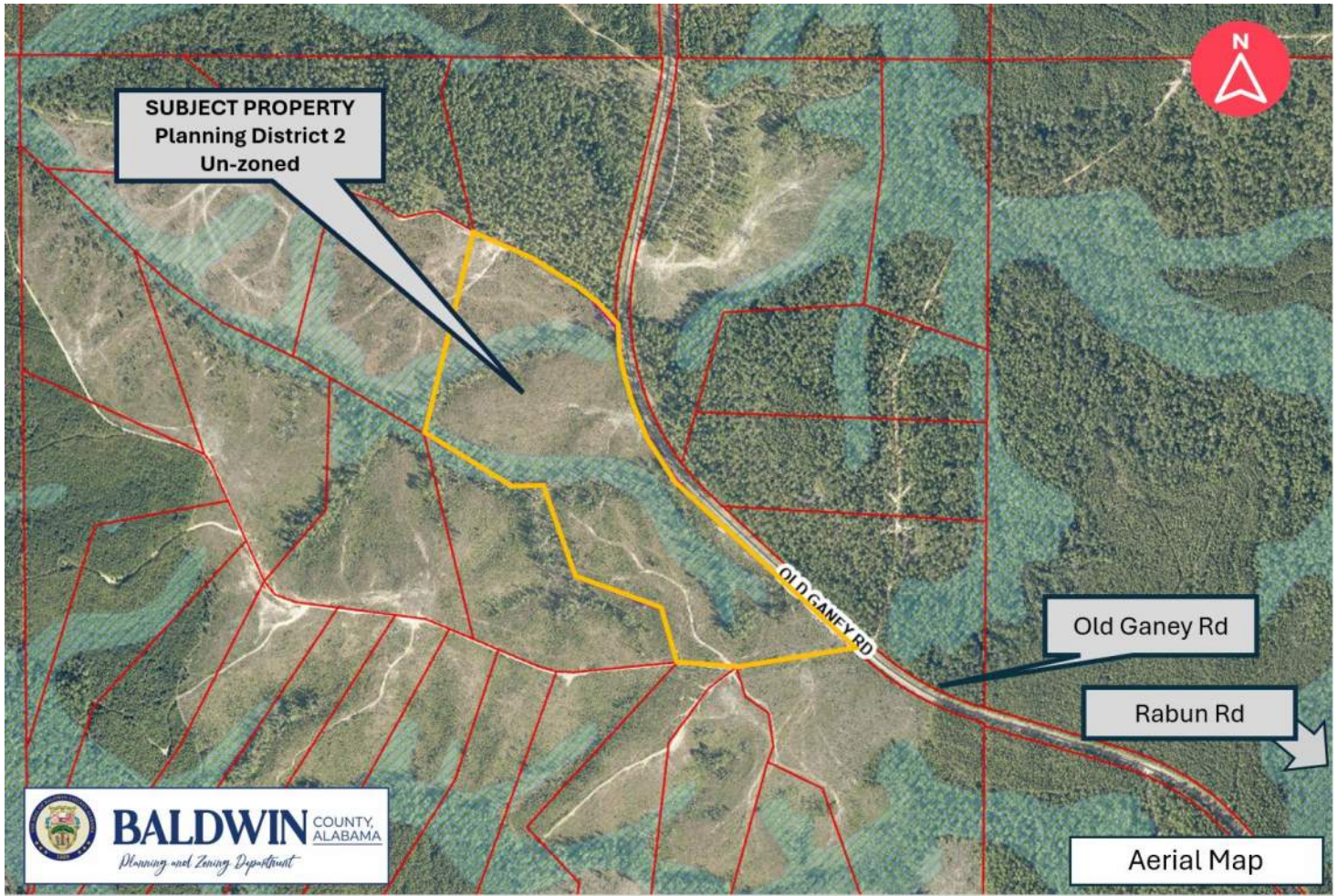
General Conditions:

All conditions shall be met, and the final plat shall be recorded within 90 days of Planning Commission approval.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

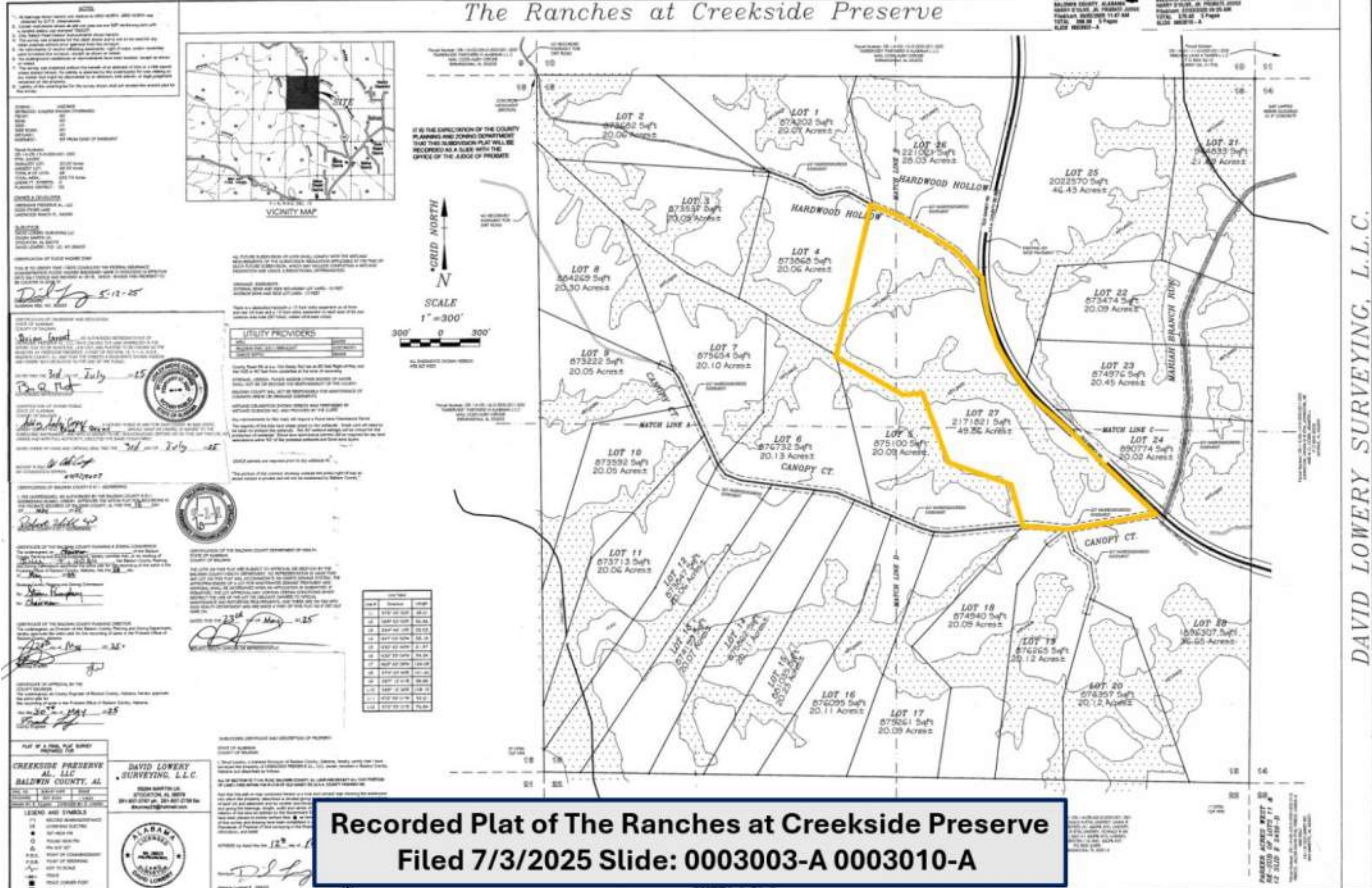
Locator Maps





The Ranches at Creekside Preserve

2190707
 BALDWIN COUNTY, ALABAMA
 PLAT NUMBER 0003003-A
 TOTAL AREA 1,132.17 Acres
 LOT AREA -
 LOT NUMBER -



Recorded Plat of The Ranches at Creekside Preserve
Filed 7/3/2025 Slide: 0003003-A 0003010-A

Plat

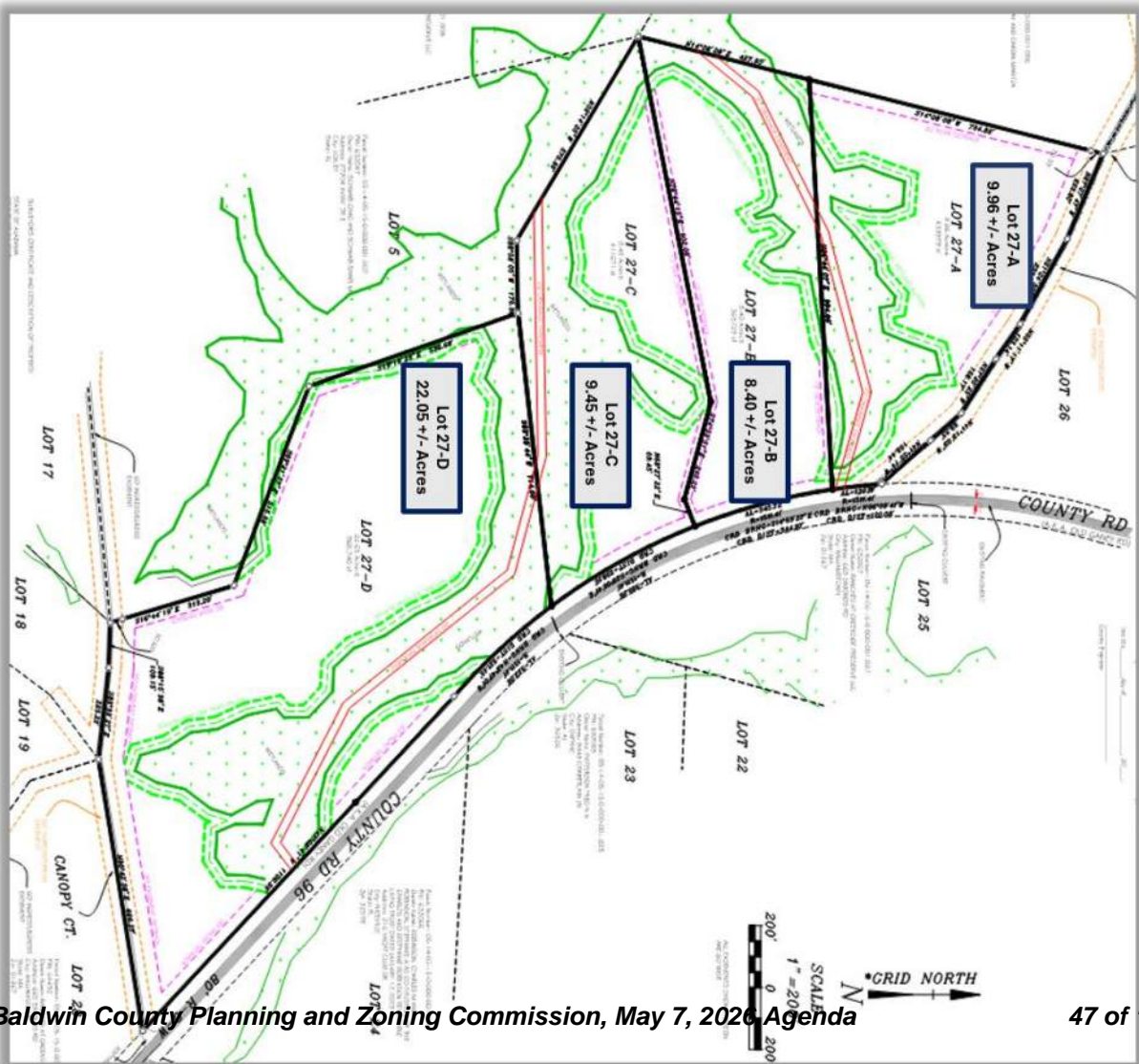


Plat is Enlarged to Show
Details

ZONING : UNZONED
 SETBACKS: (UNLESS SHOWN OTHERWISE)
 FRONT: 30'
 REAR: 30'
 SIDE: 15'
 WETLAND: 30'
 EASEMENT: 30' FROM EDGE OF EASEMENT

Parcel Numbers:
 05-14-05-15-0-000-001,029
 PPIN: G32069
 SMALLEST LOT: 8.40 Acres
 LARGEST LOT: 22.05 Acres
 TOTAL # OF LOTS: 4
 TOTAL AREA: 49.86 Acres
 LINEAR FT. STREETS: 0
 PLANNING DISTRICT: 02
 LOT DENSITY: 1 LOT PER 12.46 ACRES

UTILITY PROVIDERS	
WELL	WATER
SOUTHERN PINE ELECTRIC COOPERATIVE	ELECTRICITY
ONSITE SEPTIC	SEWER





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SPP25-32
Baywood of Point Clear
May 7, 2026

Subject Property Information

Planning District: 8
Zoning: RSF-1, Single Family District
Location: The property is located north of County Rd 34 and west of County Rd 13
Parcel Numbers: 05-46-08-28-0-000-014.000 PIN#: 5735
Lead Staff: Fabia Waters, Associate Planner
Applicant/Owner: BURMEISTER, WILLIAM H OR BONNIE M BURMEISTER OR KATRINA B SCHONEMANN TRUSTEES OR THEIR SUCCESSORS IN TRUST UNDER THE BURMEISTER
Engineer/Surveyor: Chris Lieb, PE. Lieb Engineering
Online Case #: When searching online CitizenServe database, please use SPP25-000032
Attachments: *Within Report*

Subdivision Proposal

Request: Preliminary plat approval for a residential subdivision
Number of Lots: 21
Linear ft of streets: 2,733 ft
Lot setbacks: 30' Front, 30' Rear, 10' and 20' Side Street
Total acreage: 29.54 ac.
Smallest lot size: 30,000 sf.
Density: 0.65 units/acre
Open space: N/a less than 25 lots

Public Utilities and Site Considerations

Public Utilities: Water & Sewer: Fairhope Utilities, Letter dated January 27, 2026
Electrical: Riviera Utilities, Letter dated February 20, 2025

Fire flow: The available fire flow is 2,032 GPM at 20 PSI, adequate setbacks are reflected on the plat.

Traffic study: N/a due to the number of lots proposed

Flood zone: X Zone, no special requirements.

Drainage improve.: Drainage narrative prepared by Chris Lieb, PE. Lieb Engineering. It was reviewed and accepted by the P&Z Permit Engineer.

Wetlands

A wetland report prepared by Craig Martin with Wetland Science identified a non-jurisdictional storm water management area that is proposed to be filled as part of the proposed development. The engineer of record has provided calculations that compensate for the storage of the existing SWMA.

Staff Analysis and Comments

The property owner is requesting a preliminary plat approval for a twenty-one-lot residential subdivision in planning district 8, zoned RSF1. The minimum density permitted within the RSF-1 (Single-Family Residential) zoning district is 1.4 units per acre. The proposed development reflects a density of approximately 0.65 units per acre, which is well below the maximum density allowed.

The proposed subdivision will consist of lots that are 120 feet in width with a minimum area of 30,000 square feet. The applicant has applied a rezoning request for the parcel located immediately west of the subject property, proposing RSF-1 zoning. The approval of this request would negate the local provisions of Planning District 8, to provide a 20-foot landscape buffer that would otherwise be required due to the adjacent BCZ zoning.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. SPP25-32 BAYWOOD OF POINT CLEAR be **Approved with conditions** subject to compliance with the Baldwin County Subdivision Regulations

Specific conditions:

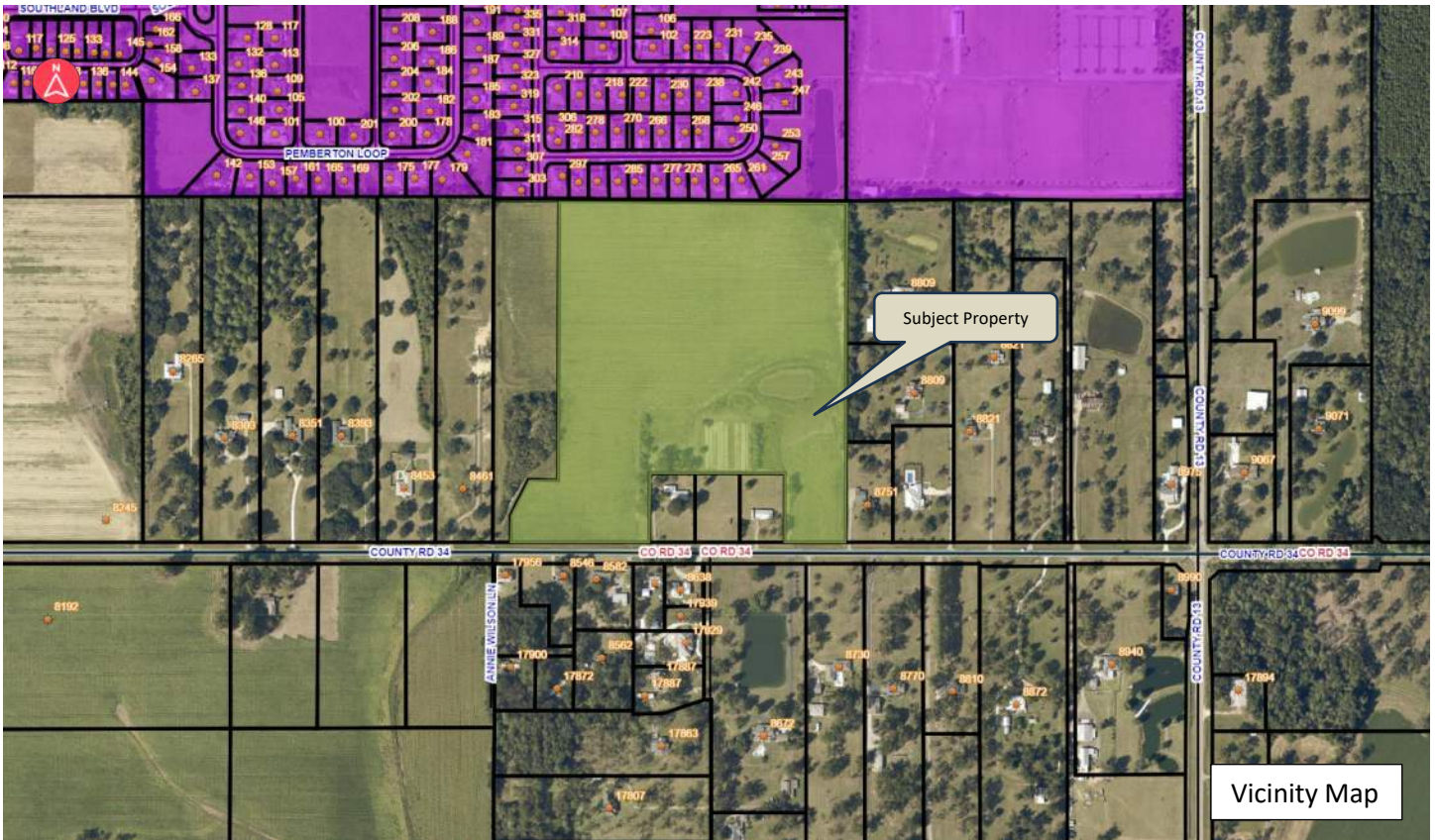
1. If the proposed rezoning of PIN 632816 west of the subject property, is not approved, the applicant shall be required to revise the landscaping plan to reflect a 20-foot landscape buffer along the west property line.
2. Provide a revised preliminary plat reflecting the vacation of the 10' strip along the north property line created by Slide 3033-D.

General Conditions:

1. Compliance with the Baldwin County Subdivision Regulations, including but not limited to submission of a Construction Plan Review and Commercial Turnout Permit to the Baldwin County Planning and Zoning Department for all improvements and system upgrades (including, but not limited to, water main, sewer, and traffic improvements) to be installed with the development.
2. As required by Sections 4.5.6 and 4.5.7, any and all local, state, and federal permits shall be submitted to the County Engineer and Planning and Zoning staff as a component of the construction plans submittal.
3. Effective period is 2 years from approval of the Preliminary Plat.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps

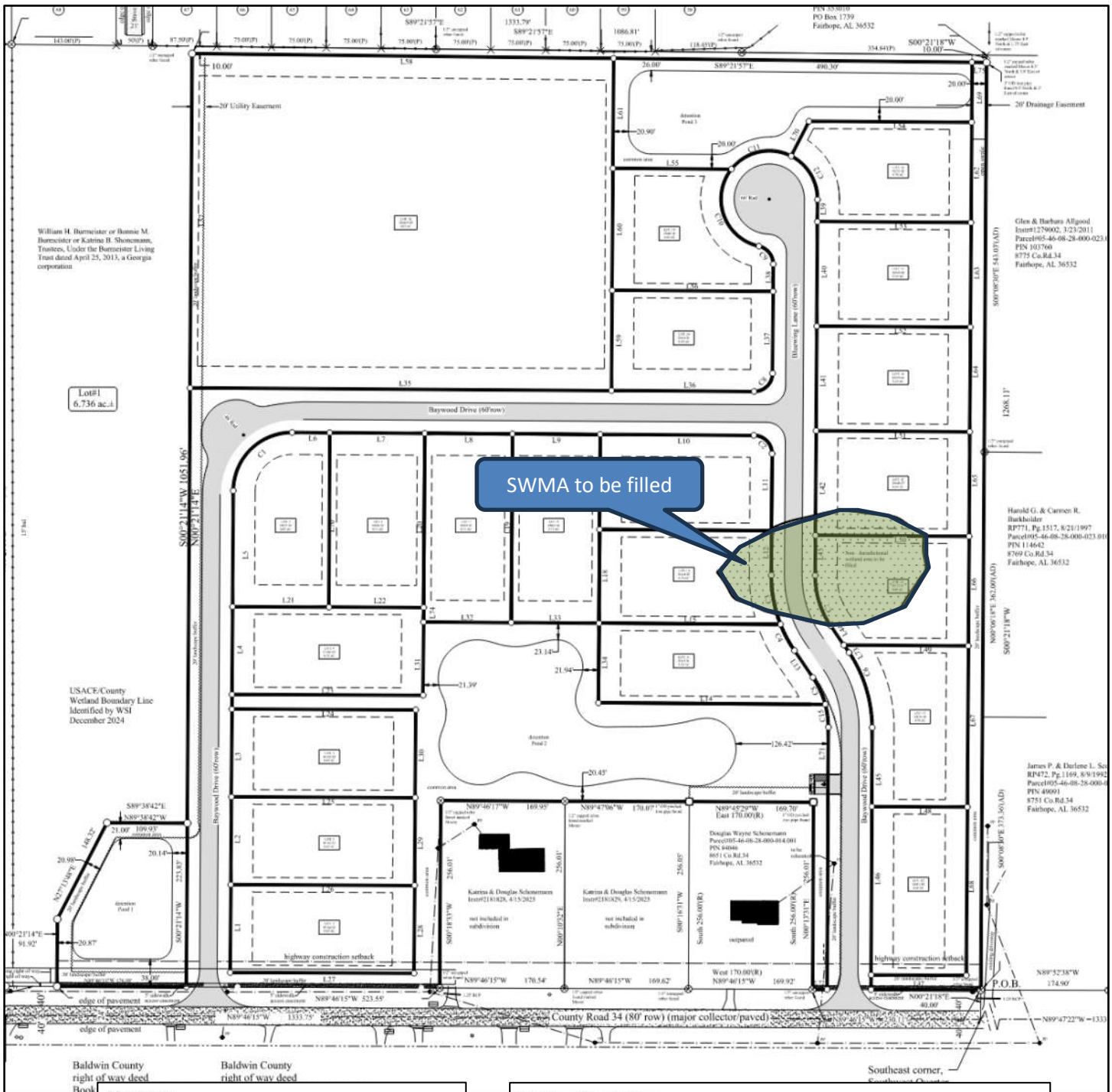


Vicinity Map



Zoning Map

Plat



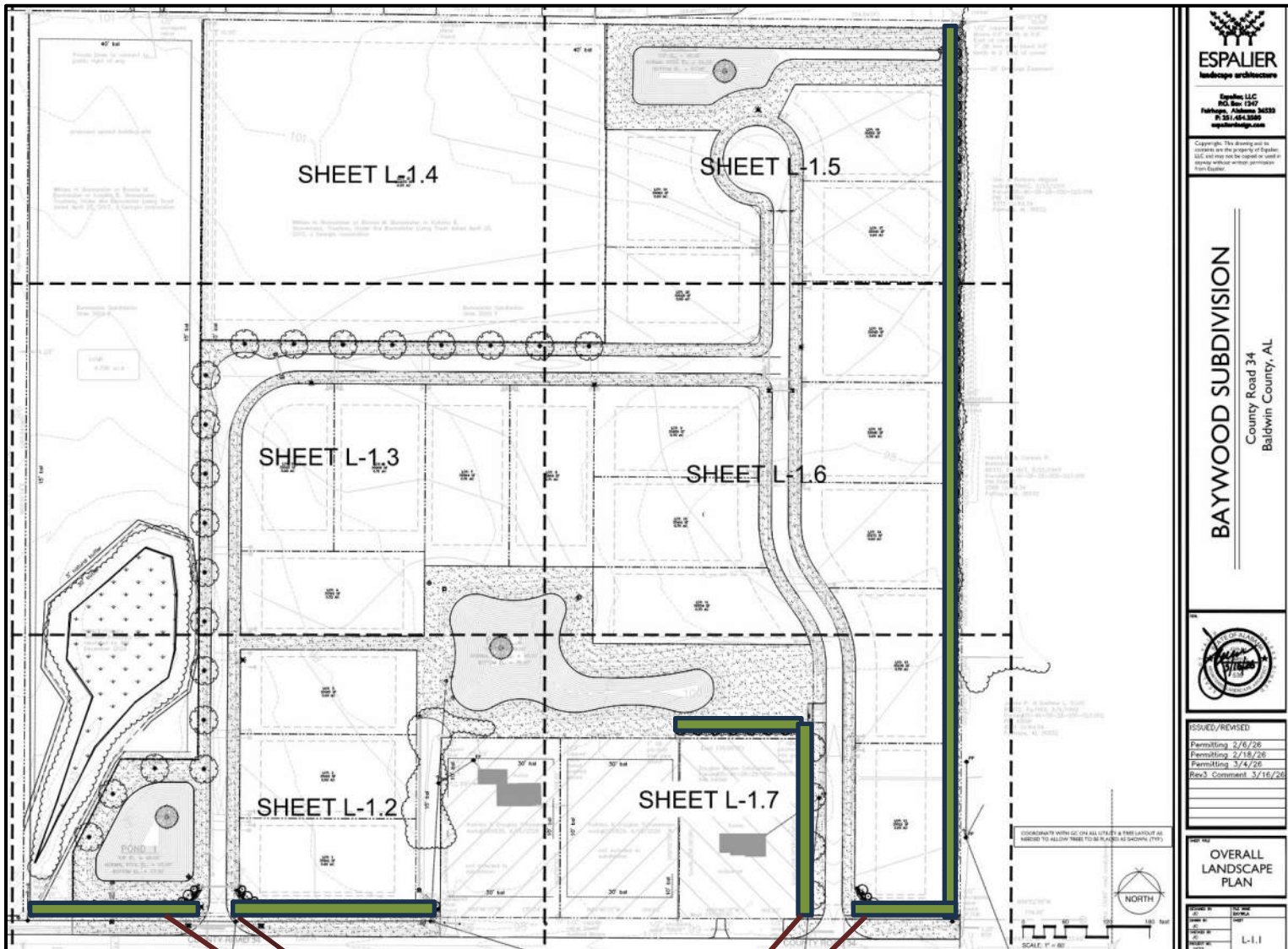
SWMA to be filled

Site Data:
 Zoning - RSF-1 (Baldwin County)
 Planning District - 8
 Number of lots - 21
 Site Area - 29.545 ac.
 Minimum Lot Area (required) - 30,000 sq.ft.
 Smallest Lot Area (measured) - 30,003 sq.ft.
 Linear Ft. of Streets - 2,733 ft.
 Minimum Lot Width @ front bsl - 120'
 Maximum Bldg coverage - NA
 Density - 0.65 units/acre
 Building Setbacks
 Front - 30'
 Side - 10'

Utility Providers
 Electric - Riviera Utilities
 Sanitary Sewer - City of Fairhope
 Water - City of Fairhope
 Gas - City of Fairhope

Property is NOT located within a Special Flood Hazard Area (Zone X) as shown on FEMA maps for Baldwin County (Unincorporated Areas), AL Community#015000, Map#01003CO757M & Map#01003CO780M, effective date 4/19/2019

Landscaping Plan



ESPALIER
landscape architects

Espalier, LLC
P.O. Box 1547
Falkville, Alabama 35555
205.464.3388
esp@espai.com

Copyright: This drawing and its contents are the property of Espalier, LLC and may not be copied or used in any way without written permission from Espalier.

BAYWOOD SUBDIVISION
County Road 34
Baldwin County, AL

ISSUED/REVISED

Permitting	3/6/26
Permitting	2/18/26
Permitting	3/4/26
Rev3 Comment	3/16/26

OVERALL LANDSCAPE PLAN

DATE:	DATE:
BY:	BY:
SCALE:	SCALE:

L-1.1



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SPP26-01
The Orchard at Horseneck
May 7, 2026

Subject Property Information

Planning District: 5
Zoning: Un-zoned
Location: Southeast of US Hwy 98 and Northeast of County Rd 112 ,off of Horseneck Rd
Parcel Numbers: 05-24-03-08-0-000-001.006 PIN: 372300
Lead Staff: Jenny M. Mosley, Planning Tech I
Applicant/Owner: MIKA WIGGINS, MICAH LYN WIGGINS
Engineer/Surveyor: Shumer Consulting LLC , David Shumer / Poly Surveying , J. Brett Orrell
Online Case #: When searching online CitizenServe database, please use SPP26-000001.
Attachments: *Within Report*

Subdivision Proposal

Request: Preliminary Plat Approval for 3 Lot Residential Subdivision
Number of Lots: 3
Linear ft of streets: N/A
Lot setbacks: 30 ft front and rear, 10 ft side, 50 ft Natural Wetland Buffer
Total acreage: 10.05 acres
Smallest lot size: 1.33 acres

Public Utilities and Site Considerations

Public Utilities: Sewer: Septic
Water: North Baldwin Utilities
Electricity: Alabama Power
Fire flow: N/A
Traffic study: N/A
Flood zone: X-9999.0
Drainage improve.: Drainage narrative prepared and stamped by Shumer Consulting LLC , David Shumer, PE.
It was reviewed and accepted by the P&Z Permit Engineer.

Wetlands: Yes

Staff Analysis and Comments

This is a resub of lot 11 of HORSENECK CREEK PLANTATION SUB , Slide #2575 A-D, that will create **3 residential lots**. A Shared Driveway is required to meet the access management plan. The applicant will need to install the major residential shared driveway prior to submitting for the final plat approval.

History: Horseneck Creek Plantation Subdivision final plat was recorded on September 19, 2026.

Staff Recommendation:

Staff recommend that the PRELIMINARY PLAT for Case No. **SPP26-01, The Orchard at Horseneck Subdivision** be **Approved with conditions** subject to compliance with the Baldwin County Subdivision Regulations.

Specific conditions:

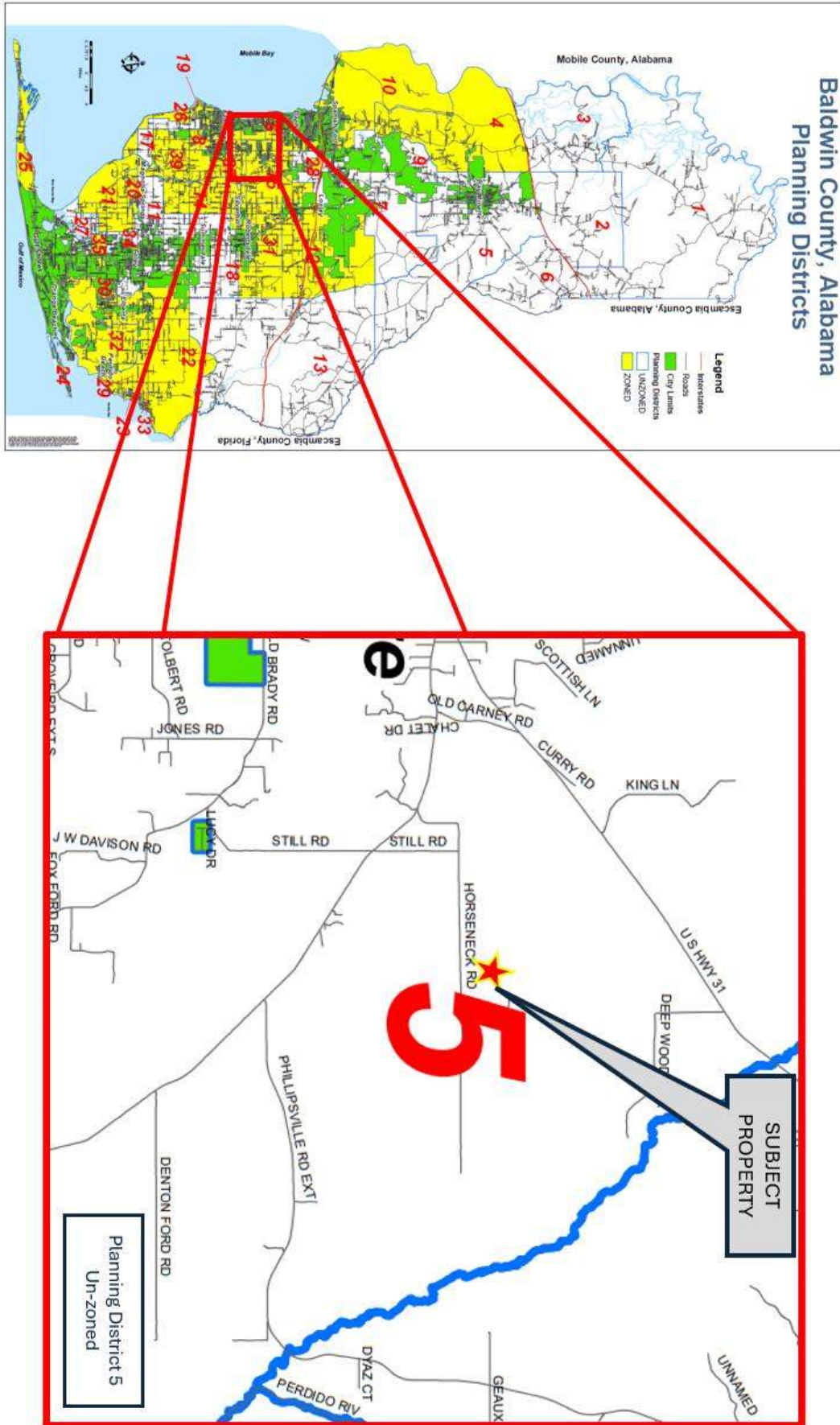
1. The major residential shared driveway (DPC) shall be installed, inspected and accepted before submitting a final plat application.
2. Final Plat Must show location of the major residential shared driveway (DPC) and must meet the Access Management Plan Specification.

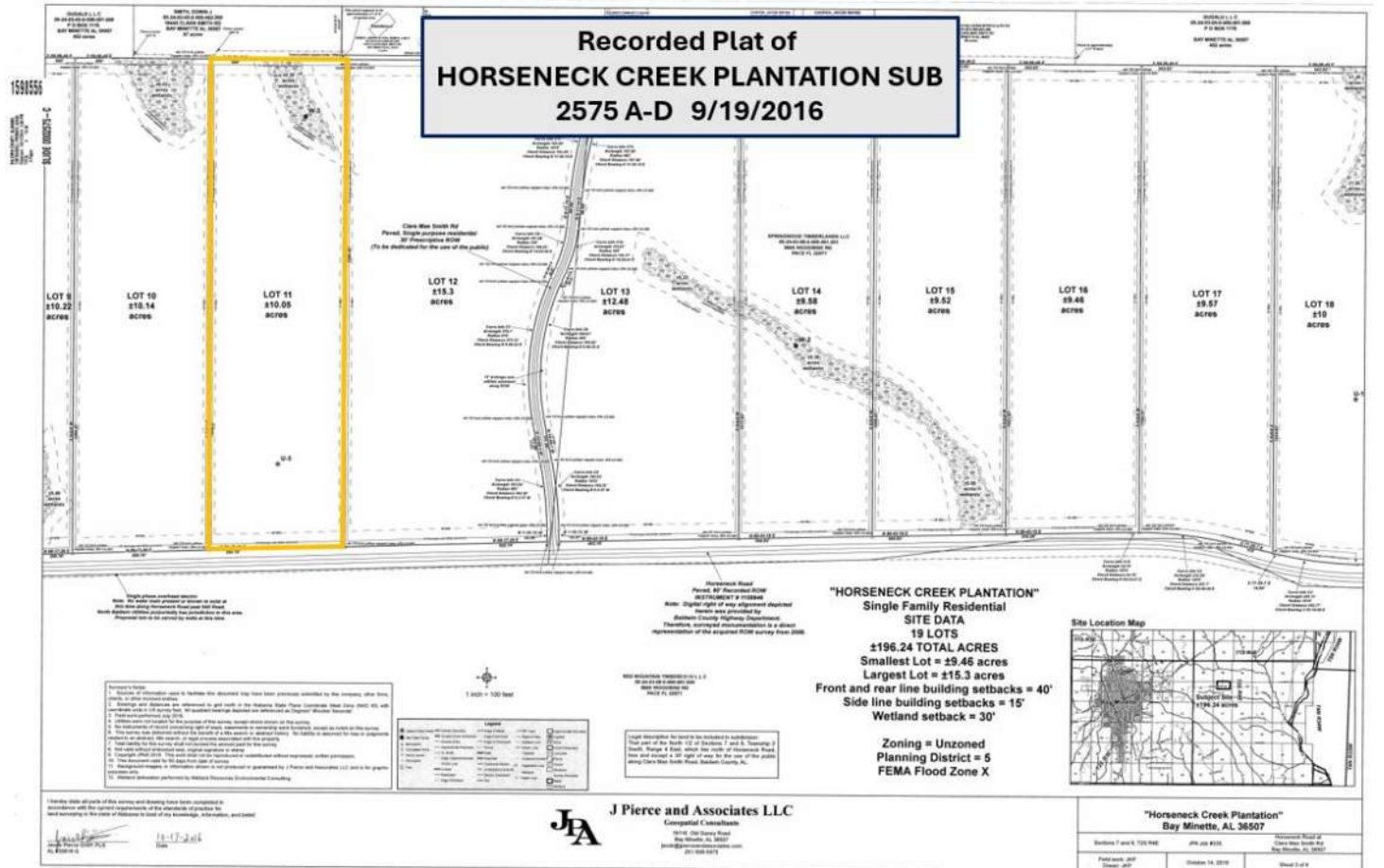
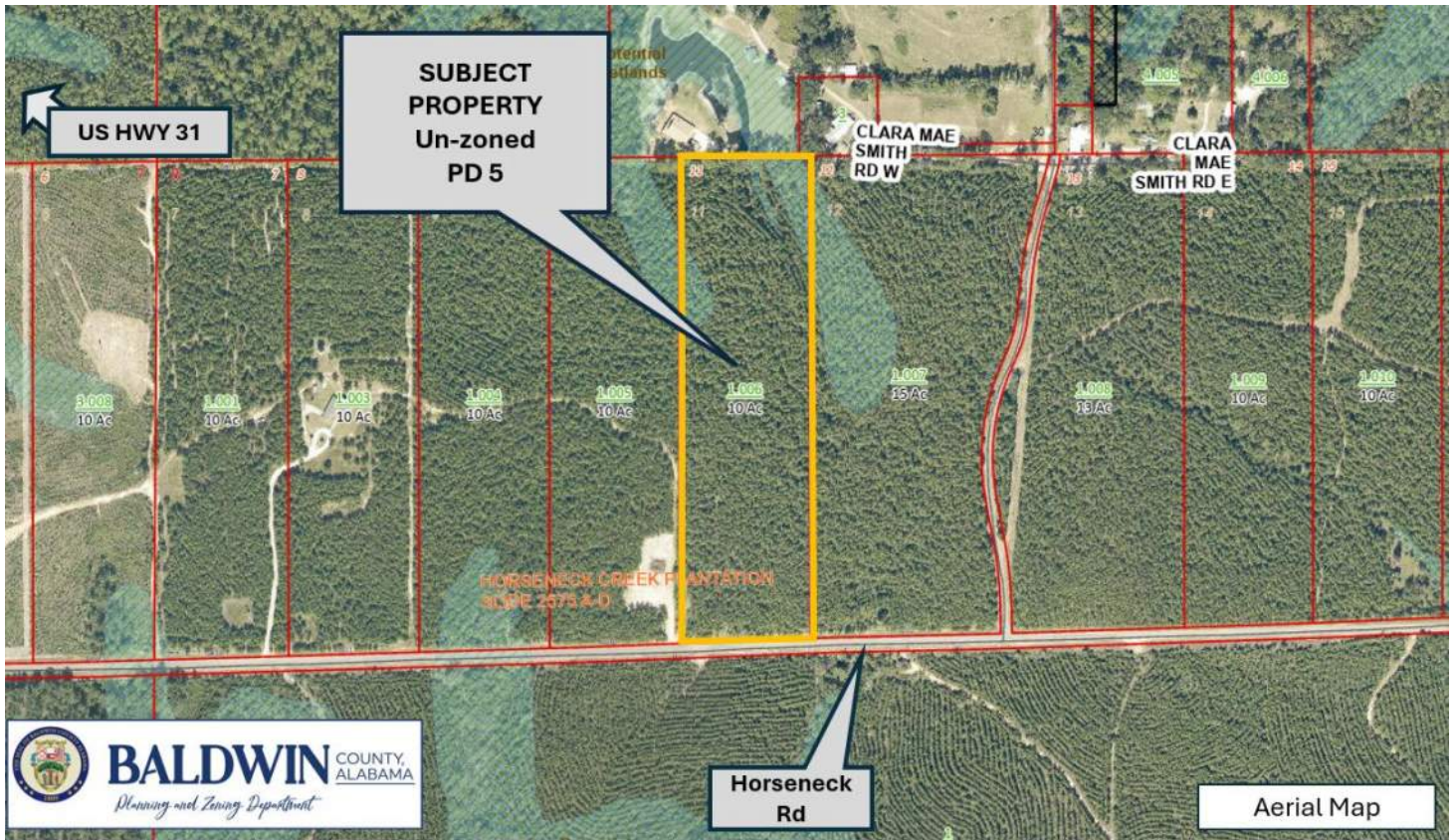
General Conditions:

1. Compliance with the Baldwin County Subdivision Regulations, including but not limited to submission of a Construction Plan Review and Commercial Turnout Permit to the Baldwin County Planning and Zoning Department for all improvements and system upgrades (including, but not limited to, water main, sewer, and traffic improvements) to be installed with the development.
2. As required by Sections 4.5.6 and 4.5.7, any and all local, state, and federal permits shall be submitted to the County Engineer and Planning and Zoning staff as a component of the construction plans submittal.
3. Effective period is 2 years from approval of the Preliminary Plat.
4. Any future development of Subject Propoerty shall require all applicable local, state and federal permits prior to commencement.

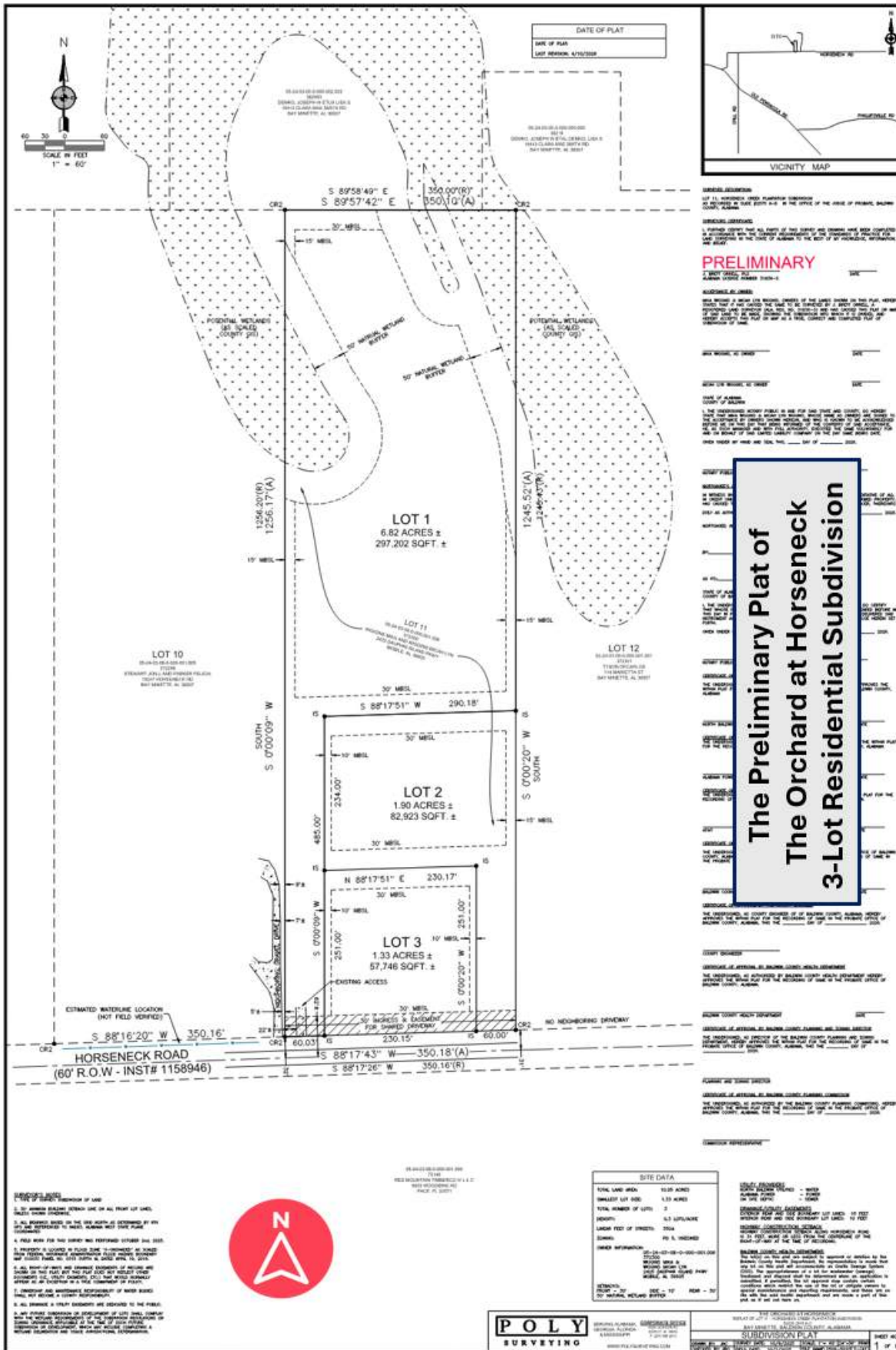
To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps





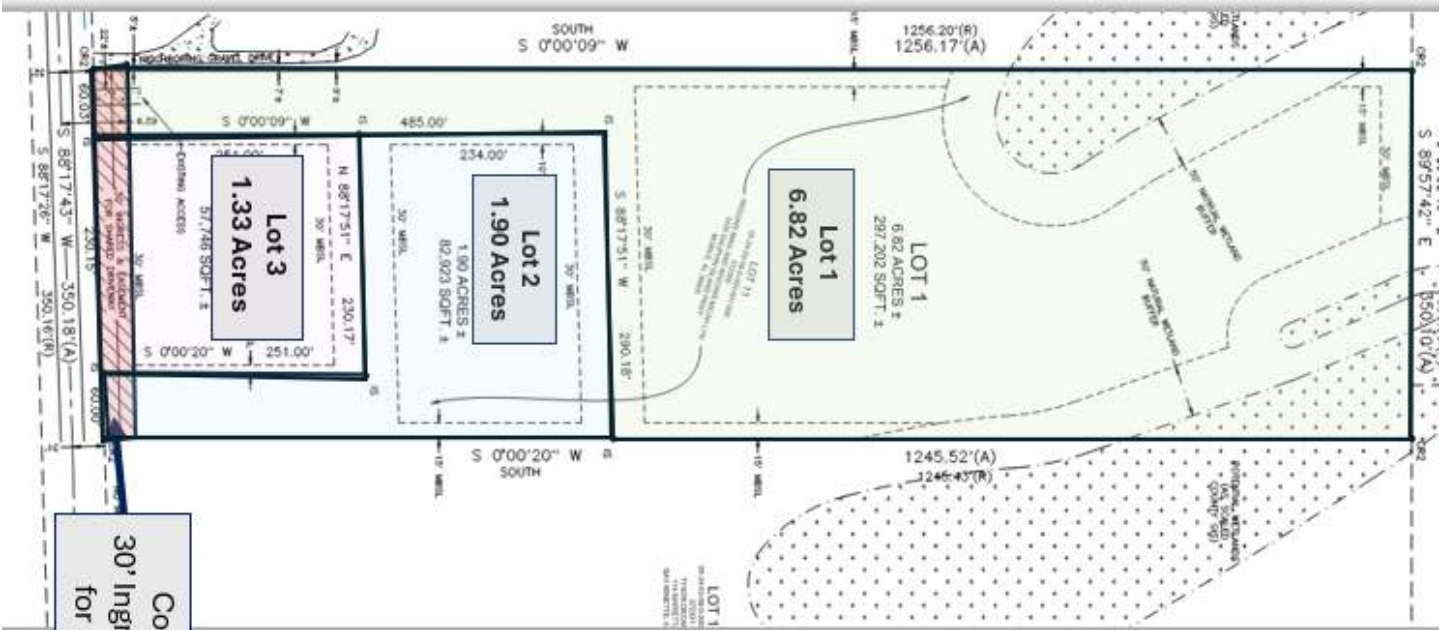
Plat



Enlarged Plat

**The Preliminary Plat of
The Orchard at Horseneck
3-Lot Residential Subdivision**

SITE DATA	
TOTAL LAND AREA:	10.05 ACRES
SMALLEST LOT SIZE:	1.33 ACRES
TOTAL NUMBER OF LOTS:	3
DENSITY:	0.3 LOTS/ACRE
LINEAR FEET OF STREETS:	350±
ZONING:	PD 5, UNZONED
OWNER INFORMATION:	05-24-03-08-0-000-001,006 372300 WIGGINS MIKA & WIGGINS MICAH LYN 2425 DAUPHIN ISLAND PKWY MOBILE, AL 36605
SETBACKS:	FRONT - 30' 50' NATURAL WETLAND BUFFER
	SIDE - 10'
	REAR - 30'



Common Drive
30' Ingress & Easement
for shared drive





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SPP26-05

JWG Estates

May 7, 2026

Subject Property Information

Planning District:	18
Zoning:	Unzoned
Location:	The subject property is located north of Underwood Rd and west of Daugherty Rd
Parcel Numbers:	05-54-04-18-0-000-003.001 PIN#: 78655
Lead Staff:	Fabia Waters, Associate Planner
Applicant/Owner:	Deep Drop Investments LLC
Engineer/Surveyor:	Smith Clark & Associates LLC
Online Case #:	When searching online CitizenServe database, please use SPP26-000005
Attachments:	<i>Within Report</i>

Subdivision Proposal

Request:	Preliminary plat approval for a residential subdivision
Number of Lots:	3
Linear ft of streets:	N/A
Lot setbacks:	35' Front, 30' Rear and 10' Side
Total acreage:	1.99 ac
Smallest lot size:	20,000 sf

Public Utilities and Site Considerations

Public Utilities:	<u>Water</u> : Riviera Utilities Letter dated March 4, 2026 <u>Electrical</u> : Baldwin EMC . Letter dated March 4, 2026 <u>Sewer</u> : BCSS, Summerdale plant. Letter dated March 23, 2026
Fire flow:	Fire flow results were 2004 GPM at 20 PSI, adequate setbacks are reflected on the plat.
Traffic study:	N/A
Flood zone:	X Zoned, no special requirements.
Drainage improve.:	Drainage narrative prepared by Catherine Clark, PE, <i>Geographic Consulting</i> , it was reviewed and accepted by the P&Z Permit Engineer.
Wetlands	No wetlands were identified on the subject property

Staff Analysis and Comments

The applicant is proposing a three-lot residential subdivision. Lots 1 and 2 are proposed to be accessed via a shared driveway, while Lot 3 will continue to utilize the existing driveway connection to Underwood Road.

The proposed lots will be served by public water and sewer. Lots 1 and 2 will be connected to underground power, while the existing overhead power service to Lot 3 will remain. The proposed shared access for Lots 1 and 2 must comply with the requirements of the Access Management Plan.

Staff Recommendation:

Staff recommends that the PRELIMINARY PLAT for Case No. SPP26-05 JWG Estates be **Approved with conditions** subject to compliance with the Baldwin County Subdivision Regulations

Specific conditions:

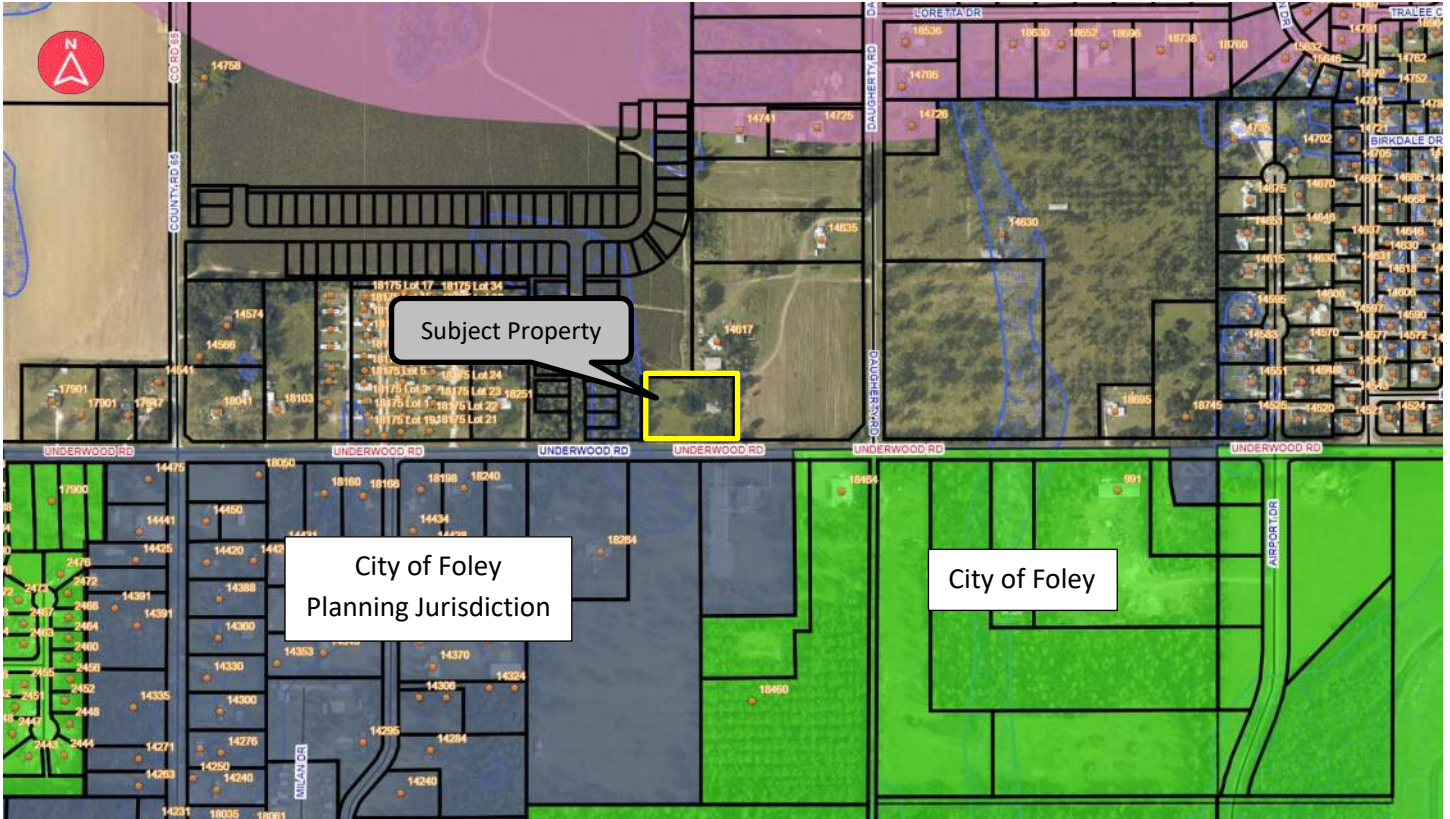
1. Applicant shall apply and obtain approval for a Commercial Turnout Permit(CTP)
2. The applicant must submit a Final Plat application, which will be reviewed and administratively approved by staff following the installation, inspection, and approval of the shared residential driveway. Once the Final Plat is approved, the applicant will have 90 days to circulate the plat for signatures and record it

General Conditions:

1. Compliance with the Baldwin County Subdivision Regulations, including but not limited to submission of a Construction Plan Review and Commercial Turnout Permit to the Baldwin County Planning and Zoning Department for all improvements and system upgrades (including, but not limited to, water main, sewer, and traffic improvements) to be installed with the development.
2. As required by Sections 4.5.6 and 4.5.7, any and all local, state, and federal permits shall be submitted to the County Engineer and Planning and Zoning staff as a component of the construction plans submittal.
3. Effective period is 2 years from approval of the Preliminary Plat.

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

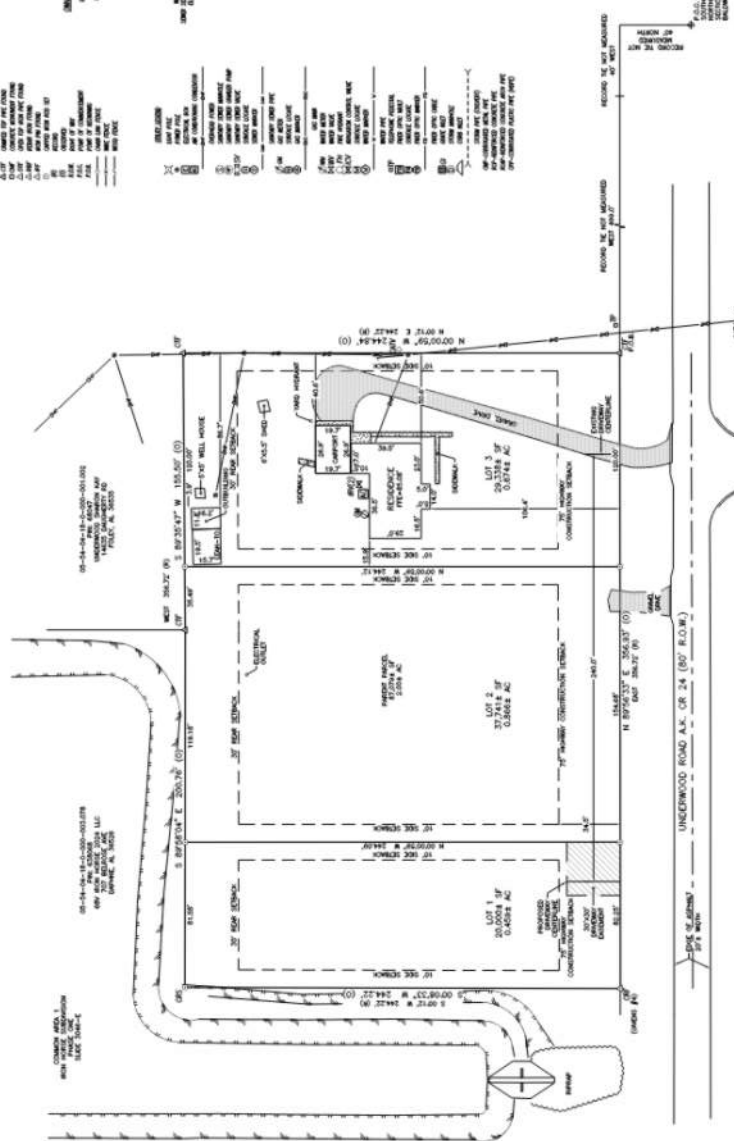
Locator Maps



JWG ESTATES

CR 10	SPLIT UNDERWOOD ROAD
CR 10	
W TECHOWEE AVE	
POLY APPORT	

UNITS: 1/8" = 10'



ACKNOWLEDGEMENT OF FINES:
 THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS SUBJECT TO THE FINES AND PENALTIES OF THE BALDWIN COUNTY ZONING ORDINANCES, AND THAT THE PROPERTY IS IN VIOLATION OF SAID ORDINANCES.

ACKNOWLEDGEMENT OF SURVEY:
 I, THE SURVEYOR, HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS SUBJECT TO THE FINES AND PENALTIES OF THE BALDWIN COUNTY ZONING ORDINANCES, AND THAT THE PROPERTY IS IN VIOLATION OF SAID ORDINANCES.

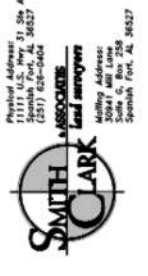
ACKNOWLEDGEMENT OF DEED:
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JWG ESTATES
 A 3 LOT SUBDIVISION EXHIBIT
 UNDERWOOD ROAD
 FOLEY, ALABAMA

DATE	12/17/24	BY	JWG
SCALE	1" = 30'		
DATE	25-51	BY	JWG

ACKNOWLEDGEMENT OF FINES:
 THIS IS TO CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS SUBJECT TO THE FINES AND PENALTIES OF THE BALDWIN COUNTY ZONING ORDINANCES, AND THAT THE PROPERTY IS IN VIOLATION OF SAID ORDINANCES.

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ACKNOWLEDGEMENT OF EASEMENT:
 I, THE SURVEYOR, HEREBY CERTIFY THAT THE ABOVE DESCRIBED PROPERTY IS SUBJECT TO THE FINES AND PENALTIES OF THE BALDWIN COUNTY ZONING ORDINANCES, AND THAT THE PROPERTY IS IN VIOLATION OF SAID ORDINANCES.



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SRP26-04
Determann Place
May 7, 2026

Subject Property Information

Planning District: 16
Zoning: RSF-2
Location: Subject property is located in the Montrose Community on North Winding Brook Dr
Parcel#: 05-43-09-30-0-000-040.003 **PIN#:** 254436
Parcel#: 05-43-09-30-0-000-041.004 **PIN#:** 344494
Lead Staff: Elizabeth Wilson, Planning Technician
Applicant: Seth Moore, Moore Surveying
Property Owner: Jason & Emily Determann
Online Case #: SRP26-000004

Subdivision Proposal

Request: Remove the lot line between two existing lots of record located within two separate subdivisions.
Number of Lots: 1
Linear ft of streets: N/A
Lot setbacks: 30' Front, 30' Rear, 10' Side
Total acreage: 1.06 acres

Staff Analysis and Comments

The applicant is requesting to remove a lot line between two lots of record located within two separate subdivisions. The western parcel is within Red Gulley Subdivision, recorded on Slide 0162-A. The eastern parcel is Lot 2 of Winding Brook Place Subdivision, Slide 2118-F. The property owners would like to request combining the two parcels into one replated lot. This request is a major change per Section 4.8(a) and must be approved by the planning commission.

Staff Recommendation:

Staff recommends that the REVISED PRELIMINARY PLAT for Case No. SRP26-04 Determann Place be **Approved** subject to compliance with the Baldwin County Subdivision Regulations.

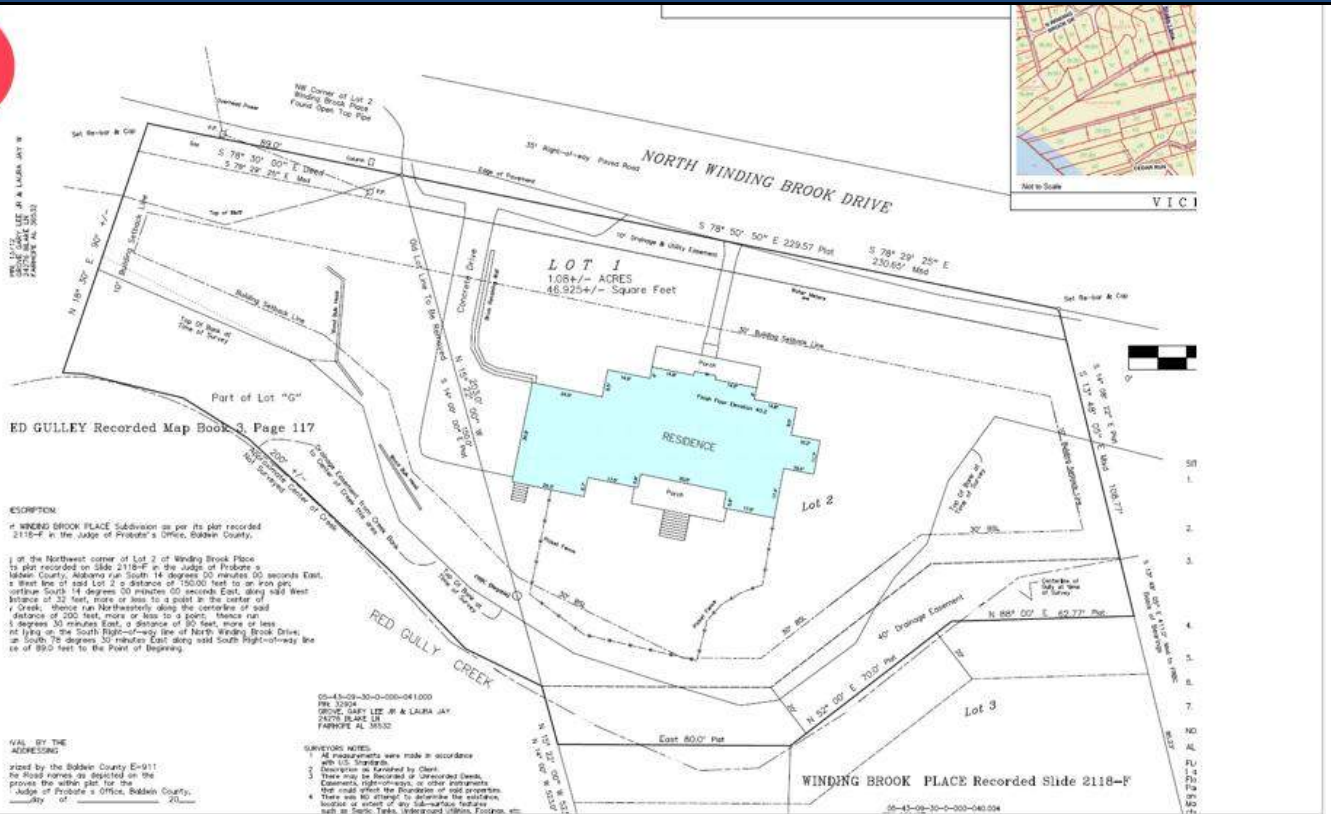
Specific conditions:

1. Revise wetland note to reflect a 5' buffer around the non-jurisdictional area.

Locator Maps



Survey of the proposed Line Movement





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SRP26-07 & SV26-07
Replat of Lots 1 & 8 of Lillian Estates
Major Change to Recorded Subdivision and Variance to Regulation 3.2 Lot, Flag.
May 7, 2026

Subject Property Information

Planning District: 22
Zoning: RA, Rural Agriculture
Location: West side of County Road 91, North of Hwy 98
Parcel#: 05-52-04-17-0-000-001.002 **PIN#:** 392074
Parcel#: 05-52-04-17-0-000-001.015 **PIN#:** 396254
Parcel#: 05-52-04-17-0-000-001.000 **PIN#:** 75449
Lead Staff: Elizabeth Wilson, Planning Technician
Property Owner: Lillian Land & Timber PO BOX 2034 Fairhope, AL 36532
Engineer/Surveyor: David Lowery Surveying Inc, Stapleton, AL
Online Case #: SRP26-000007 and SV26-000007
Attachments: *Within Report*

Subdivision Proposal

Request: Request to Move northern outer Lot Line, creating a 60ft Flag greater than 800ft long
Number of Lots: 2
Linear ft of streets: N/A
Lot setbacks: 40' Front, 40' Rear, 15' Side
Total acreage: 9.4 Acres Lot 1, 10.8 Acres Lot 8, 161 Acres Flag Lot

Staff Analysis and Comments

Lillian Estates Subdivision was recorded on Slide 2811-A in December 2021. The original request was for a 14-lot subdivision, designed using frontage lots and flag lots. The northernmost (Lots 1 & 8) and southernmost lots (Lots 7 & 14) contain a 60ft easement providing access to the adjoining parcel, PPIN 75449. The current request is to move the northern boundary line of Lillian Estates south by 60 feet to create a flag access for PPIN 75449, replacing the existing easement. The proposed flag will be 2,638 feet long, exceeding the subdivision regulation requirement, which states the flag portion of the lot cannot be greater than 800ft in length; therefore, a variance must be approved prior to the approval of the plat revision.

If both cases are approved, a Subdivision Exemption for a common lot line move will be required prior to recording to combine the flag portion with the existing PPIN 75449.

Because there are existing easements and no other hardships on the land, staff recommends DENIAL of SV26-07. The submitted revised plat request can only be approved if the Planning Commission elects to approve the variance; however, with revisions, staff could support the revised plat request.

Staff Recommendation:

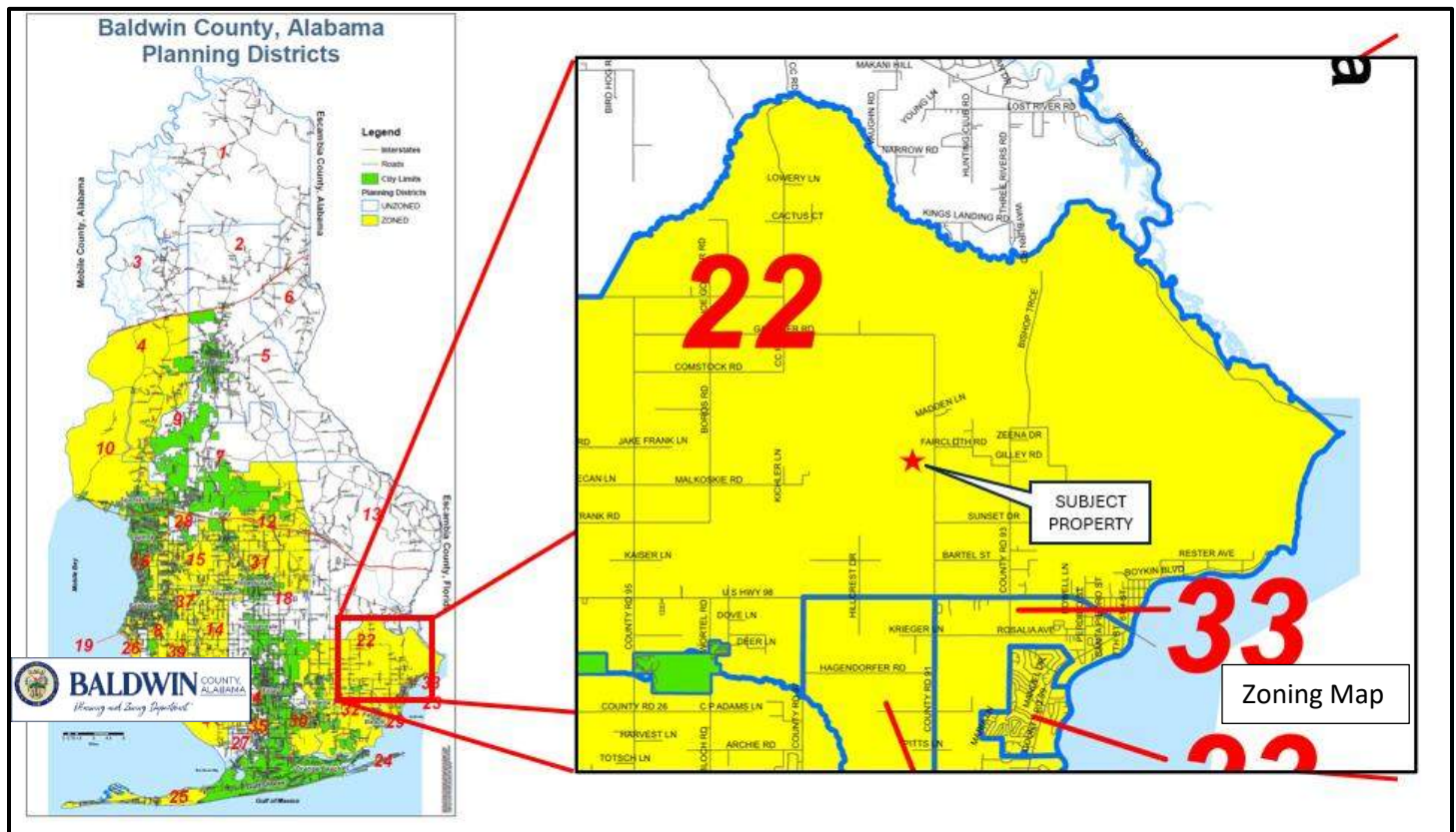
Staff recommends that the SUBDIVISION VARIANCE for case SV26-07 be **DENIED**. If the Planning Commission chooses to approve the variance request, staff would recommend **APPROVAL** of the REVISED PRELIMINARY PLAT for Case No. SRP26-07, subject to a submitted and approved COMMON LOT LINE EXEMPTION to combine the new flag with existing PPIN 75449 prior to recording of the replat.

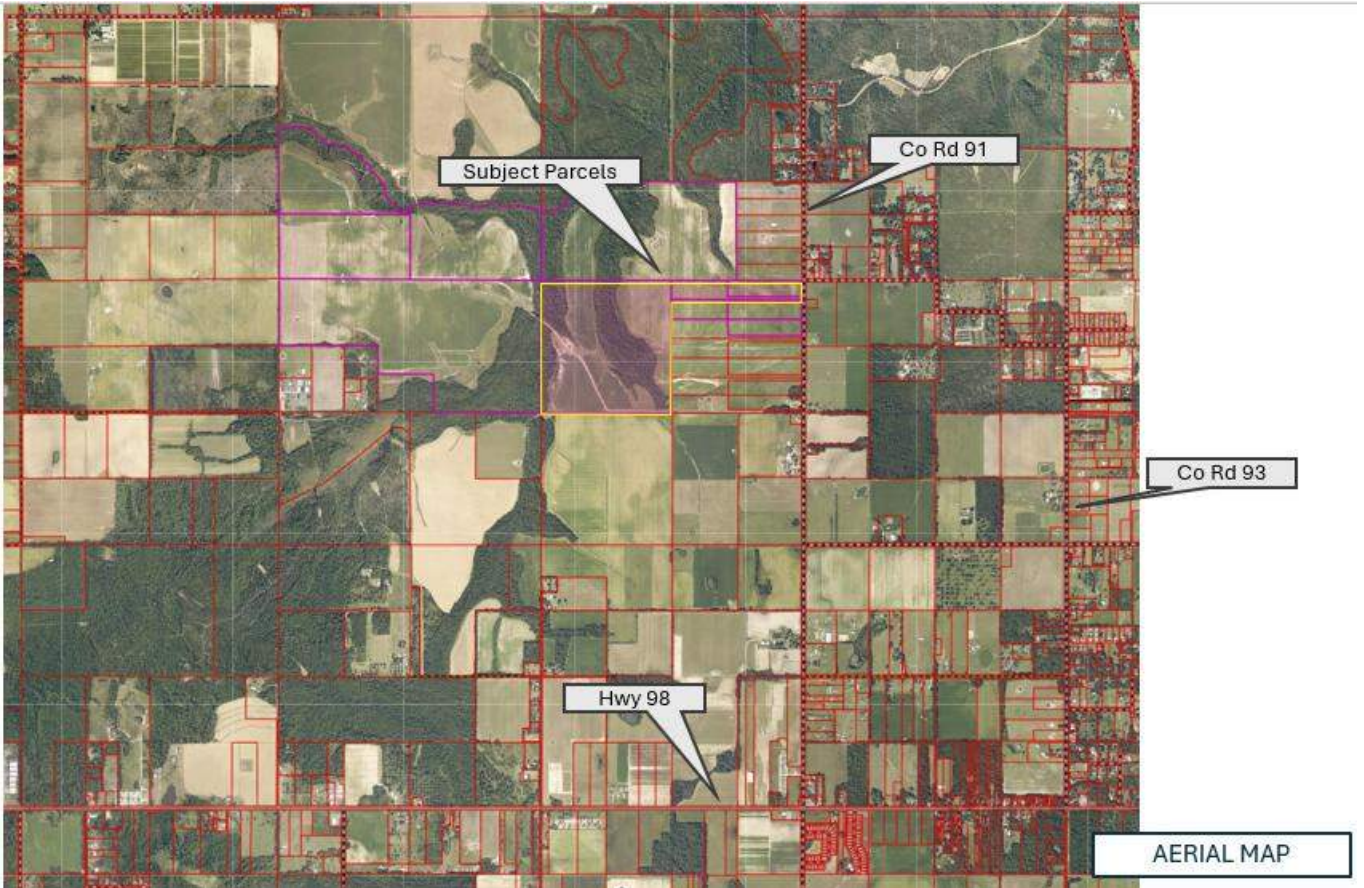
Specific conditions if approved:

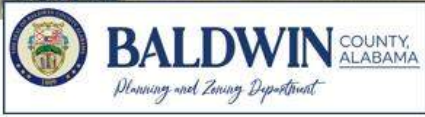
1. Submit an application and obtain approval for an exemption of a common property line move between PIN 75449 and the newly created flag portion.
2. Circulate a replat for signatures as outlined in Section 4.2(a)(4).

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage : <https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

Locator Maps

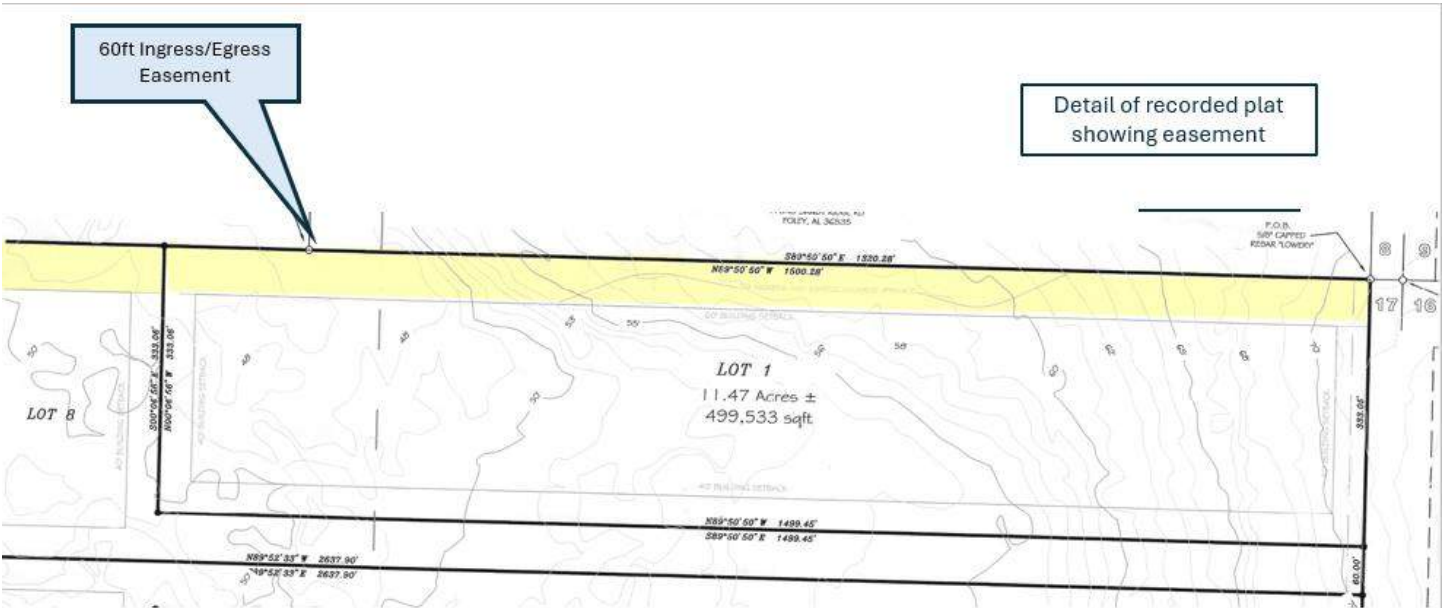






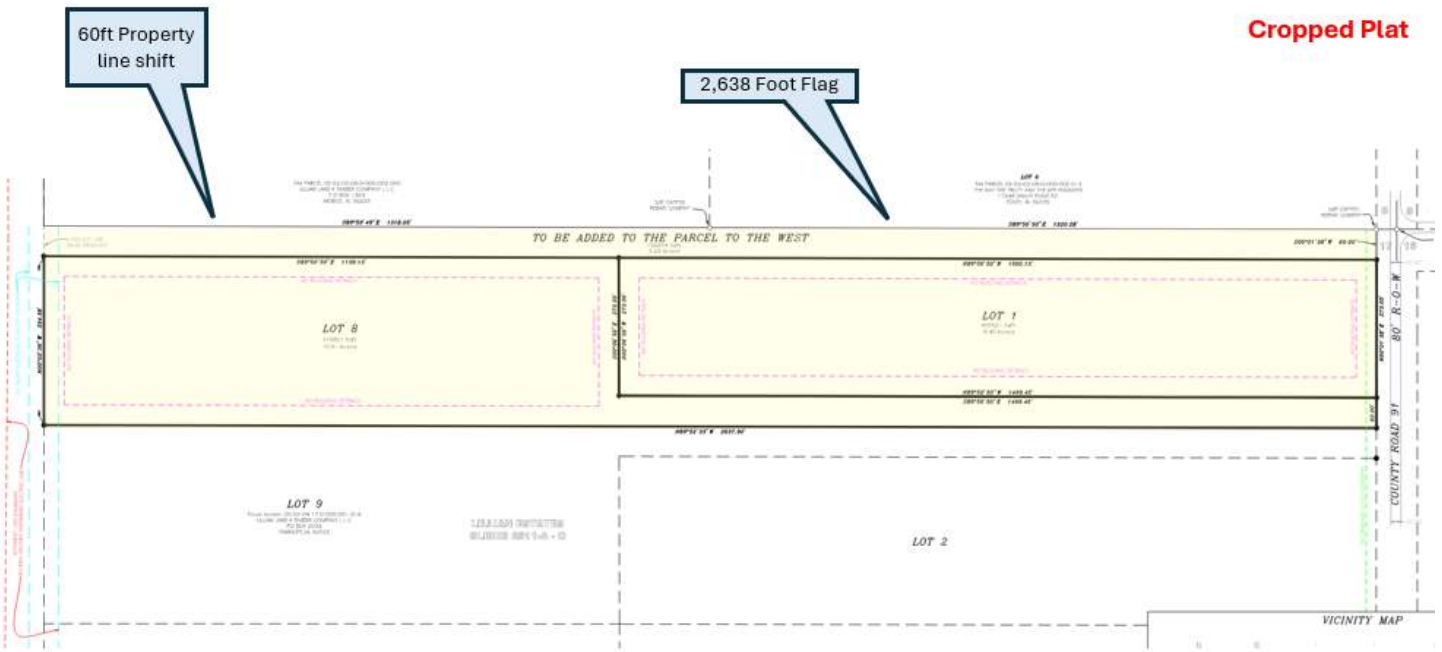
Detailed AERIAL MAP

Existing Easement from Slide 2811-A

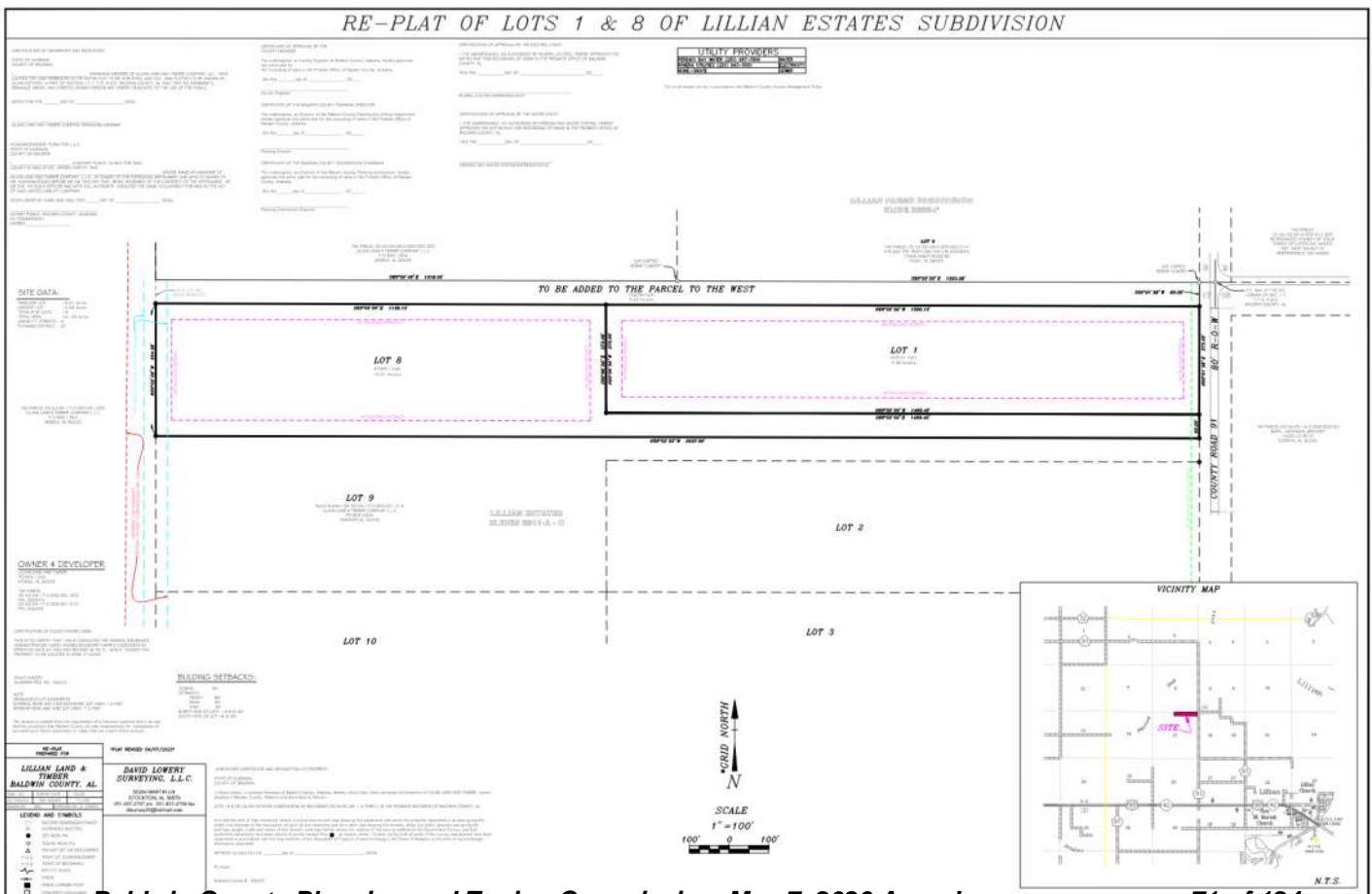


Existing Easement

Proposed Revised Plat



Proposed Replat





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SV26-03 (SV26-000003)
Woodmont Ph 2 Lot 120 Variance Request
Variance from Subdivision Regulations, Section 5.1.1, Building Setback Requirements
May 7, 2026

Subject Property Information

Planning District: 18
General Location: Lot 120, Woodmont Phase 2 Subdivision, east side of Troon Drive
Physical Address: 15082 TROON DR FOLEY AL 36535
Parcel Numbers: 05-54-03-07-0-000-021.028
PIN: 305537
Zoning: Unzoned
Total Property: 11,842 SF
Total # Parcels requested: N/A
Applicant: No Limit Renovation and Handyman Service
HARVEY JOHNSON
19445 County Road 12 S
Foley AL 36535
Owner: MCCOOL, CLAYTON
15082 TROON DR
FOLEY, AL 36535
Lead Staff: Jenny Mosley, Planning Tech I
Attachments: *Within Report*

SUMMARY

The applicant is requesting a variance from the Front building setback line to allow for an attached garage. Existing dwellings are constructed within the allowable setbacks. The applicant needs to extend 4' into the front building setback, making the front building setback 26' from the front property line on the mid-block bulb out/traffic circle. Staff recommends denial of the subdivision variance per **Article 8, Section 8.1 (e) , Baldwin County Subdivision Regulations:**

- (e) Inconvenience, financial concerns, or self-imposed conditions shall not be considered as a hardship for the purpose of granting the variance.

1. The purpose of this Variance is to allow:

Applicant's response: Would like to encroach over the cul de sac set back line 4 ft in order to allow the garage addition corner to line up with the existing corner of the home. Current plans show the addition corner being set 4ft beyond the existing corner due to the existing set back lines. Please approve variance to allow homeowner to have a cleaner more cohesive look to his addition. Thanks

2. Where it is found that extraordinary hardships or practical difficulties may result from strict compliance with the subdivision regulations and/or the purposes of the subdivision regulations may be served to a greater extent by an alternative proposal, the Baldwin County Planning and Zoning Commission may approve variances to these subdivision regulations so that substantial justice may be done and the public interest secured, provided that such variance shall not have the effect of nullifying the intent and purpose of these regulations. The variance, if approved, shall be noted on the Final Plat. A variance shall not be approved unless found to be appropriate under the factors below.

Applicant's response: Would like to encroach over the cul de sac set back line 4 ft in order to allow the garage addition corner to line up with the existing corner of the home. Current plans show the addition corner being set 4ft beyond the existing corner due to the existing set back lines. Please approve variance to allow homeowner to have a cleaner more cohesive look to his addition. Thanks

3. Please explain how the granting of the variance will not be detrimental to the public safety, health, or welfare or injurious to other property.

Applicant's response: CURRENT ROAD SETBACK IS NOT ENCROACHED BY THE ADDITION. THE CUL DE SAC IS WHAT IS PREVENTING US FROM MAINTAINING PROPER SET BACK. WE ARE STILL OVER 30FT AWAY FROM REGULAR STREET TRAFFIC PATTERN.

4. Please explain how the conditions upon which the request for a variance is based are unique to the property for which the variance is sought.

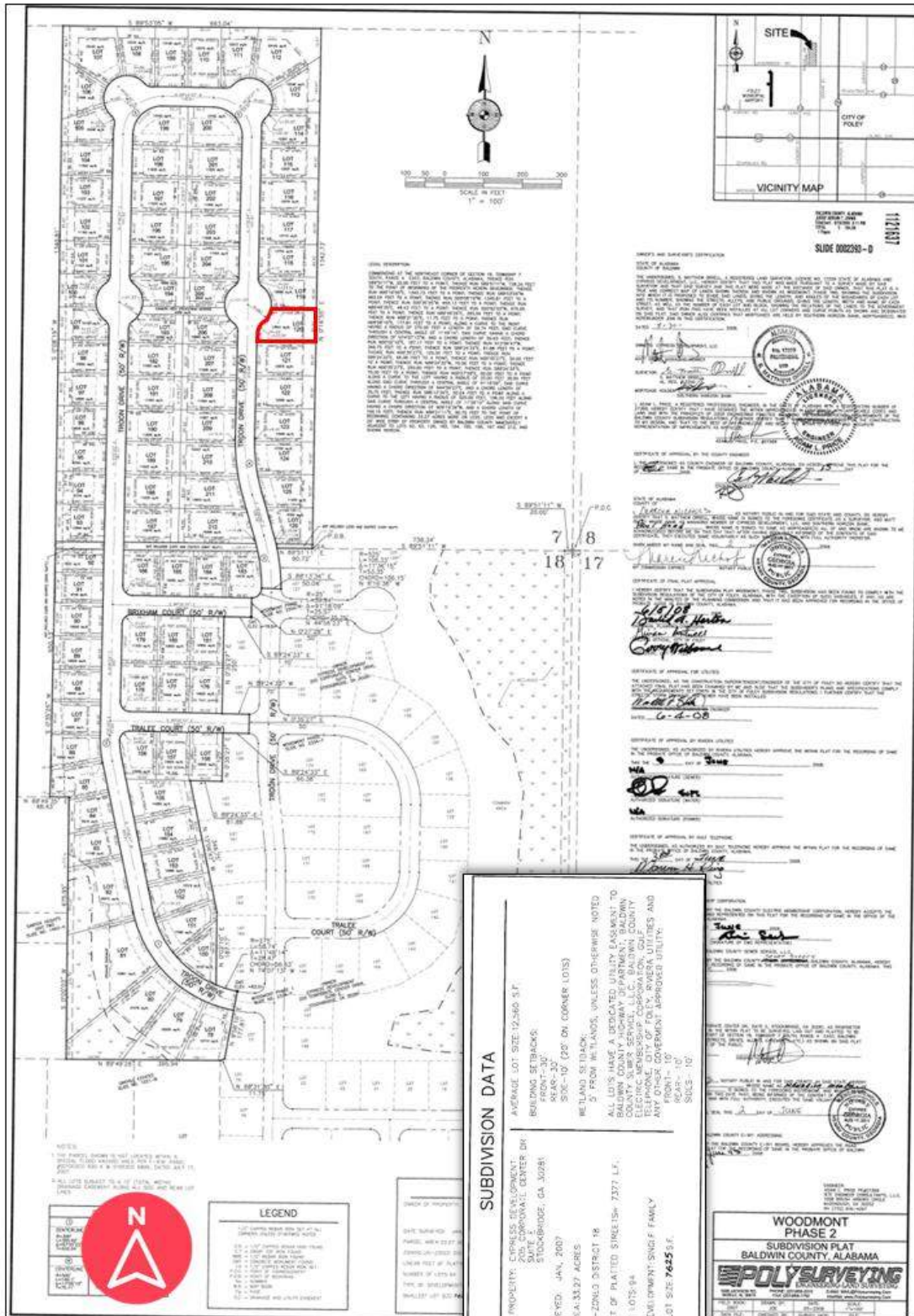
Applicant's response: SEE ABOVE

5. Please explain how, because of the particular physical surroundings, shape, or topographical conditions of the specific property involved, a particular hardship to the owner would result, as distinguished from a mere inconvenience, if the strict letter of these regulations is carried out.

Applicant's response: ADDITION WILL NOT LINE UP WITH GARAGE.

6. Please explain whether the variance will not in any manner vary the provisions of other adopted policies and regulations of the Baldwin County Commission.

Applicant's response: THE ADDITION IS WITHIN SETBACK OF THE ROAD.



SUBMISSION DATA

OWNER OF PROPERTY: CRESSK DEVELOPMENT
 205 CORPORAL CENTER DR
 SUITE 2
 DUNWOOD, GA 30286

DATE SURVEYED: JAN, 2007
 PARCEL: AWA 3327 AGRES

JOINING UN-ZONED DISTRICT 18
 LINEAR FEET OF PLATTED STREETSW: 7377 LF.
 NUMBER OF LOTS: 94
 TYPE OF DEVELOPMENT: SINGLE FAMILY
 SMALLEST LOT SIZE: 7625 S.F.

AVERAGE LOT SIZE: 12,586 S.F.
 BUILDING SETBACKS:
 FRONT- 30'
 SIDE- 10' (20' ON CORNER LOTS)
 REAR AND SETBACKS, UNLESS OTHERWISE NOTED

ALL LOTS HAVE A DEDICATED UTILITY EASEMENT TO
 BALDWIN COUNTY WATER AND SEWERAGE DEPARTMENT
 COUNTY WATER SERVICE, L.L.C., BALDWIN COUNTY
 ELECTRIC MEMBERSHIP CORPORATION, GOLF
 COURSE AND COUNTRY CLUB, UTILITIES AND
 ANY OTHER GOVERNMENT APPROVED UTILITY.

**WOODMONT
 PHASE 2
 SUBDIVISION PLAT
 BALDWIN COUNTY, ALABAMA**

POLY SURVEYING
 ENGINEERING AND SURVEYING
 1121337
 SLIDE 000293-D

**RECORDED PLAT ENLARGED TO
SHOW LOT 120**



SUBDIVISION DATA

OWNER OF PROPERTY: CYPRESS DEVELOPMENT
 209 CORPORATE CENTER DR
 SUITE F
 STOCKBRIDGE, GA 30281

DATE SWAPPED: JAN, 2007

PARCEL AREA: 33.27 ACRES

ZONING: UN-ZONED DISTRICT 18

LINEAR FEET OF PLATTED STREET: 7327 L.F.

NUMBER OF LOTS: 94

TYPE OF DEVELOPMENT: SINGLE FAMILY

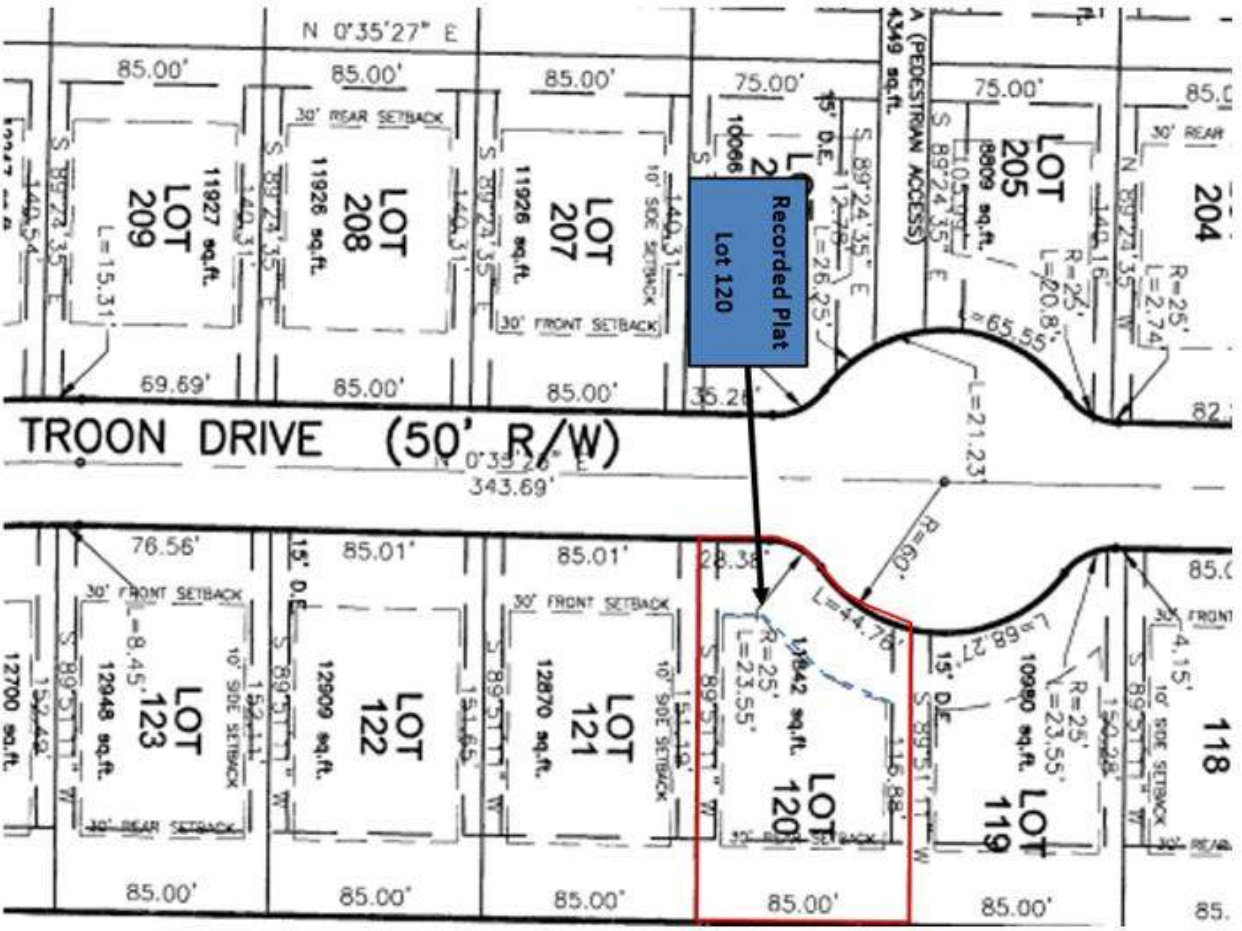
SMALLEST LOT SIZE: 7625 S.F.

AREA: LOT SIZE: 19,369 S.F.

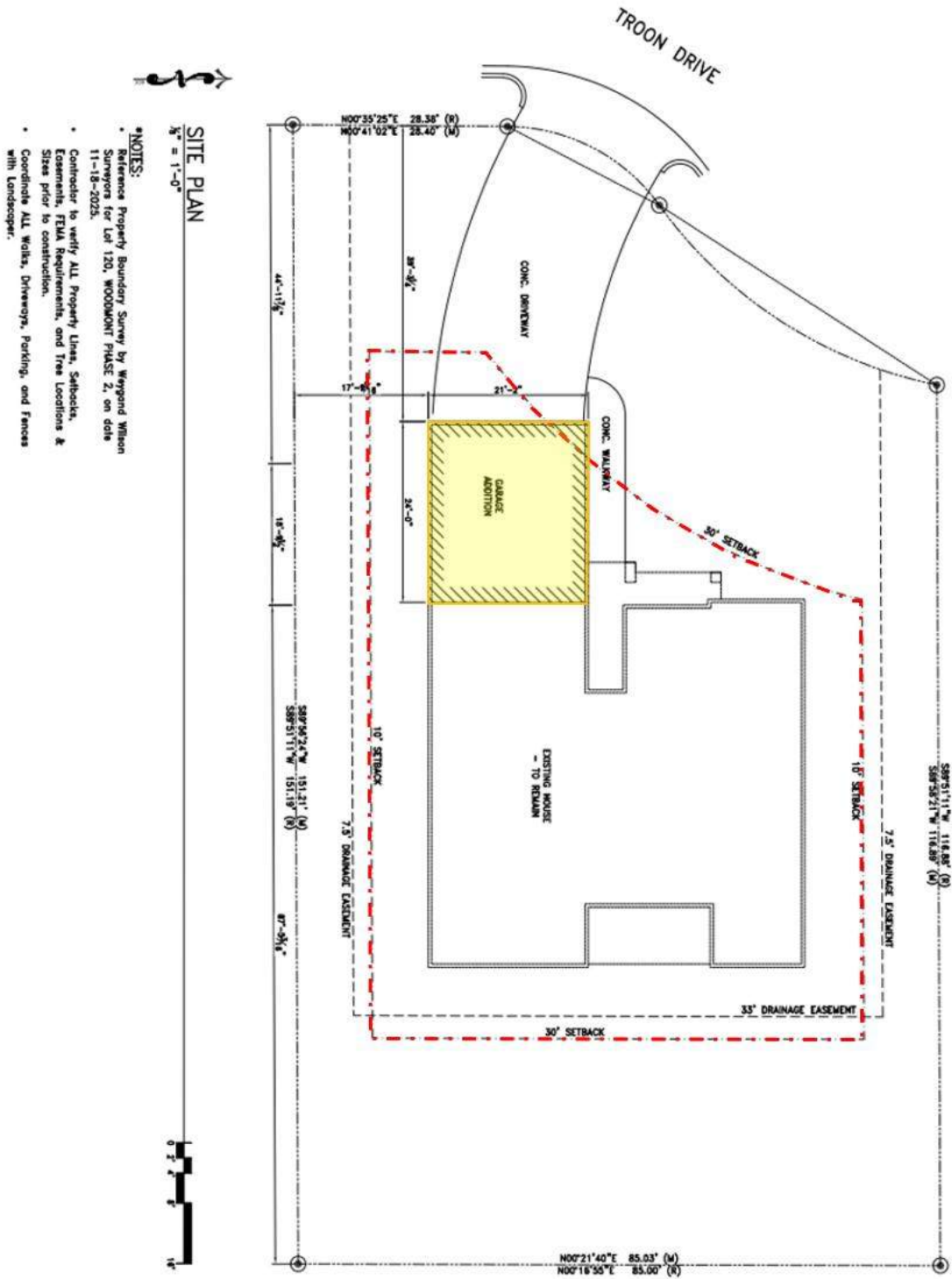
REAR SETBACKS:
 FRONT - 30'
 REAR - 30'
 SIDE - 10' (20' ON CORNER LOTS)

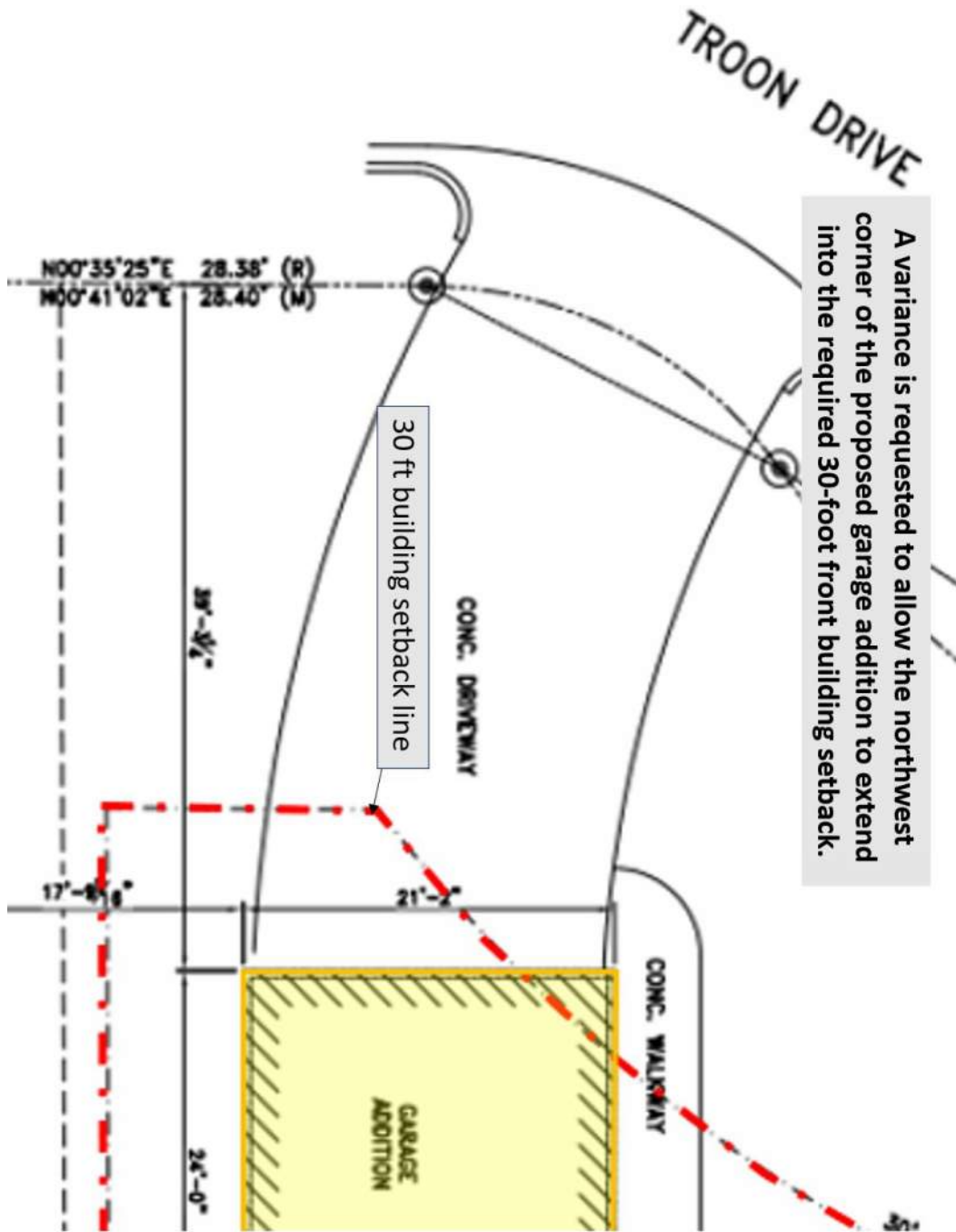
WETLAND SETBACK:
 5' FROM WETLANDS, UNLESS OTHERWISE NOTED

ALL LOTS HAVE A DEDICATED UTILITY EASEMENT TO BALDWIN COUNTY HIGHWAY DEPARTMENT, BALDWIN COUNTY SLOVER SERVICE, L.L.C., BALDWIN COUNTY ELECTRIC RESERVES CORPORATION, GOLF COURSE AND TENNIS CENTER, BALDWIN COUNTY AND ANY OTHER GOVERNMENT APPROVED UTILITIES FROM - 10' REAR - 10' SIDES - 10'



Variance Request – Enlarged to show details





A variance is requested to allow the northwest corner of the proposed garage addition to extend into the required 30-foot front building setback.



Staff Comments and Recommendation

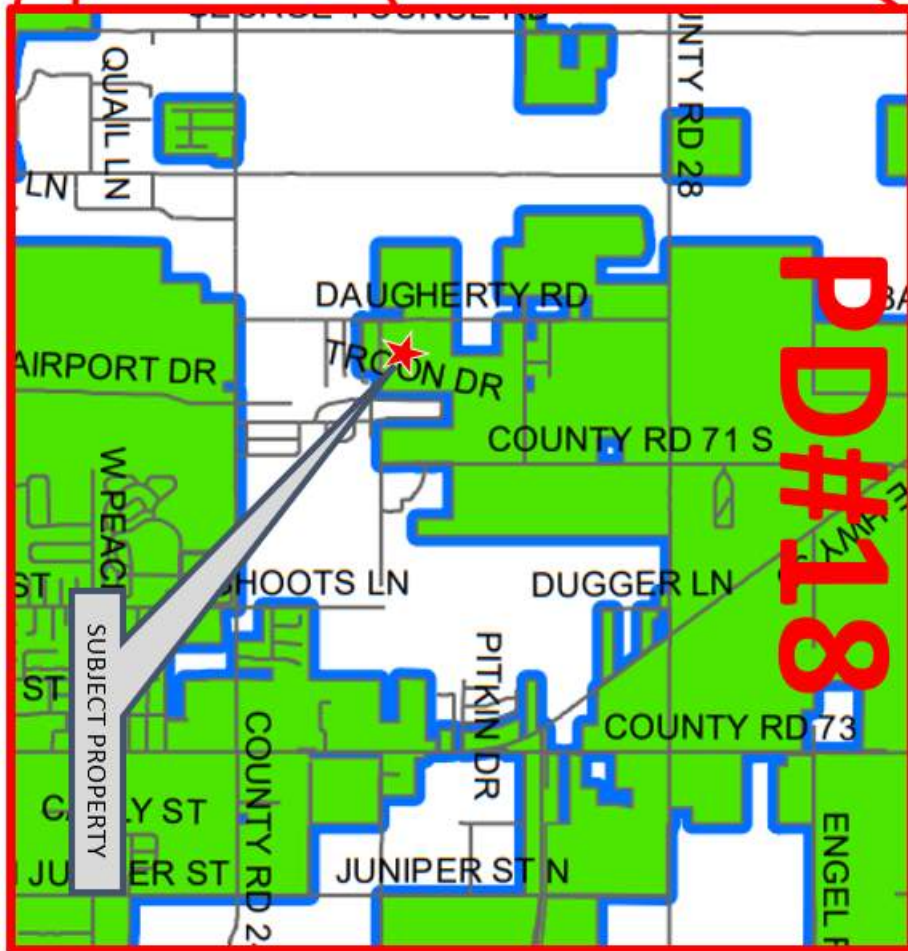
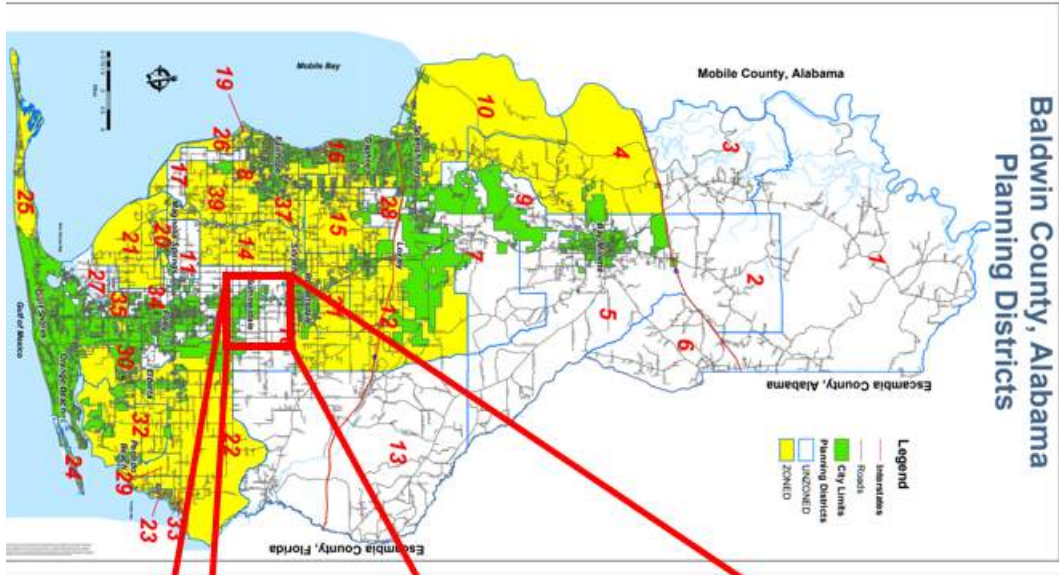
Staff recommends that the Subdivision Variance request for case **SV26-03, Woodmont Ph 2 Lot 120**, be **Denied** due to non-compliance with the Baldwin County Subdivision Regulations.

****If it is the pleasure of the Planning Commission to choose to Approve the requested subdivision variance, staff recommends the following conditions:**

CONDITIONS OF APPROVAL:

1. Record a Replat of Lot 120 of Woodmont Ph 2 Referencing the Encroachment: The proposed garage addition to extend into the required 30-foot front building setback generating a 4 ft encroachment. Memorialize that a single-family residential structure was constructed within the allowable building setbacks on Lot 120 of Woodmont Phase 2 Subdivision as recorded with Slide number 2393-D.
 - a. The variance is limited to the afore-mentioned encroachment area.
 - b. Approval of the variance is subject to the Town of Summerdale for approval of same.

Locator Maps



Site Map



AERIAL MAP



UN-ZONED / PD 18
LOCATION MAP



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. SV26-06(SV26-000006)
Robert Wells Variance Request
Variance from Subdivision Regulations, Section 3.2 Definitions: *Lot, Flag*
May 7, 2026

Subject Property Information

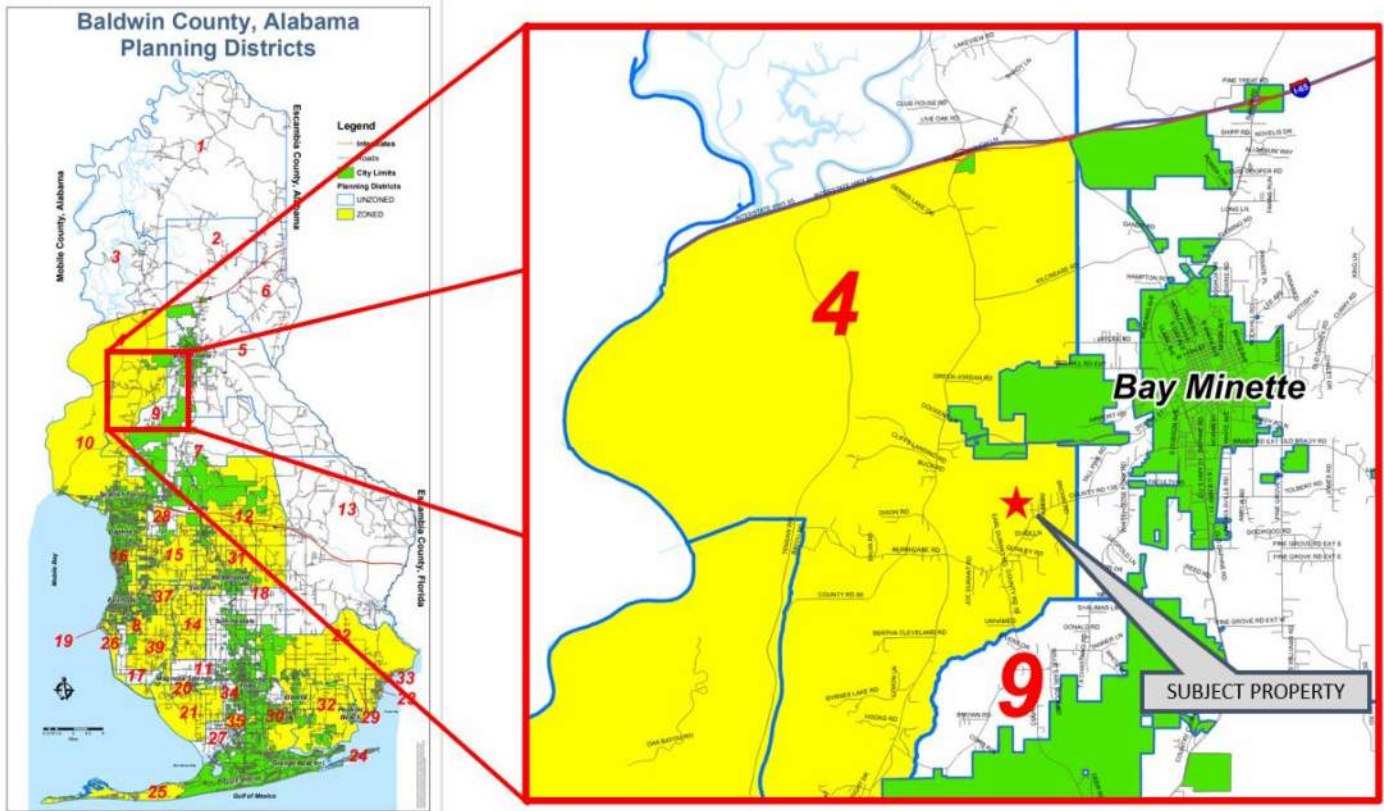
Planning District: 4
General Location: County Road 138, West of Bay Minette
Physical Address: 11087 County Road 138, Bay Minette, AL 36507
Parcel Numbers: 05-22-08-25-0-000-016.003
05-22-08-25-0-000-016.004
PIN: 344680 & 344681
Zoning: RR
Total Property: Approximately 3 Acres between both parcels
Total # Parcels requested: N/A
Applicant: PLS Group, Inc – Sarah Lyle
34565 US HWY 31 Suite C,
Stapleton, AL 36578
Owner: Robert Wells & Derwin Chastang
Lead Staff: Elizabeth Wilson, Planning Technician
Attachments: *Within Report*

SUMMARY

The applicant is requesting a variance from the minimum width of the flag portion of the lot. Current regulations state the flag portion of lots must be a minimum of 60ft wide. The applicant is requesting a 30ft flag access to an existing parcel. This property is currently served by a 30ft easement. The owner of the land that the easement passes through is willing and able to transfer the 30ft easement into permanent ownership to the parcel it serves. The granting of a 60ft strip of land would be above and beyond any historical ownership. There are no other hardships that would prevent the granting of a 60ft wide flag. Staff is recommending DENIAL of this request due to lack of hardship on the land.

This request was originally received as a Common Lot Line exemption between the two parcels. Neither lot is part of a recorded subdivision. No new lots or accesses are proposed.

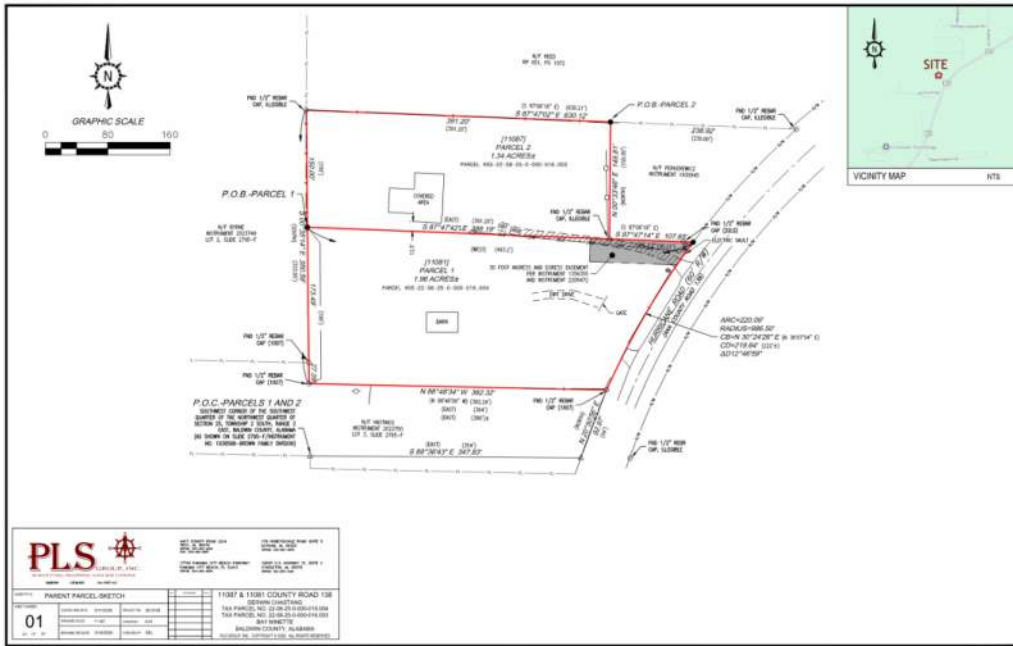
Locator Map



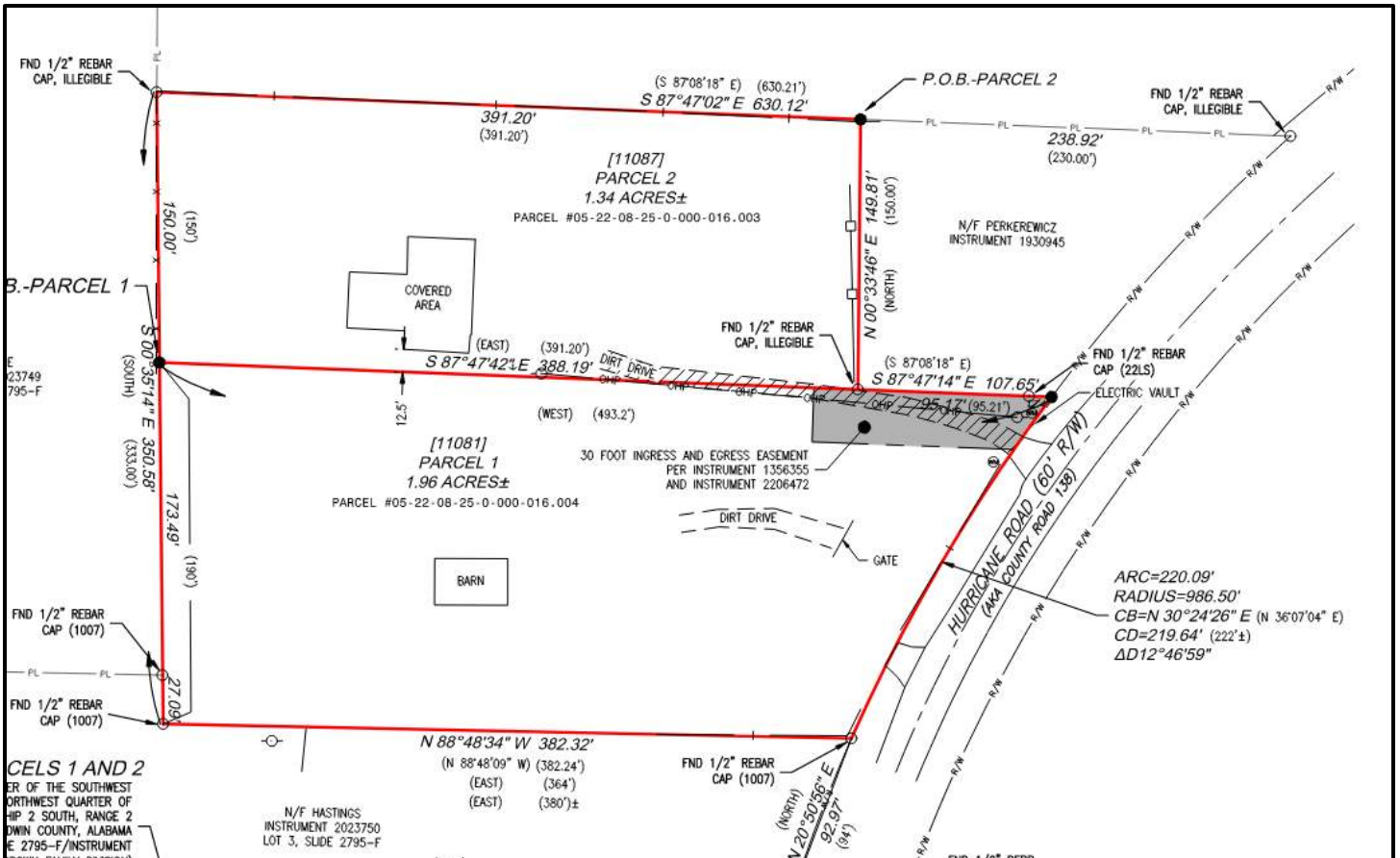
Site Map



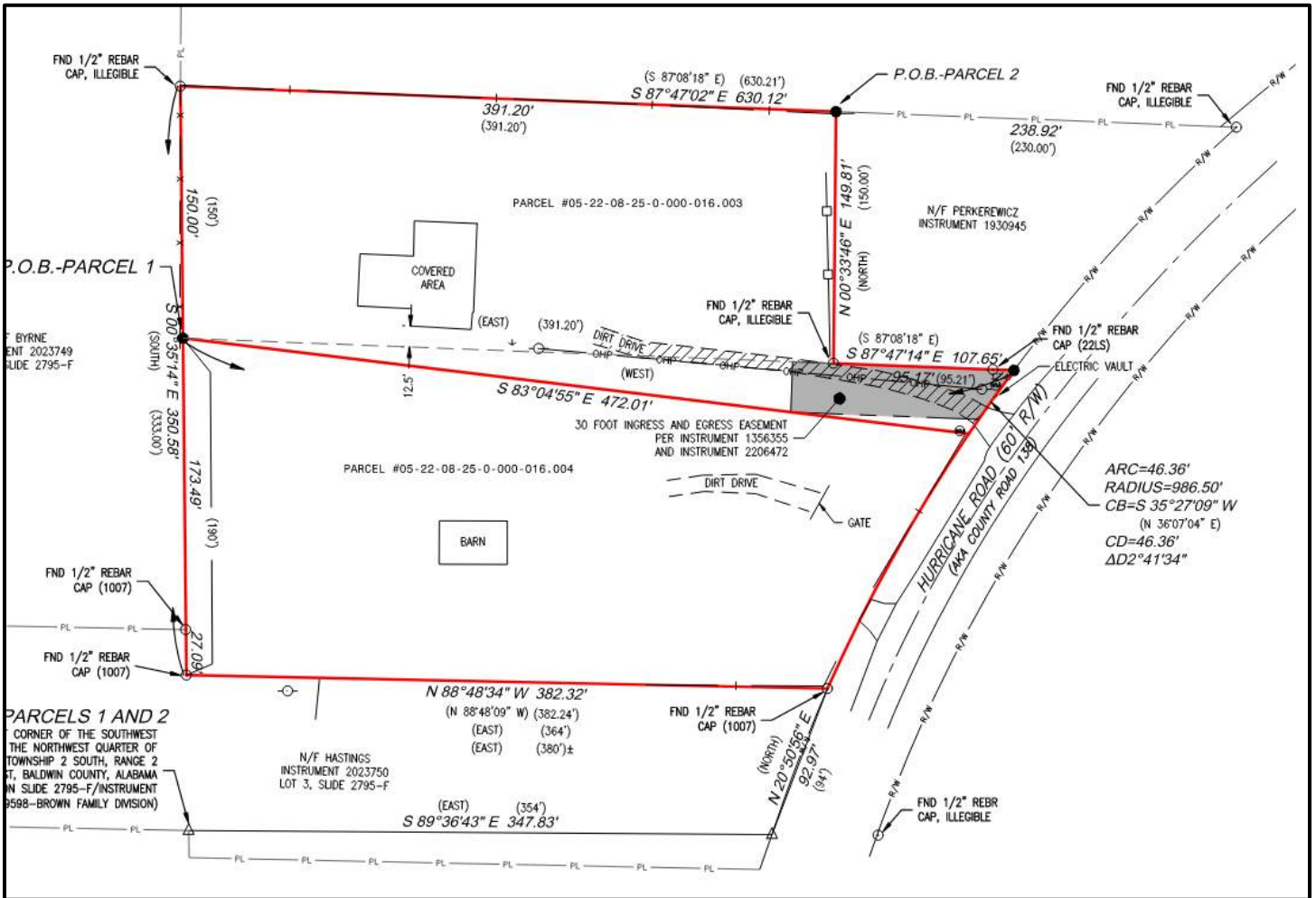
Current Survey



Enlarged Survey



Variance Request – Enlarged to show details



Staff Comments and Recommendation

As previously mentioned, the applicant has requested a variance from the minimum flag width to transfer an existing easement into a flag access.

Unless information to the contrary is revealed at the public hearing, staff feels this variance request should be recommended for **Denial** due to a lack of hardship on the land that would prevent a 60ft flag.

If it is the pleasure of the Planning Commission to approve this variance, PF26-81 would be administratively approved to complete the common lot line exemption request.



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. CSP26-09
Lickin Good Donuts
Commission Site Plan (CSP) Approval
May 7, 2026

Subject Property Information

Planning District: 37
General Location: The subject property is located east of 181 and south of 104
Physical Address: 21700 St Hwy 181, Fairhope, AL 36532
Parcel ID: 05-46-01-11-0-000-001.528
Zoning: B-3, General Business District
Proposed Use: 5,070 sq ft Commercial Building
Acreage: 0.89 +/- acres
Applicant: Rowe Engineering
 3502 Laughlin Dr
 Mobile, AL 36693
Owner: Lickin Good Fairhope LLC
 PO Box 2007
 Orange Beach, AL 365561
Lead Staff: Celena Boykin, Senior Planner
Attachments: *Within Report*

	Adjacent Land Use	Adjacent Zoning
North	RV Park	RV-1, Recreation Vehicle Park
South	Vacant	B-2, Neighborhood Business District
East	RV Park	RV-1, Recreation Vehicle Park
West	Vacant	RA, Rural Agriculture District

Summary

The applicant seeks Commission Site Plan (CSP) approval a 5,070 Sq Ft commercial building with 2 units. The subject property consists of approximately 0.89 acres and is zoned B-3, General Business District. Surrounding properties are used for commercial purposes. The proposed request complies with the requirements of the Baldwin County Zoning Ordinance.

Agency Comments

USACE, James Buckelew: Staff reached out but received no comments.

ADEM, Scott Brown: Staff reached out but received no comments.

Staff Analysis and Findings

The criteria for reviewing Commission Site Plan approvals are outlined in Section 18.10.5 of the Baldwin County Zoning Ordinance. Staff carefully considered all of these factors during the evaluation of the application.

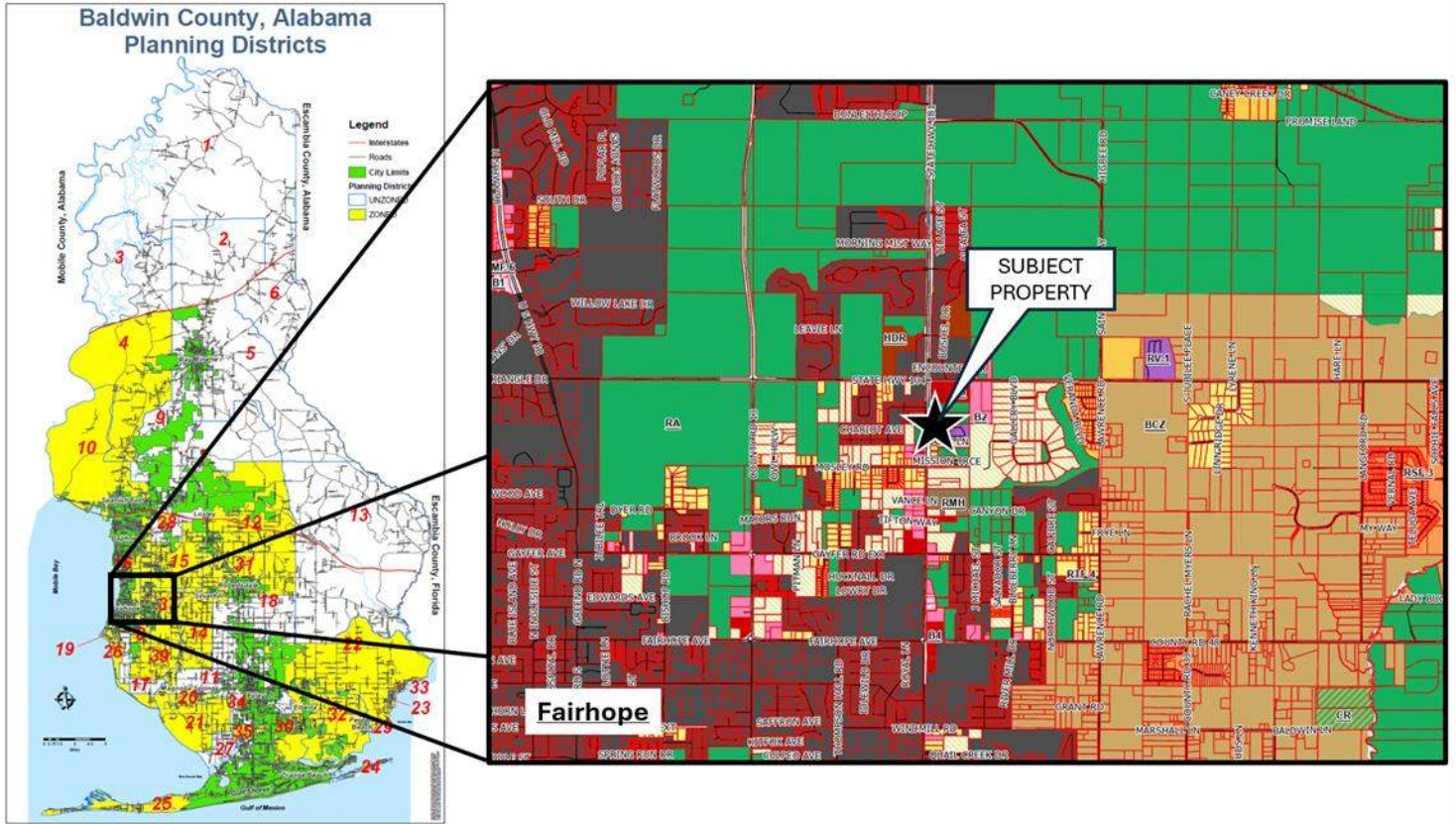
The proposed site plan is for a 5,070 sq ft commercial building with 2 units and complies with the requirements of the Zoning Ordinance except for the required loading /unloading space. The applicant is asking for a variance from this requirement in order to reduce the length of the parking space from 55' to 35'. Section 15.3.7 of the Zoning Ordinance states that "upon sufficient demonstration that a particular loading space will be used exclusively by shorter trucks, the Board of Adjustment may reduce the minimum length accordingly to as little as 35-feet."

Staff Comments and Recommendation

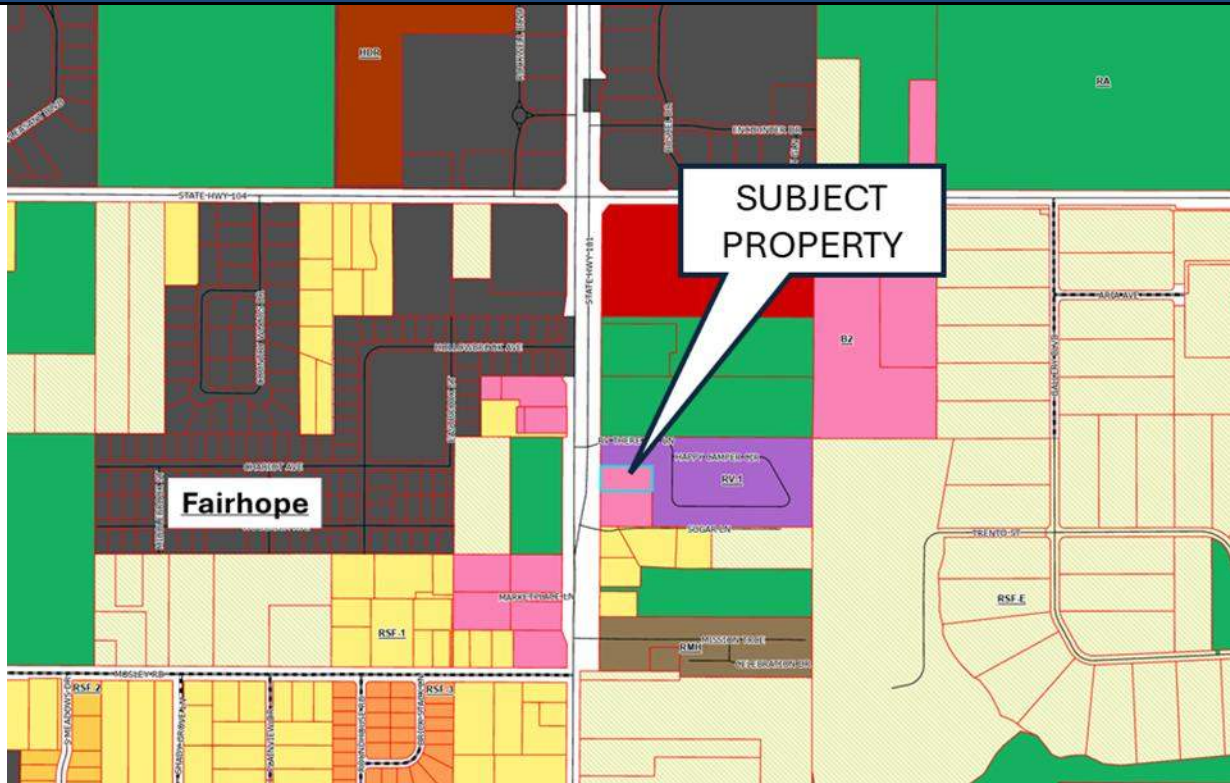
As noted previously, the subject property consists of approximately 0.89 acres and is zoned B-3, General Business. The applicant is seeking Commission Site Plan approval for the construction of a commercial building with two units. Staff has reviewed the application and all applicable criteria and recommends approval, subject to the following conditions:

1. Staff requests the Building Permit 180-day deadline required by Section 18.3.4 be increased to **one (1) calendar year** from the date of Planning Commission approval.
 - a. The CSP approval letter shall be obtained by the applicant prior to approval of any building permits
2. The closeout requirements of Section 18.10.7 of the zoning ordinance are a prerequisite to obtaining a Certificate of Occupancy (CO) for the proposed new buildings.
 - a. Staff reserves the right to issue NOVs, if required, for deficiencies to the site plan occurring after final closeout.
 - b. No substitutions or alterations to the landscape plan may be carried out without staff and/or Planning Commission approval, as applicable.
 - c. The project site shall be fully stabilized to the satisfaction of staff prior to issuance of a CO for any structures comprising the site plan approval.
3. Any signage installed on the site shall require separate review and approval as required by Article 16.
 - a. Further memorialize that section 16.4 prohibits a variety of signage types including but not limited to wind signs consisting of one or more banners, flags, pennants, ribbons, spinners, streamers or captive balloons, or other objects or material fastened in such a manner as to move freely upon being subjected to pressure by wind.
4. Any expansion of the proposed structures or facility above and beyond what is depicted on the sheets included with the CSP Approval letter shall necessitate additional review by the Planning Commission.
5. Per Section 18.10.1 the Planning Commission may revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.
6. Receive a variance to reduce the size of the loading/unloading parking space.

County Planning Map



Locator Map



Site Map





FLUM

URBAN MIXED-USE CENTER

PRIMARY LAND USES

- High-density mixed use—lofts and studio units above commercial space
- Multi-family homes—apartments, condominiums
- Regional and small scaled retail shops and sit-down restaurants
- Commercial centers, office and other employment uses
- Civic uses—government offices, courthouses, libraries, schools, etc.
- Churches
- Hotel
- Small parks and playgrounds

RELATED ZONING DISTRICTS

- B-1 Professional Business District
- B-2 Neighborhood Business District
- B-3 General Business District
- RMF-6 Residential Multifamily District
- HDR High Density Residential District

CONNECTIVITY NETWORK

- Urban block patterns and sizes—highly pedestrian
- Parking management solutions
- Parking in rear of buildings
- Multimodal—supporta vehicles, bicycles, and pedestrians—streets with narrow traffic lanes, sidewalks, and bike lanes
- Suburban greenways and multi-use path connections

MODERATE DEVELOPMENT POTENTIAL AREAS

Moderate Development Potential Areas are suitable for all of the land uses described in the previous place types but may also include a variety of home types from large and medium-lot single-family detached homes to single-family attached homes such as duplexes and townhomes. Subdivision patterns may be amenity-based communities with small gardens, parks and playgrounds within private lots or part of a community space. Neighborhood centers or nodes at key intersections would allow for a combination of retail, office, and service uses to meet the needs of the community.

PRIMARY LAND USES

- Single-family neighborhoods (suburban)
- Amenity-based communities
- Neighborhood center/node

RELATED ZONING DISTRICTS

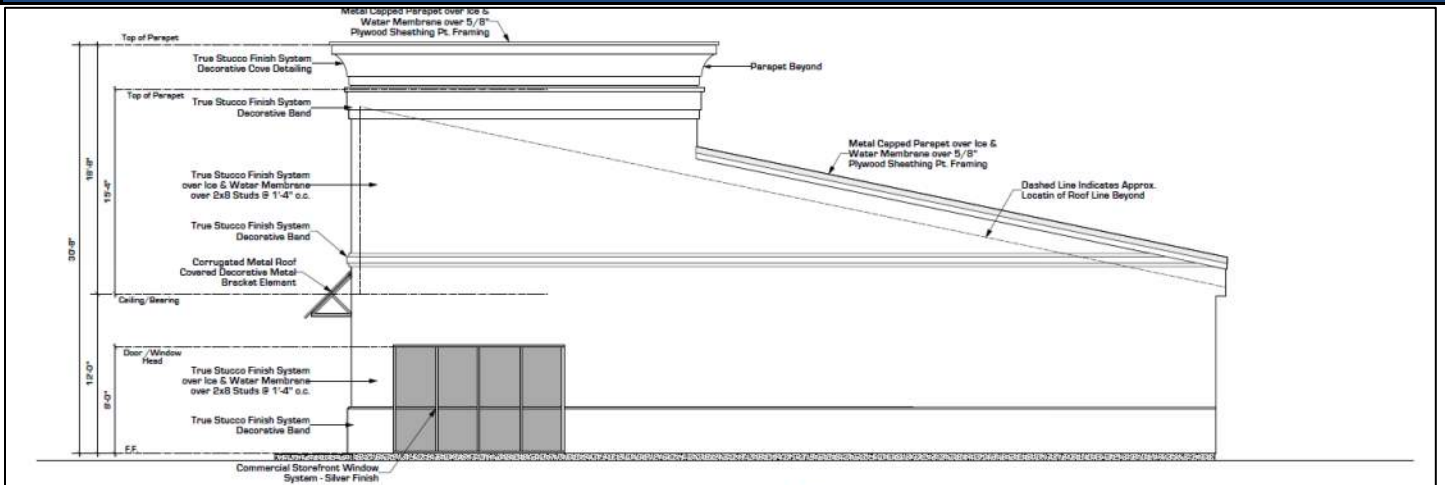
- RSF-1 Single Family District
- RSF-2 Single Family District

CONNECTIVITY NETWORK

- Suburban street networks/limited use cul-de-sacs
- Open space, parks and amenities provided within neighborhoods
- Streets with sidewalks, bike lanes, and/or side paths based on local character and context
- Suburban greenways and trails

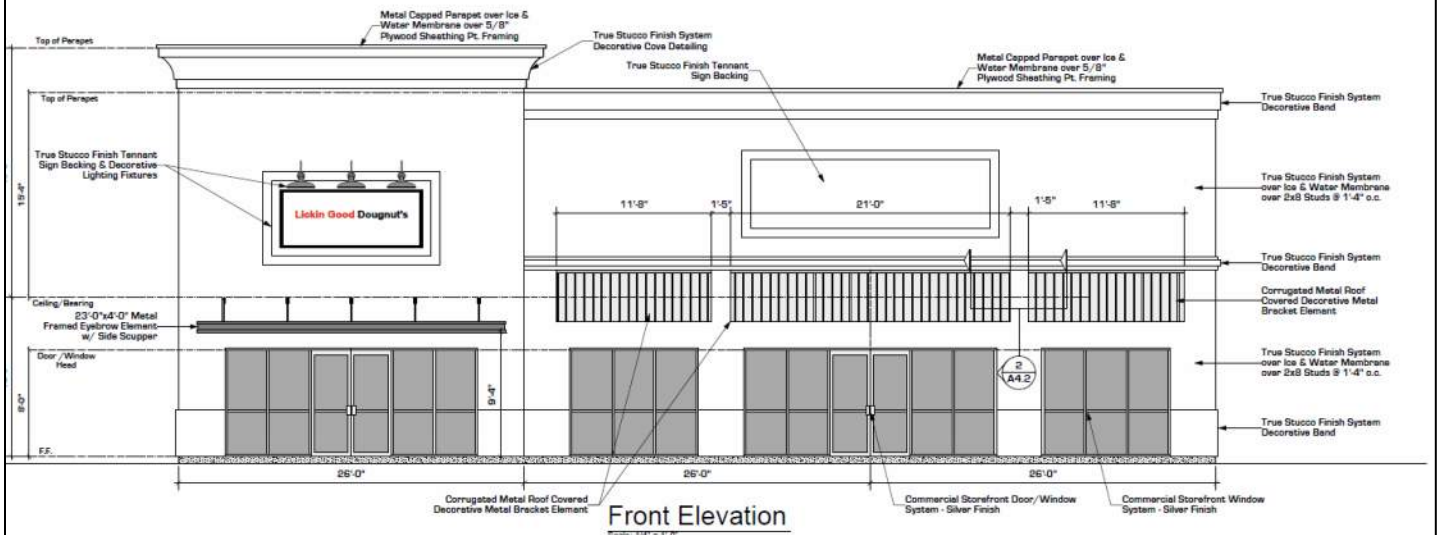


Elevation Plan



Right (South) Side Elevation

Scale: 1/4" = 1'-0"



Front Elevation



Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. CSP26-10
New Cell Tower
Commission Site Plan (CSP) Approval
May 7, 2026

Subject Property Information

Planning District: 4
General Location: Located at the end of John Oliver Road and west of Whitehouse Fork Road in Bay Minette
Physical Address: 41852 John Oliver Road, Bay Minette, AL 36507
Parcel ID: 05-05-22-08-36-0-000-002.004
PIN: 215086
Zoning: RR, Rural District
Current Use: Vacant
Proposed Use: 250' Self-Support Tower
Acreage: 11 +/- acres (10,000 SF leaseable area)
Total # Parcels requested: N/A
Applicant: Shoal Creek Environmental, LLC – Heath Belyeu
 80 Parkwood Lane
 Odenville, AL 35120
Property Owner: Perry and Elizabeth Haymon
 41962 John Oliver Road
 Bay Minette, AL 36507
Lead Staff: Cory Rhodes, Planner
Attachments: *Within Report*

	Adjacent Land Use	Adjacent Zoning
North	Residential	RR, Rural
South	Vacant	RR, Rural
East	Vacant	RR, Rural
West	Residential	RR, Rural

Summary

The applicant is requesting Commission Site Plan (CSP) approval for a 250' Self Support Tower. The subject property encompasses +/- 11 total acres (10,000 SF leasable area for the cell tower) and zoned as RR, Rural District. The adjacent parcels are designated primarily for residential purposes or are undeveloped. The request meets the requirements of the Baldwin County Zoning Ordinance.

Agency Comments

USACE, James Buckelew: Staff reached out on 4/9/2026 but received no comments.

ADEM, Scott Brown: Staff reached out on 4/9/2026 but received no comments.

Staff Analysis and Findings

The criteria for reviewing Commission Site Plan approvals are outlined in Section 18.10.5 of the Baldwin County Zoning Ordinance. Staff carefully considered all of these factors during the evaluation of the application.

The proposed site plan for the self-supporting tower meets the requirements of the Zoning Ordinance. A Wireless Communications Tower is permitted as a conditional use within RR zoning, subject to approval by the Planning Commission. The property's future land use designation primarily supports Conservation Development, allowing for limited development guided by low-impact design principles.

John Oliver Road is classified as a Local Road, serving to provide direct access to adjacent properties as well as connections to higher-classification roadways. Given the rural character of the site and its proximity to residential properties to the north and west, staff finds the proposed use to be compatible with community welfare and not detrimental to public convenience in the area.

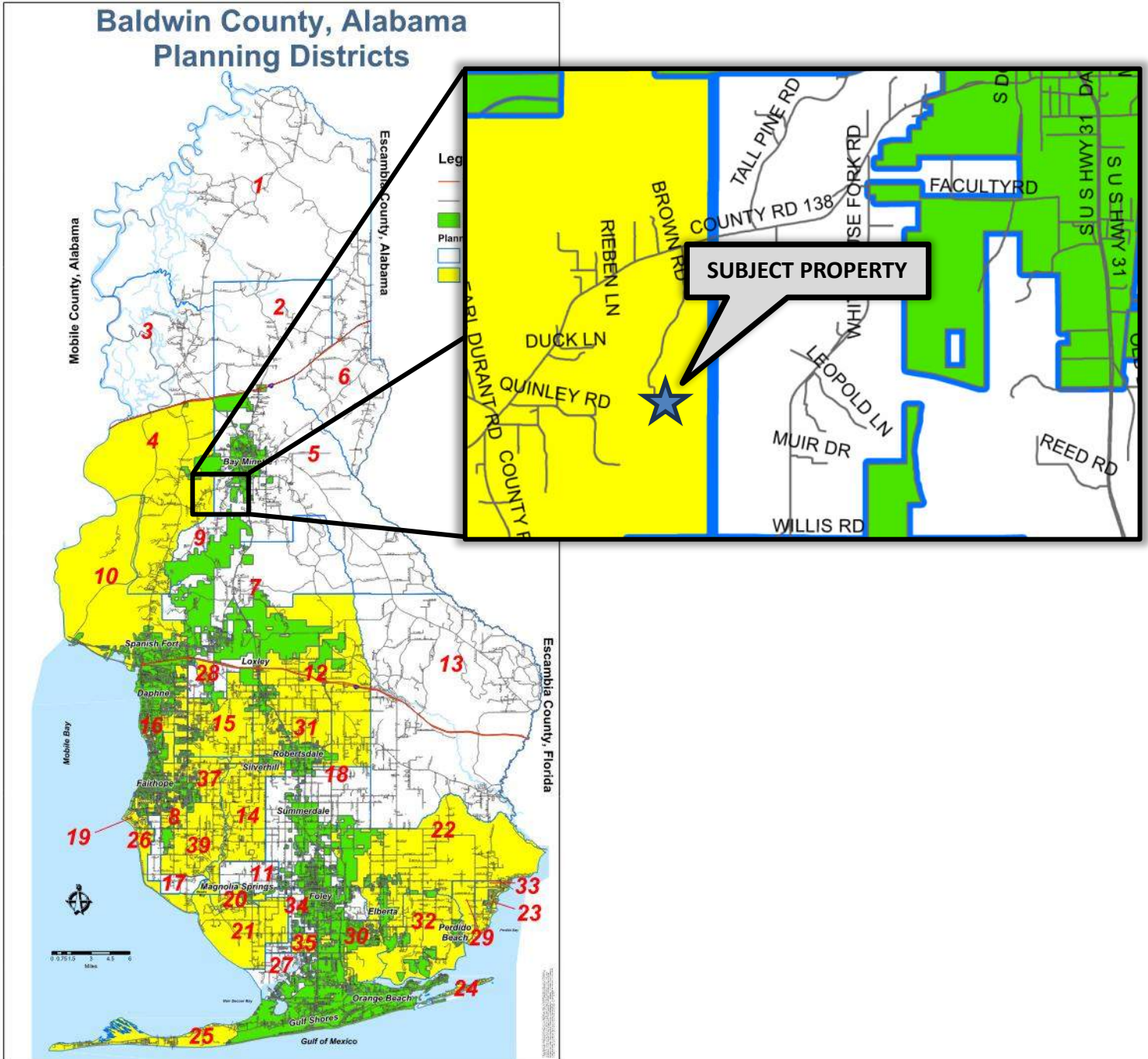
Staff Comments and Recommendation

As previously mentioned, the subject property encompasses +/- 11 acres (10,000 SF leasable area for cell tower) and is zoned for rural use. The applicant has requested Commission Site Plan approval for a 250' Self-Support Tower. Staff has carefully evaluated all relevant factors concerning this application and recommends that the application be **APPROVED** with the following conditions:

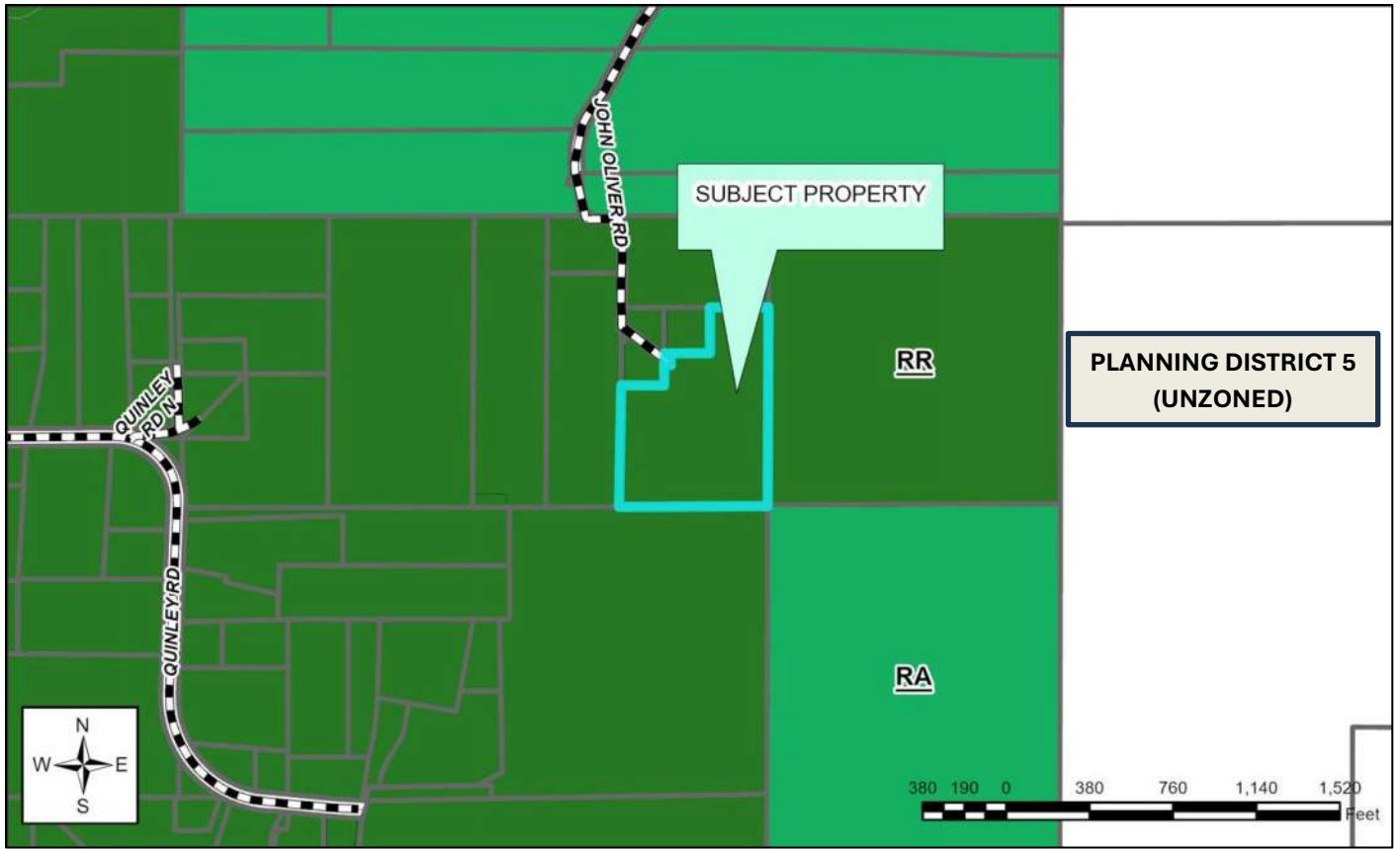
1. Staff requests the Building Permit 180-day deadline required by Section 18.3.4 be increased to **one (1) calendar year** from the date of Planning Commission approval.
 - a. The CSP approval letter shall be obtained by the applicant prior to approval of any building permits
2. The closeout requirements of Section 18.10.7 of the zoning ordinance are a prerequisite to obtaining a Certificate of Occupancy (CO) for the proposed new structure.
 - a. Staff reserves the right to issue NOVs, if required, for deficiencies to the site plan occurring after final closeout.
 - b. No substitutions or alterations to the landscape plan may be carried out without staff and/or Planning Commission approval, as applicable.
 - c. The project site shall be fully stabilized to the satisfaction of staff prior to issuance of a CO for any structures comprising the site plan approval.
3. Any signage installed on the site shall require separate review and approval as required by Article 16.
 - a. Further memorialize that section 16.4 prohibits a variety of signage types including but not limited to wind signs consisting of one or more banners, flags, pennants, ribbons, spinners, streamers or captive balloons, or other objects or material fastened in such a manner as to move freely upon being subjected to pressure by wind.
4. Any expansion of the proposed structures or facility above and beyond what is depicted on the sheets included with the CSP Approval letter shall necessitate additional review by the Planning Commission.

- 5. Per Section 18.10.1 the Planning Commission may revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.

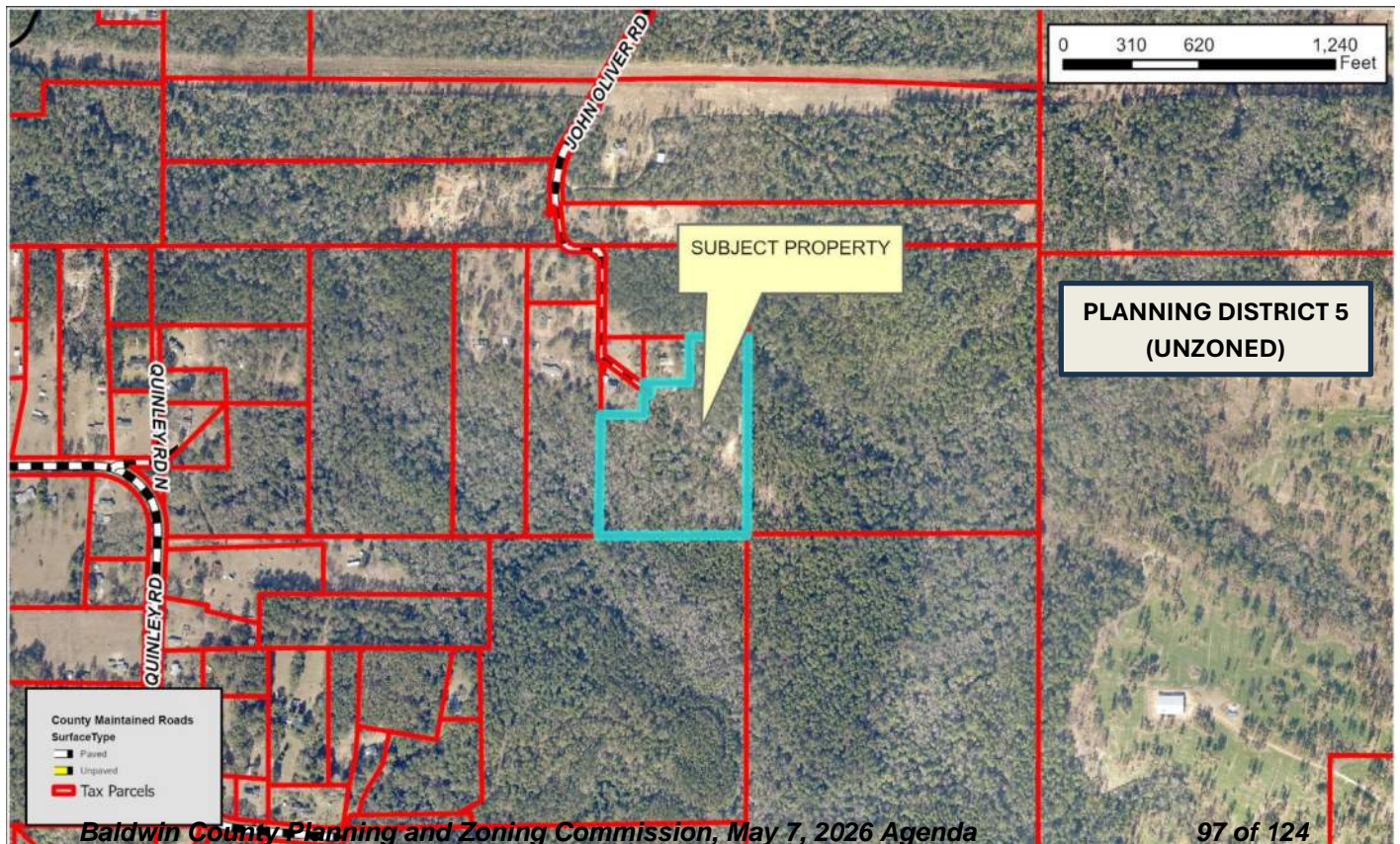
County Planning Map



Locator Map



Site Map

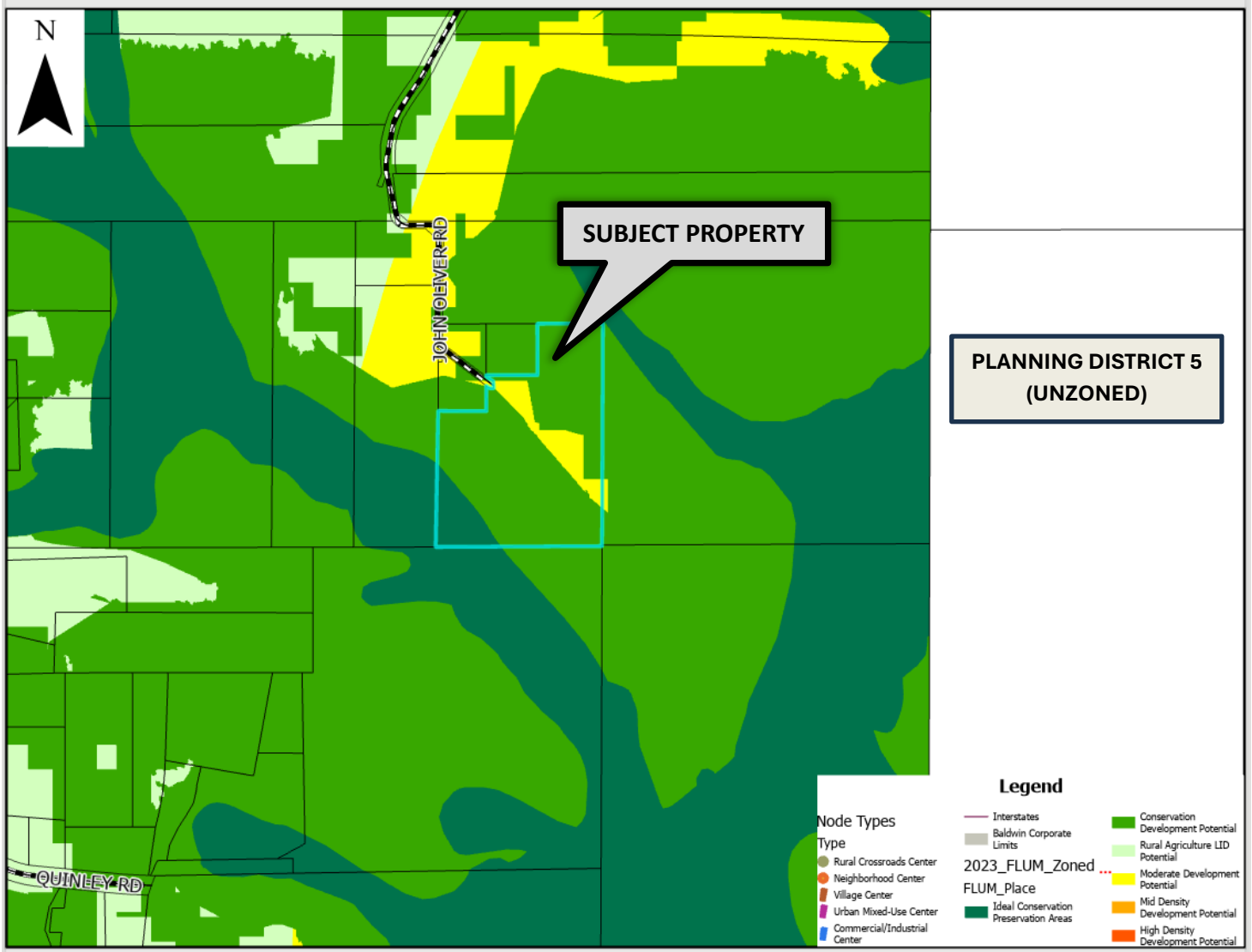


Property Images





FLUM



PLANNING DISTRICT 5
(UNZONED)

IDEAL CONSERVATION/PRESERVATION AREAS

Ideal Conservation or Preservation Areas would include land that is undeveloped, or minimally developed, and protected by local, state, and federal agencies or by public, private, and nonprofit organizations. This could include areas conserved for the protection of critical habitat, clean water, open space, or cultural heritage.

PRIMARY LAND USES

- Natural areas that are publicly and privately owned and managed
- Permanently protected lands such as conservation easements, parks, cemeteries
- Parks and open spaces devoted primarily to passive recreation and trails
- Lands with important cultural landmarks or assets
- Scenic view corridors

RELATED ZONING DISTRICTS

- Environmental Conservation

CONNECTIVITY NETWORK

- Greenways and trails

CONSERVATION DEVELOPMENT AREAS

Conservation Development Potential Areas are suitable for all of the land uses described in the Ideal Conservation/Preservation Areas place type but would allow for limited development based on low-impact design principles. Allowing conservation-based subdivisions in these areas could help to balance the pressure of residential development with environmental preservation and rural character. Conservation-based subdivisions allow for the clustering of residential dwellings to protect open space that is valued for natural resource protection—such as stream buffers, mature forest habitat, or wetlands—working farmland, or recreational amenities.

PRIMARY LAND USES

- Conservation-based or cluster development with high levels of Low Impact Design (LID) and sustainable development practices
- Natural areas that are publicly and privately owned and managed
- Permanently protected lands such as conservation easements, parks, cemeteries
- Parks and open spaces devoted primarily to passive recreation and trails
- Lands with important cultural landmarks or assets
- Scenic view protection

RELATED ZONING DISTRICTS

- Environmental Conservation
- CR Conservation Resource District
- OR Outdoor Recreation District

CONNECTIVITY NETWORK

- Rural streets with paved shoulders, bike lanes, or side paths
- Greenways and trails along environmental buffers

MODERATE DEVELOPMENT POTENTIAL AREAS

Moderate Development Potential Areas are suitable for all of the land uses described in the previous place types but may also include a variety of home types from large and medium-lot single-family detached homes to single-family attached homes such as duplexes and townhomes. Subdivision patterns may be amenity-based communities with small gardens, parks and playgrounds within private lots or part of a community space. Neighborhood centers or nodes at key intersections would allow for a combination of retail, office, and service uses to meet the needs of the community.

PRIMARY LAND USES

- Single-family neighborhoods (suburban)
- Amenity-based communities
- Neighborhood center/node

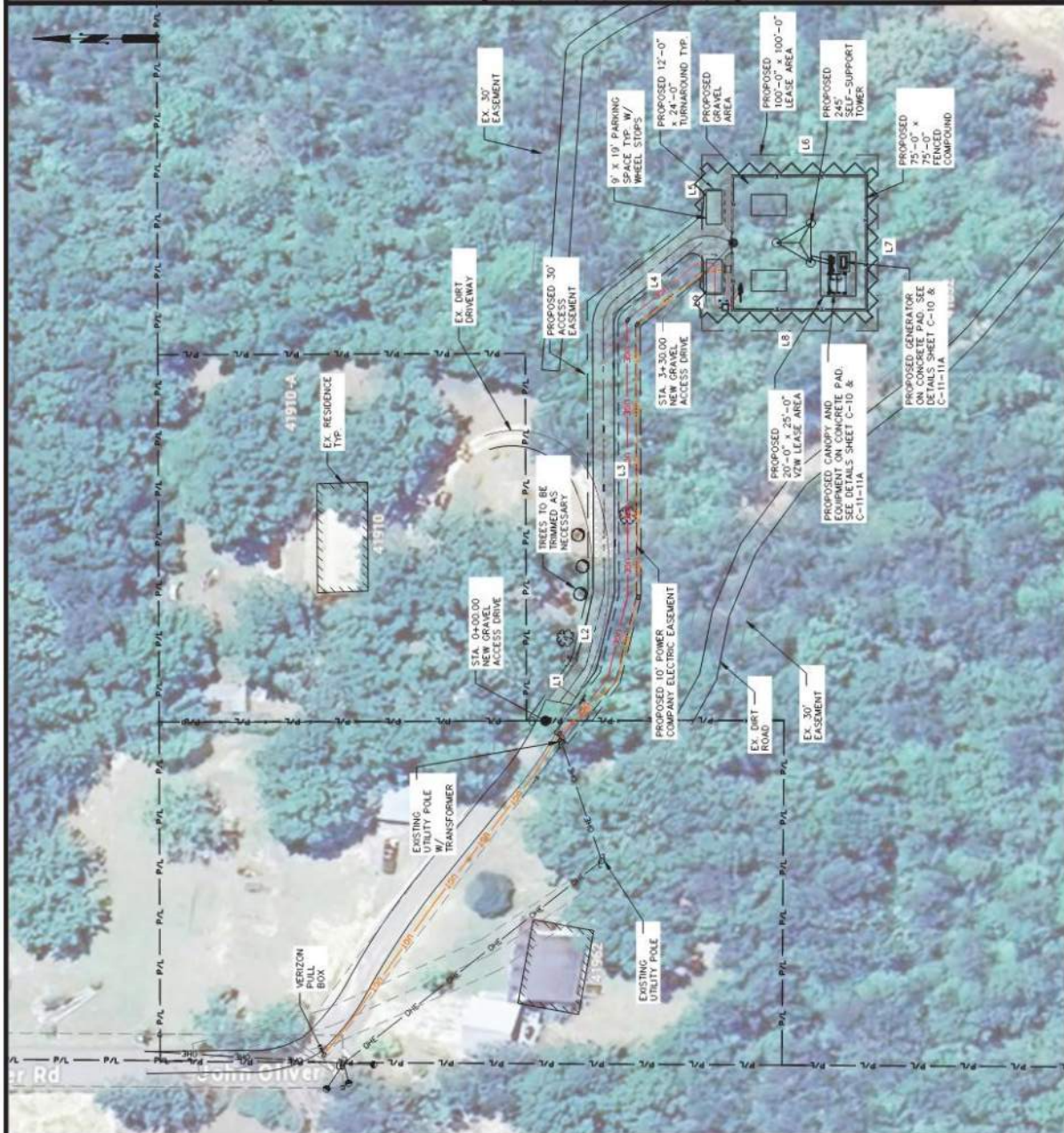
RELATED ZONING DISTRICTS

- RSF-1 Single Family District
- RSF-2 Single Family District

CONNECTIVITY NETWORK

- Suburban street networks/limited use cul-de-sacs
- Open space, parks and amenities provided within neighborhoods
- Streets with sidewalks, bike lanes, and/or side paths based on local character and context
- Suburban greenways and trails

Site Plan



SITE PLAN NOTES:

THE PROPOSED DEVELOPMENT IS FOR A 245 FOOT SELF-SUPPORT TOWER (PLUS A 2 FOOT LIGHTNING ARRESTOR) WITH MULTIPLE CARRIERS. ITS LOCATION IS AT NEAR 41962 JOHN GUYER RD., GAY WARETTE, AL 36557

THE TOWER WILL BE ACCESSED BY A PROPOSED STABILIZED DRIVE FROM AN EXISTING ASPHALT ROADWAY (NEAR 41962 JOHN GUYER RD.) TO THE TOWER. THE DRIVE WILL BE CONSTRUCTED IN ACCORDANCE WITH THE LOCAL HIGHWAY DEPARTMENT OF TRANSPORTATION STANDARDS. WATER, SANITARY SEWER AND WASTE COLLECTION SERVICES ARE NOT REQUIRED FOR THE DEVELOPMENT.

COORDINATES OF PROPOSED TOWER: GEOGRAPHIC LOCATIONS:
 LATITUDE: 30° 50' 5.71" N
 LONGITUDE: 87° 49' 24.76" W

NOTE:

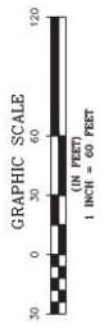
1. REMOVE ALL VEGETATION AND CLEAN AREA WITHIN LEASE AREA (CLEAR AND GRUB ENTIRE LEASE AREA).
2. FINISH GRADING TO PROVIDE EFFECTIVE DRAINAGE WITH A SLOPE OF NO LESS THAN ONE EIGHT INCH (1/8") PER FOOT FLOWING AWAY FROM EQUIPMENT FOR A MINIMUM DISTANCE OF SIX FEET (6') IN ALL DIRECTIONS.
3. LOCATE ALL UNDERGROUND UTILITIES PRIOR TO ANY CONSTRUCTION.
4. COMPOUND FINISHED SURFACE TO BE FENCED.
5. ALL REFERENCES TO THE TOWER AND ITS FOUNDATION ARE DIRECTED TO THE DESIGN AND DETAIL DRAWINGS BY THE PROFESSIONAL ENGINEER REGISTERED IN THE STATE OF ALABAMA.
6. CONTRACTOR TO PLACE CULVERTS, GRASSHOLE DITCHES, DIVERTERS, ETC. AS REQUIRED TO CONTROL DRAINAGE ACROSS ACCESS DRIVE AND TO MINIMIZE EROSION.

LINE	BEARING	DISTANCE
L1	S57.44.20"E	35.17'
L2	N89.49.50"E	150.13'
L3	S89.49.50"E	150.13'
L4	S38.48.47"E	64.28'
L5	EAST	50.00'
L6	SOUTH	100.00'
L7	WEST	100.00'
L8	NORTH	100.00'
L9	EAST	100.00'

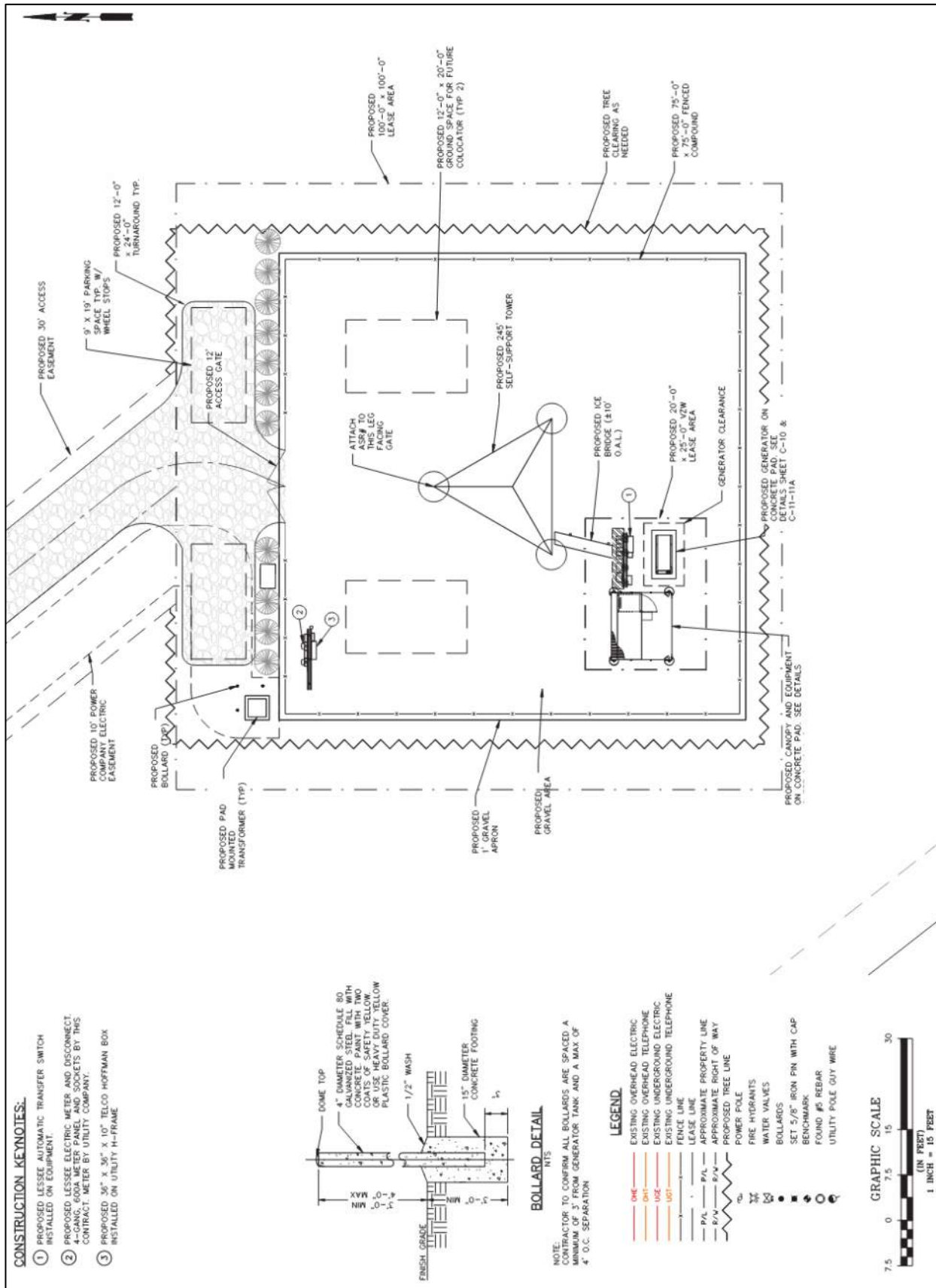
BENCHMARK
 ELEVATION: 208.84' M.S.L.
 (SEE DETAIL PLAN FOR LOCATION)

LEGEND:

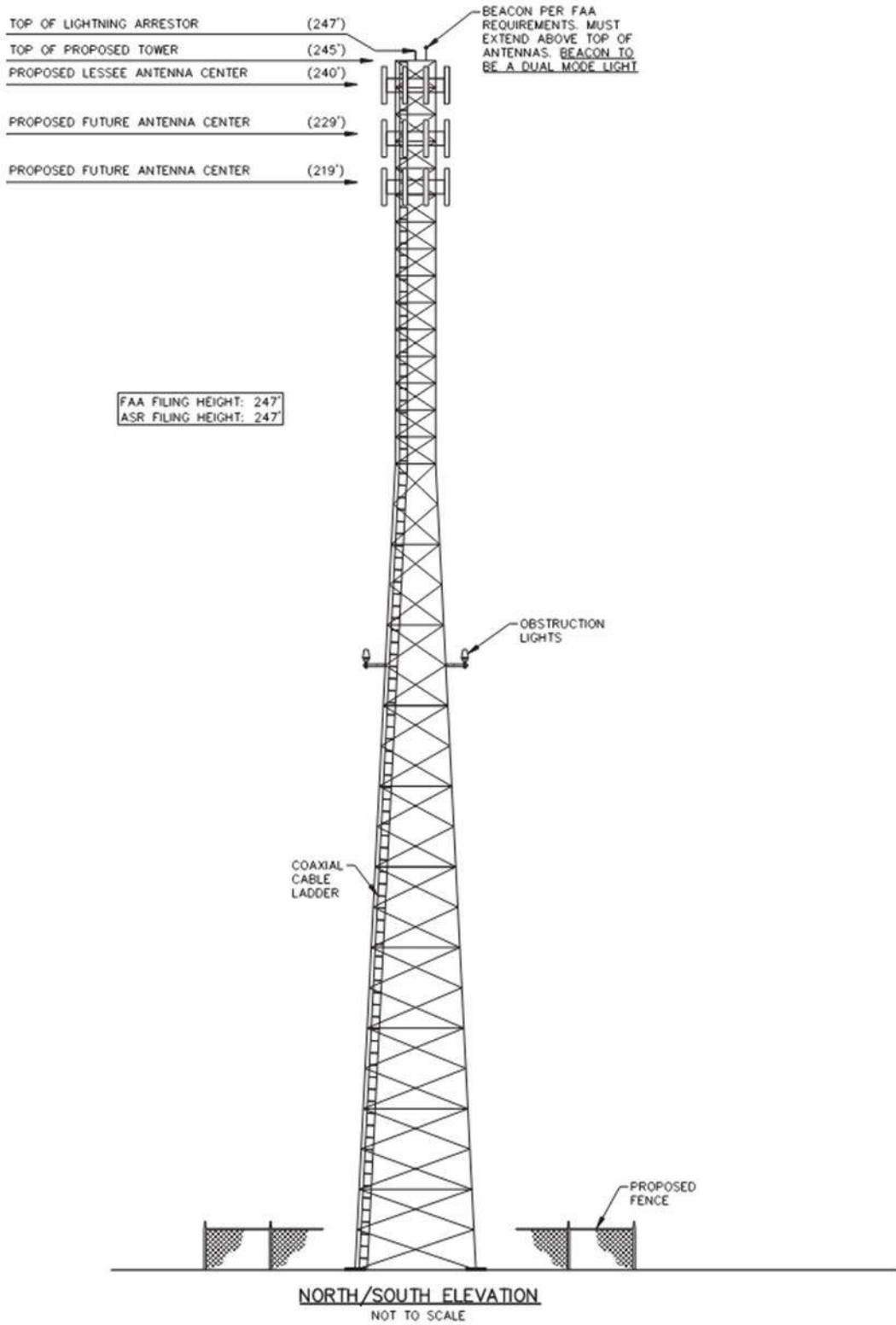
- EXISTING OVERHEAD ELECTRIC
- EXISTING OVERHEAD TELEPHONE
- EXISTING UNDERGROUND ELECTRIC
- EXISTING UNDERGROUND TELEPHONE
- FENCE LINE
- LEASE LINE
- APPROXIMATE PROPERTY LINE
- APPROXIMATE RIGHT OF WAY
- PROPOSED TREE LINE
- POWER POLE
- FIRE HYDRANTS
- WATER VALVES
- BOLLARDS
- SET 5/8" IRON PIN WITH CAP
- BENCHMARK
- FOUND #3 REBAR
- UTILITY POLE GUY WIRE



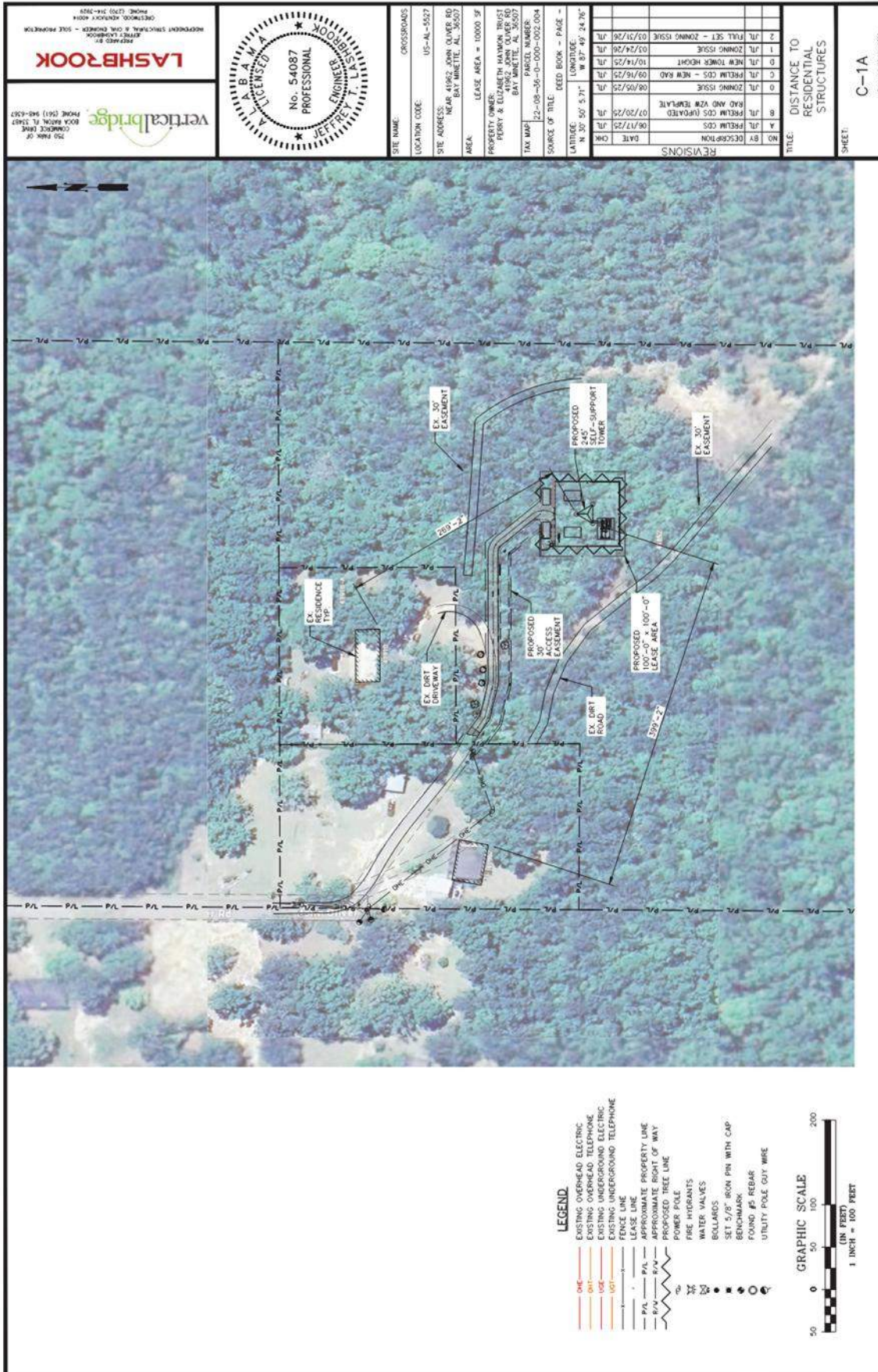
Detailed Compound Plan



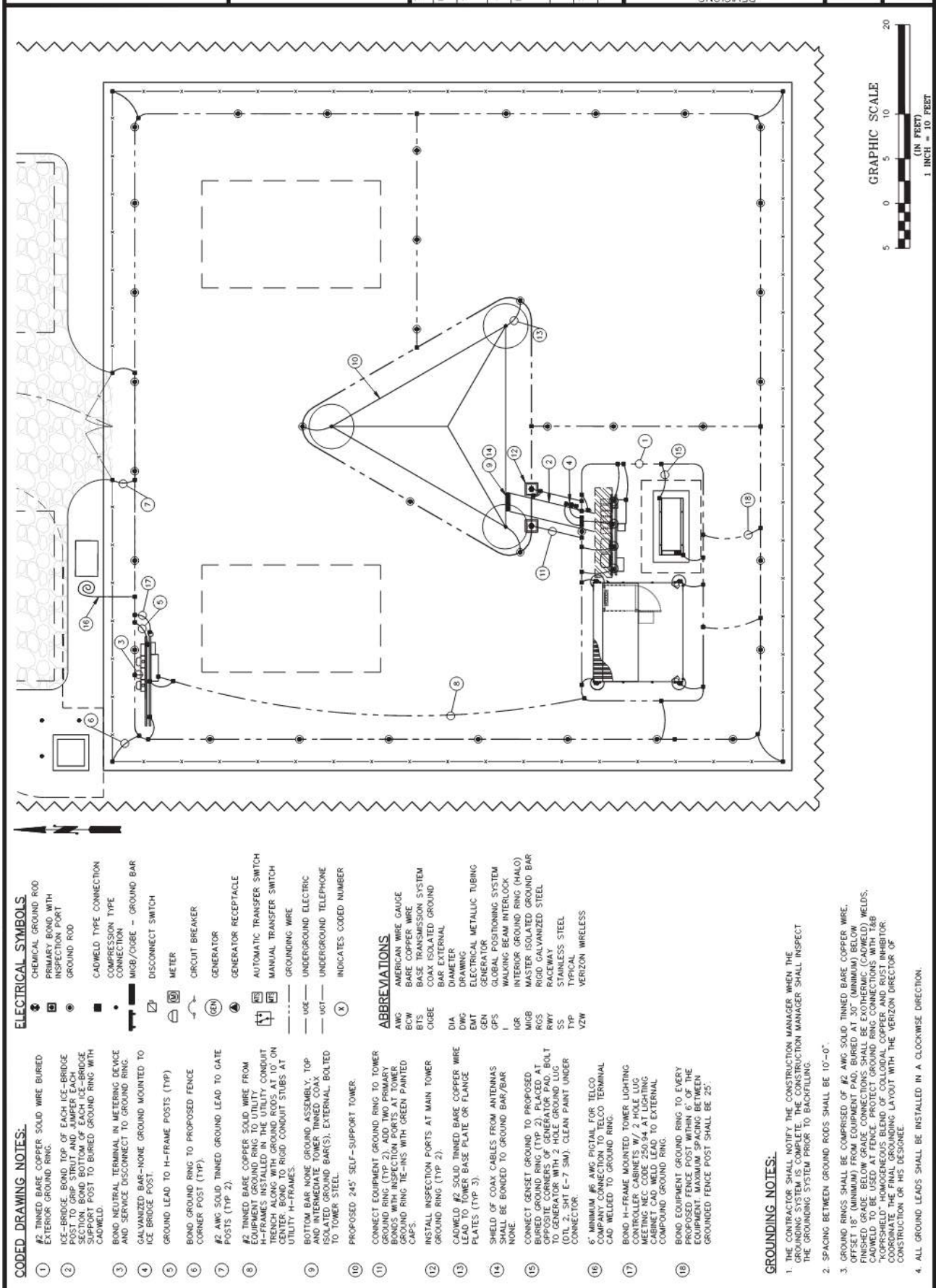
Tower Elevation



Distance to Residential Structures



Utility Plan



CODED DRAWING NOTES:

- 1 #2 TINNED BARE COPPER SOLID WIRE BURIED EXTERIOR GROUND RING.
- 2 ICE-BRIDGE. BOND TOP OF EACH ICE-BRIDGE POST TO GRP STRUT AND JAMPER EACH SECTION. BOND BOTTOM OF EACH ICE-BRIDGE SUPPORT POST TO BURIED GROUND RING WITH CADWELD.
- 3 BOND NEUTRAL TERMINAL IN METERING DEVICE AND SERVICE DISCONNECT TO GROUND RING. ICE BRIDGE POST.
- 4 GALVANIZED BAR-NONE GROUND MOUNTED TO ICE BRIDGE POST.
- 5 GROUND LEAD TO H-FRAME POSTS (TYP)
- 6 BOND GROUND RING TO PROPOSED FENCE CORNER POST (TYP).
- 7 #2 AWG SOLID TINNED GROUND LEAD TO GATE POSTS (TYP 2).
- 8 #2 TINNED BARE COPPER SOLID WIRE FROM EQUIPMENT GROUND RING TO UTILITY H-FRAMES INSTALLED IN THE UTILITY CONDUIT TO BE USED TO PROTECT GROUND RING CONNECTIONS ON UTILITY H-FRAMES.
- 9 BOTTOM BAR NONE GROUND ASSEMBLY, TOP AND INTERMEDIATE TOWER TINNED COAX AND ISOLATED GROUND BAR(S). EXTERNAL, BOLTED TO TOWER STEEL.
- 10 PROPOSED 245' SELF-SUPPORT TOWER.
- 11 CONNECT EQUIPMENT GROUND RING TO TOWER GROUND RING (TYP 2). ADD TWO PRIMARY BONDS WITH INSPECTION PORTS AT TOWER GROUND RING TIE-INS WITH GREEN PAINTED CAPS.
- 12 INSTALL INSPECTION PORTS AT MAIN TOWER GROUND RING (TYP 2).
- 13 CADWELD #2 SOLID TINNED BARE COPPER WIRE LEAD TO TOWER BASE PLATE OR FLANGE PLATES (TYP 3).
- 14 SHIELD OF COAX CABLES FROM ANTENNAS SHALL BE BONDED TO GROUND BAR/BAR NONE.
- 15 CONNECT GENSET GROUND TO PROPOSED BURIED GROUND RING (TYP 2). PLACED AT OPPOSITE CORNERS OF GENERATOR PAD. BOLT TO GENERATOR WITH 2 HOLE GROUND LUG (DTL 2, SHT E-7 SM). CLEAN PAINT UNDER CONNECTOR.
- 16 6" MINIMUM #6 AWG PITTAIL FOR TELCO COMPANY CONNECTION TO TELCO TERMINAL CAD WELDED TO GROUND RING.
- 17 BOND H-FRAME MOUNTED TOWER LIGHTING CONTROLLER CABINETS W/ 2 HOLE LUG MEETING SPEC. TO BE USED AT LIGHTING MEETING SPEC. W/ 2 HOLE LUG TO EXTERNAL COMPOUND GROUND RING.
- 18 BOND EQUIPMENT GROUND RING TO EVERY PROPOSED FENCE POST WITHIN 6' OF THE EQUIPMENT. MAXIMUM SPACING BETWEEN GROUNDING FENCE POST SHALL BE 25'.

ELECTRICAL SYMBOLS:

- CHEMICAL GROUND ROD
- PRIMARY BOND WITH INSPECTION PORT
- GROUND ROD
- CADWELD TYPE CONNECTION
- CONNECTION TYPE
- MCB/CBSE - GROUND BAR
- DISCONNECT SWITCH
- METER
- CIRCUIT BREAKER
- GENERATOR
- GENERATOR RECEPTACLE
- AUTOMATIC TRANSFER SWITCH
- MANUAL TRANSFER SWITCH
- GROUNDING WIRE
- UNDERGROUND ELECTRIC
- UNDERGROUND TELEPHONE
- INDICATES CODED NUMBER

ABBREVIATIONS

- AWG AMERICAN WIRE GAUGE
- BCW BARE COPPER WIRE
- BTS BASE TRANSMISSION SYSTEM
- CBSE COAX ISOLATED GROUND BAR EXTERNAL
- DIA DIAMETER
- DWG DRAWING
- EMT ELECTRICAL METALLIC TUBING
- GEN GENERATOR
- GFS GLOBAL POSITIONING SYSTEM
- I WALKING BEAM INTERLOCK
- IR INTERIOR GROUND RING (HALO)
- IRIG MASTER ISOLATED GROUND BAR
- IS GALVANIZED STEEL
- SS STAINLESS STEEL
- TYP TYPICAL
- VZW VERIZON WIRELESS

GROUNDING NOTES:

1. THE CONTRACTOR SHALL NOTIFY THE CONSTRUCTION MANAGER WHEN THE GROUNDING SYSTEM IS COMPLETE. THE CONSTRUCTION MANAGER SHALL INSPECT THE GROUNDING SYSTEM PRIOR TO BACKFILLING.
2. SPACING BETWEEN GROUND RODS SHALL BE 10'-0".
3. GROUND RINGS SHALL BE COMPRISED OF #2 AWG SOLID TINNED BARE COPPER WIRE, OFFSET 1/8" (MINIMUM) FROM EQUIPMENT PAD, BURIED AT 30" (MINIMUM) BELOW GRADE. ALL WELDS SHALL BE FULL PENETRATION WELDS. CADWELD TO BE USED AT FENCE PROTECT GROUND RING CONNECTIONS WITH TAB "KOPFRESHELD" HOMOGENEOUS BLEND OF COLLOIDAL COPPER AND RUST INHIBITOR. COORDINATE THE FINAL GROUNDING LAYOUT WITH THE VERIZON DIRECTOR OF CONSTRUCTION OR HIS DESIGNEE.
4. ALL GROUND LEADS SHALL BE INSTALLED IN A CLOCKWISE DIRECTION.

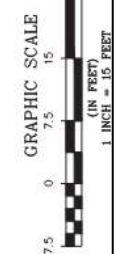
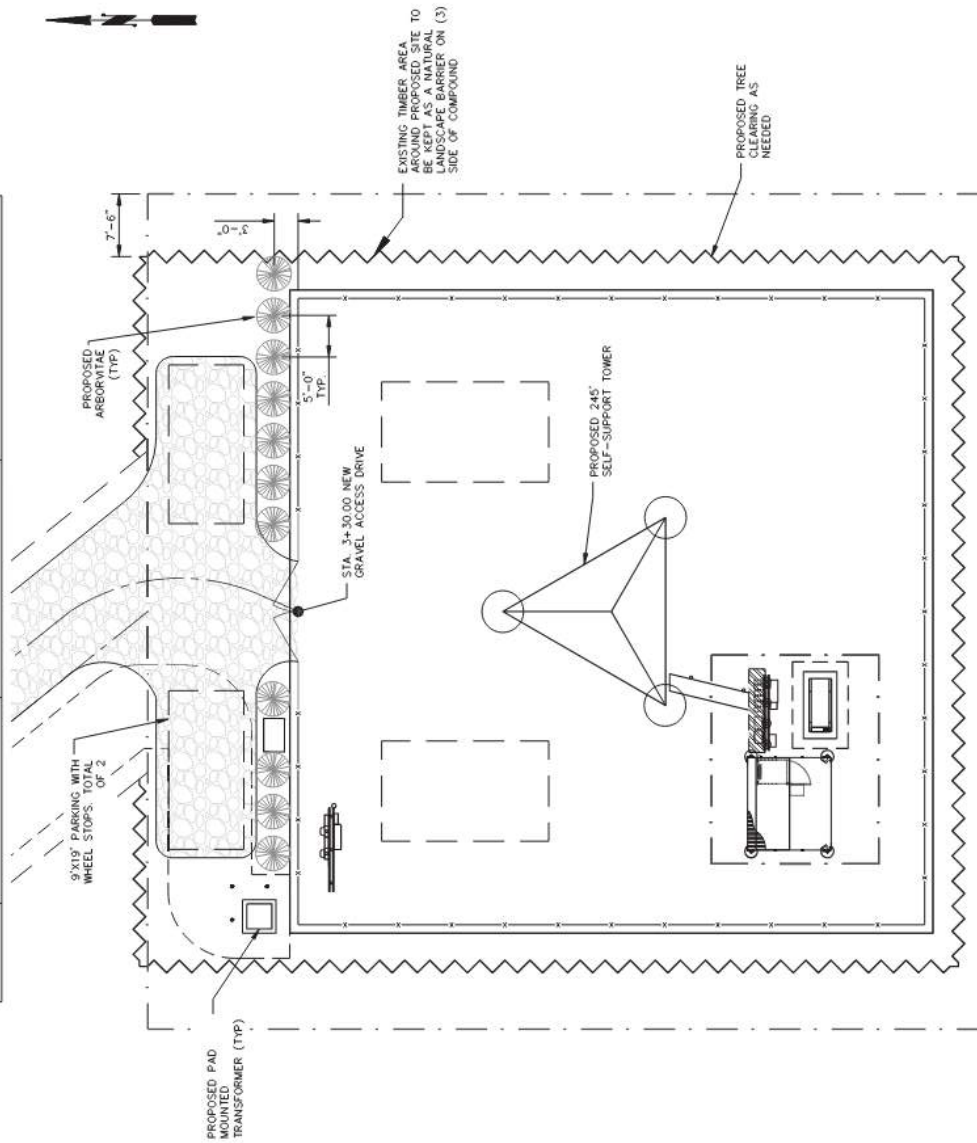
Landscape Plan

PLANT LIST

QUANTITY	COMMON NAME	BOTANICAL NAME	SIZE/REMARKS
(11)	ARBORWITTE (EASTERN WHITE CEDAR)	THUJA OCCIDENTALIS	60" HEIGHT **45 D.C.

GENERAL NOTES: LANDSCAPE

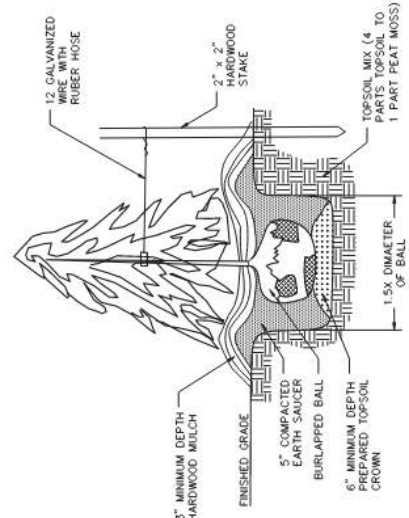
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING, BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZATION, ETC.) OF PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE ENGINEER'S REPRESENTATIVE.
- WATERING TO BE COMPLETED BY PORTABLE WATER PANS.
- WATERING TO BE COMPLETED BY PORTABLE WATER PANS (INCLUDING WATERING) THROUGHOUT THE THREE YEAR GUARANTEE PERIOD UNLESS OTHERWISE DETERMINED.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF THREE YEARS FROM THE DATE OF PLANTING. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- ANY PLANT MATERIAL THAT DIES, TURNS BROWN OR DEFOLIATES (PRIOR TO THE ACCEPTANCE OF THE WORK) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH PLANT MATERIAL OF THE SAME SPECIES, QUANTITY, SIZE AND MEETING ALL SPECIFICATIONS.
- ALL TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO GRADING.
- PRESERVE EXISTING TREE MASSES WHERE APPLICABLE.
- ALL TREES TO BE REMOVED SHALL BE REMOVED CAUSING MINIMAL OR NO DAMAGE TO LANDSCAPE MATERIALS ACCORDINGLY.
- REPLACEMENT OF MATERIALS ACCORDINGLY.
- CLEARING, GRADING AND/OR REMOVAL OF TREES IN APPROVED TPAS (TREE PRESERVATION AREAS) MAY ONLY OCCUR AS PART OF INDIVIDUAL LOT DEVELOPMENT AND SHALL BE APPROVED BY STAFF AS PART OF THE CONSTRUCTION PLAN APPROVAL PROCESS.
- TPAS IDENTIFIED ON THIS PLAN REPRESENT PORTIONS OF THE SITE THE DEVELOPER HAS DESIGNATED TO BE LEFT UNDISTURBED DURING THE DEVELOPMENT OF THE PROJECT. UTILITIES AND SIMILAR INFRASTRUCTURES, THESE ARE NOT TO BE REMOVED OR ALTERED. ANY UTILITIES OR INFRASTRUCTURES TO BE REMOVED DURING CONSTRUCTION OF HOMES OR BUILDINGS ON THIS SITE.
- DIMENSION LINES HAVE BEEN USED ON THIS PLAN TO ESTABLISH THE GENERAL LOCATION OF TPAS AND REPRESENT MINIMUM DISTANCES. THE FINAL BOUNDARY OF ALL TREES AT OR WITHIN THE DIMENSION LINE SHALL BE DETERMINED BY THE CONTRACTOR.
- SEE PROTECTION FENCING SHALL BE ERRECT ADJACENT TO ALL TPAS PRIOR TO SITE DISTURBANCE APPROVAL (PREVIOUSLY KNOWN AS CLEARING AND GRADING) TO PROTECT THE EXISTING TREE STANDS AND THEIR ROOT SYSTEMS. ALL TREE PROTECTION FENCING SHALL BE LOCATED AT LEAST 3 FEET FROM THE OUTSIDE EDGE OF THE TREE CANOPY AND SHALL REMAIN IN PLACE UNTIL ALL CONSTRUCTION IS COMPLETED. WHEN TREES MUST BE REMOVED IN A TPA, THE CONTRACTOR SHALL REMOVE ALL REMAINS OF THE TREE WITHIN THAT TPA. TPAS SHALL REMAIN UNDISTURBED THROUGHOUT THE PROJECT. FENCING SHALL ONLY BE REMOVED AT THE OUTERMOST PERIMETER OF THAT TREE MASS.
- NO PARKING, MATERIAL STORAGE, OR CONSTRUCTION ACTIVITIES ARE PERMITTED WITHIN THE TPAS BEYOND THAT ALLOWED FOR PRELIMINARY SITE DEVELOPMENT.
- MULCH TO BE PLACED UNDER ALL PROPOSED LANDSCAPING BY CONTRACTOR.



Existing landscaping around the perimeter of the site shall be kept as a natural landscape buffer along three (3) sides of the compound.

LANDSCAPE NOTE:

- EXISTING LANDSCAPE ALONG WEST PROPERTY BORDERS TO BE PRESERVED AS APPLICABLE. ALL LARGE EXISTING TREES AND ANY BUSHES THAT IMPIDE ON FINAL FENCED COMPOUND TO BE REMOVED AND FILLED IN WITH PROPOSED BUSH TYPE.





Baldwin County Planning & Zoning Department

Baldwin County Planning Commission Staff Report

Case No. CSP26-11
Dental Office
Commission Site Plan (CSP) Approval
May 7, 2026

Subject Property Information

Planning District: 16
General Location: Located west of U.S. Highway 98 and north of Graham Street in the Montrose community
Physical Address: 23951 U.S. Highway 98, Fairhope, AL 36532
Parcel ID: 05-43-09-32-0-000-012.000
PIN: 43701
Zoning: B-2, Neighborhood Business District
Current Use: Vacant
Proposed Use: 5,070 SF dental office
Acreage: 1.08 +/- acres
Total # Parcels requested: N/A
Applicant: Lieb Engineering Company – Chris Lieb
 7671 Parker Road
 Fairhope, AL 36532
Owner: Robin Hollon and Chase Taylor
 22355 Main Street
 Fairhope, AL 36532
Lead Staff: Cory Rhodes, Planner
Attachments: *Within Report*

	Adjacent Land Use	Adjacent Zoning
North	Vacant	B-2, Neighborhood Business
South	Commercial	B-1, Professional Business
East	Institutional	RTF-4, Residential Two Family
West	Residential	RSF-2, Residential Single Family

Summary

The applicant is requesting Commission Site Plan (CSP) approval for a 5,070 SF dental office. The subject property encompasses +/- 1.08 total acres and zoned as B-2, Neighborhood Business District. The adjacent parcels are designated primarily for residential or commercial purposes. The request meets the requirements of the Baldwin County Zoning Ordinance.

Agency Comments

USACE, James Buckelew: Staff reached out on 4/9/2026 but received no comments.

ADEM, Scott Brown: Staff reached out on 4/9/2026 but received no comments.

ALDOT, Jason Shaw and Chase Chitwood: Staff reached out on 4/9/2026 but received no comments.

City of Fairhope, Hunter Simmons: Staff reached out on 4/9/2026 but received no comments.

Staff Analysis and Findings

The criteria for reviewing Commission Site Plan approvals are outlined in Section 18.10.5 of the Baldwin County Zoning Ordinance. Staff carefully considered all of these factors during the evaluation of the application.

The proposed site plan for the 5,070 square-foot dental office complies with the requirements of the Zoning Ordinance, as medical offices, including dental practices, are permitted uses within B-2 zoning. The property's future land use designation includes both Conservation and Low-Impact Development, which supports limited development guided by low-impact design principles and allows for service-oriented uses that meet community needs.

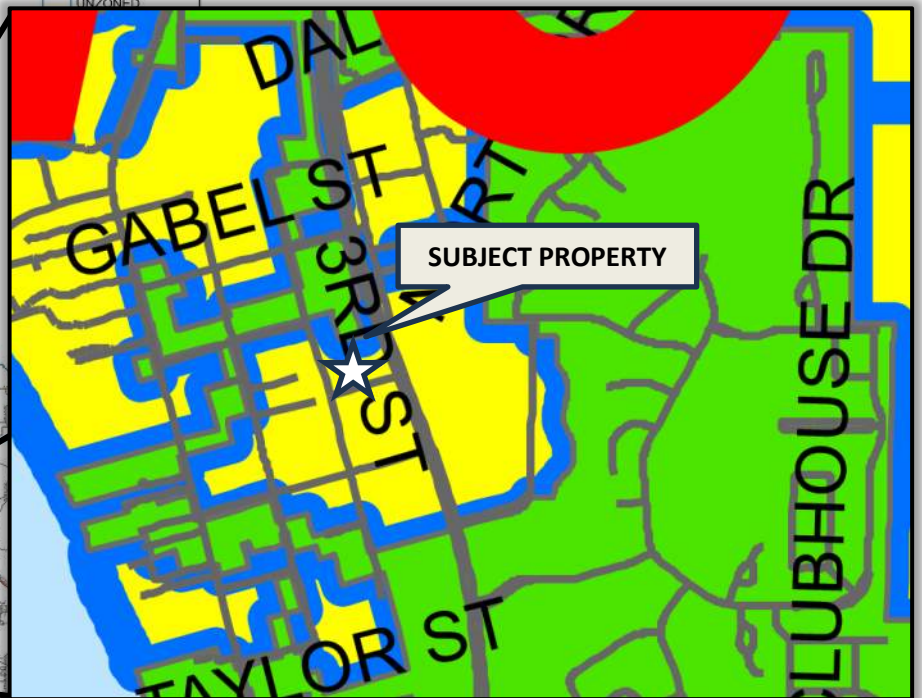
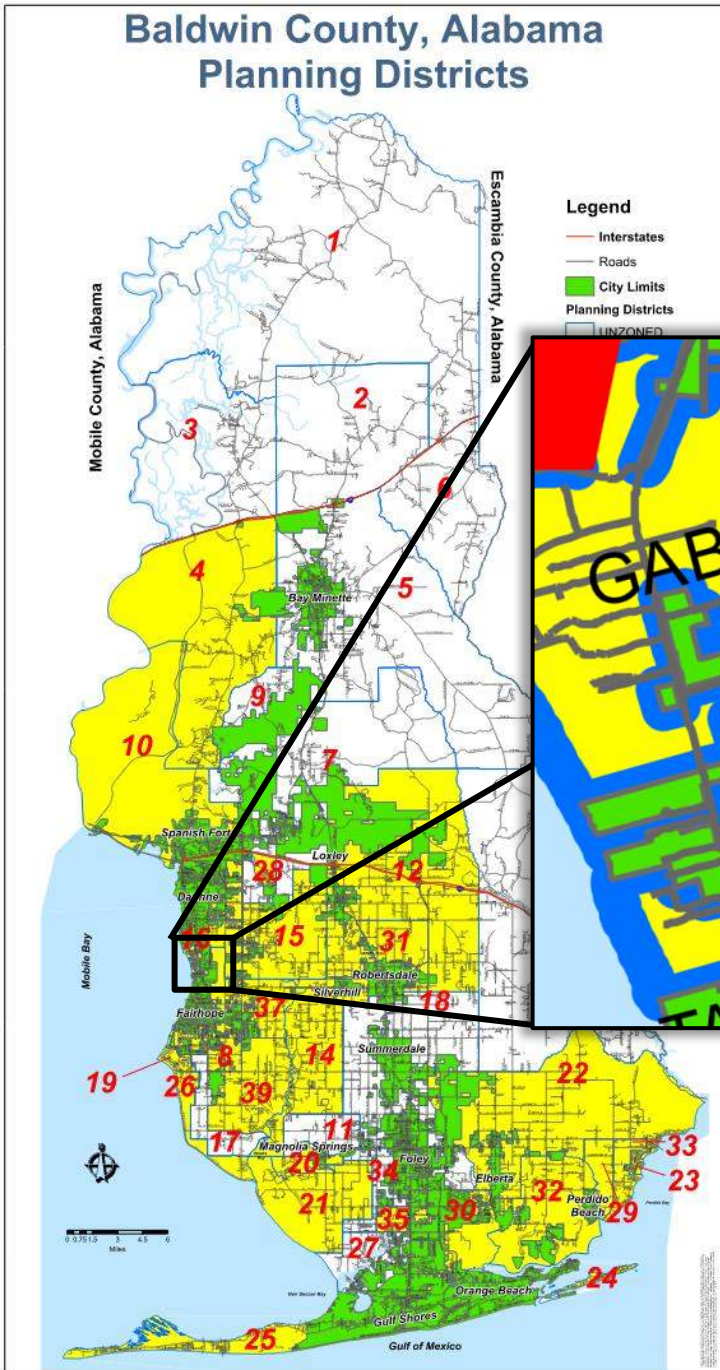
United States Highway 98 is classified as a Principal Arterial, designed to serve major metropolitan areas by providing a high level of mobility while accommodating direct access to adjacent land uses. Given the commercial character of the subject property, its proximity to existing commercial development to the south and east, and the nature of the proposed use as a service to nearby residential areas, staff finds the proposal to be consistent with community welfare and not detrimental to public convenience at this location.

Staff Comments and Recommendation

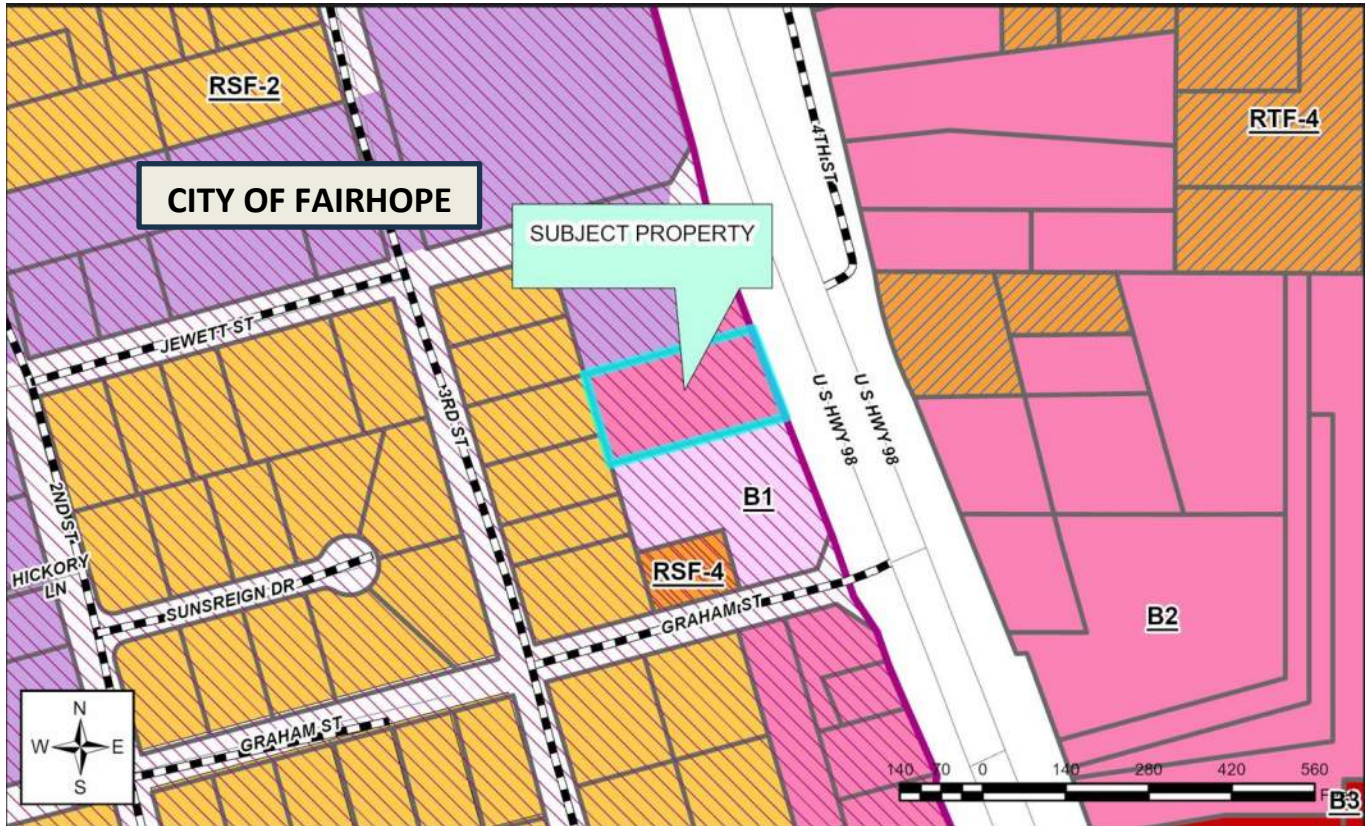
As previously mentioned, the subject property encompasses +/- 1.08 acres and is zoned for commercial use. The applicant has requested Commission Site Plan approval for a 5,070 SF dental office. Staff has carefully evaluated all relevant factors concerning this application and recommends that the application be **APPROVED** with the following conditions:

1. **Submittal of a Commercial Turnout Permit from ALDOT.**
2. Staff requests the Building Permit 180-day deadline required by Section 18.3.4 be increased to **one (1) calendar year** from the date of Planning Commission approval.
 - a. The CSP approval letter shall be obtained by the applicant prior to approval of any building permits
3. The closeout requirements of Section 18.10.7 of the zoning ordinance are a prerequisite to obtaining a Certificate of Occupancy (CO) for the proposed new building.
 - a. Staff reserves the right to issue NOVs, if required, for deficiencies to the site plan occurring after final closeout.
 - b. No substitutions or alterations to the landscape plan may be carried out without staff and/or Planning Commission approval, as applicable.
 - c. The project site shall be fully stabilized to the satisfaction of staff prior to issuance of a CO for any structures comprising the site plan approval.
4. Any signage installed on the site shall require separate review and approval as required by Article 16.

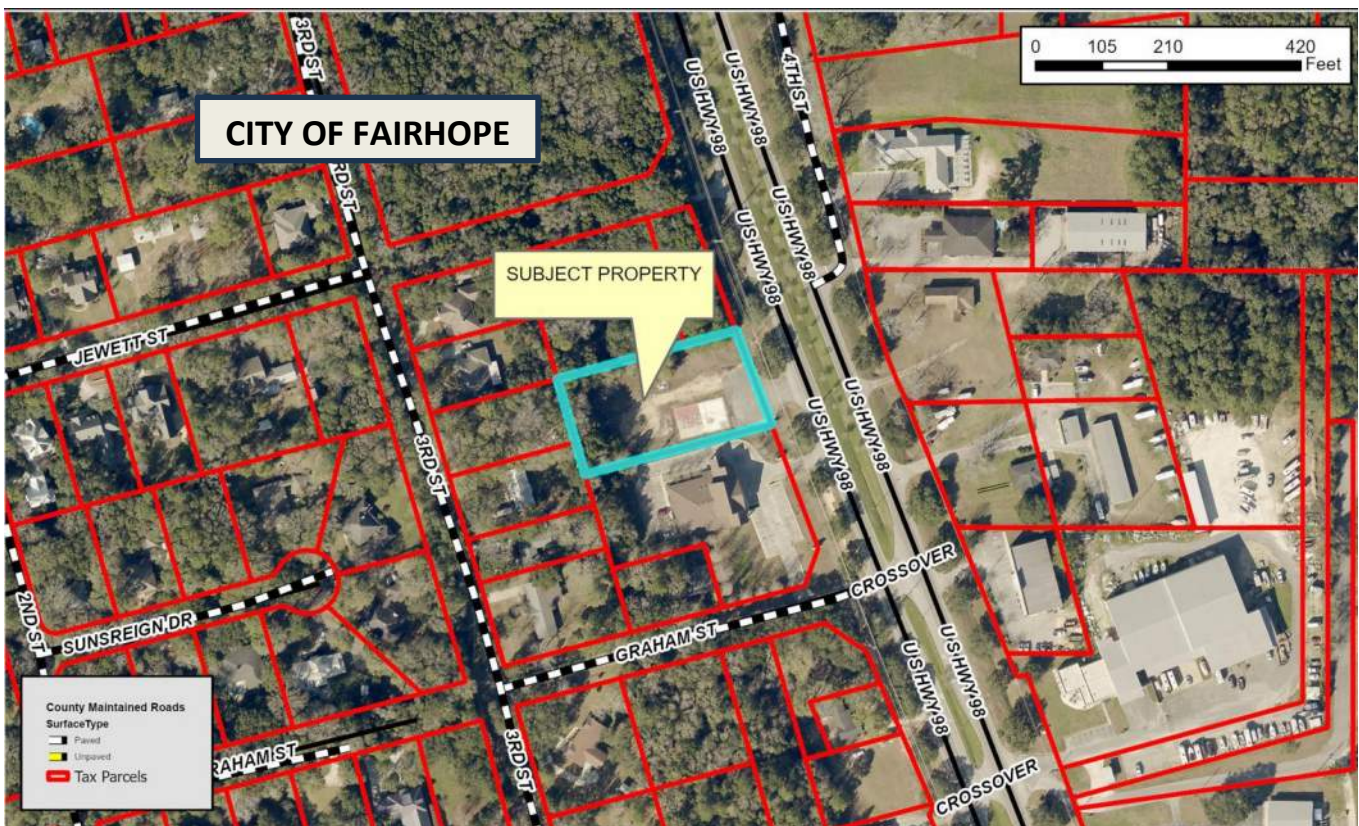
- a. Further memorialize that section 16.4 prohibits a variety of signage types including but not limited to wind signs consisting of one or more banners, flags, pennants, ribbons, spinners, streamers or captive balloons, or other objects or material fastened in such a manner as to move freely upon being subjected to pressure by wind.
5. Any expansion of the proposed structures or facility above and beyond what is depicted on the sheets included with the CSP Approval letter shall necessitate additional review by the Planning Commission.
6. Per Section 18.10.1 the Planning Commission may revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.



Locator Map



Site Map



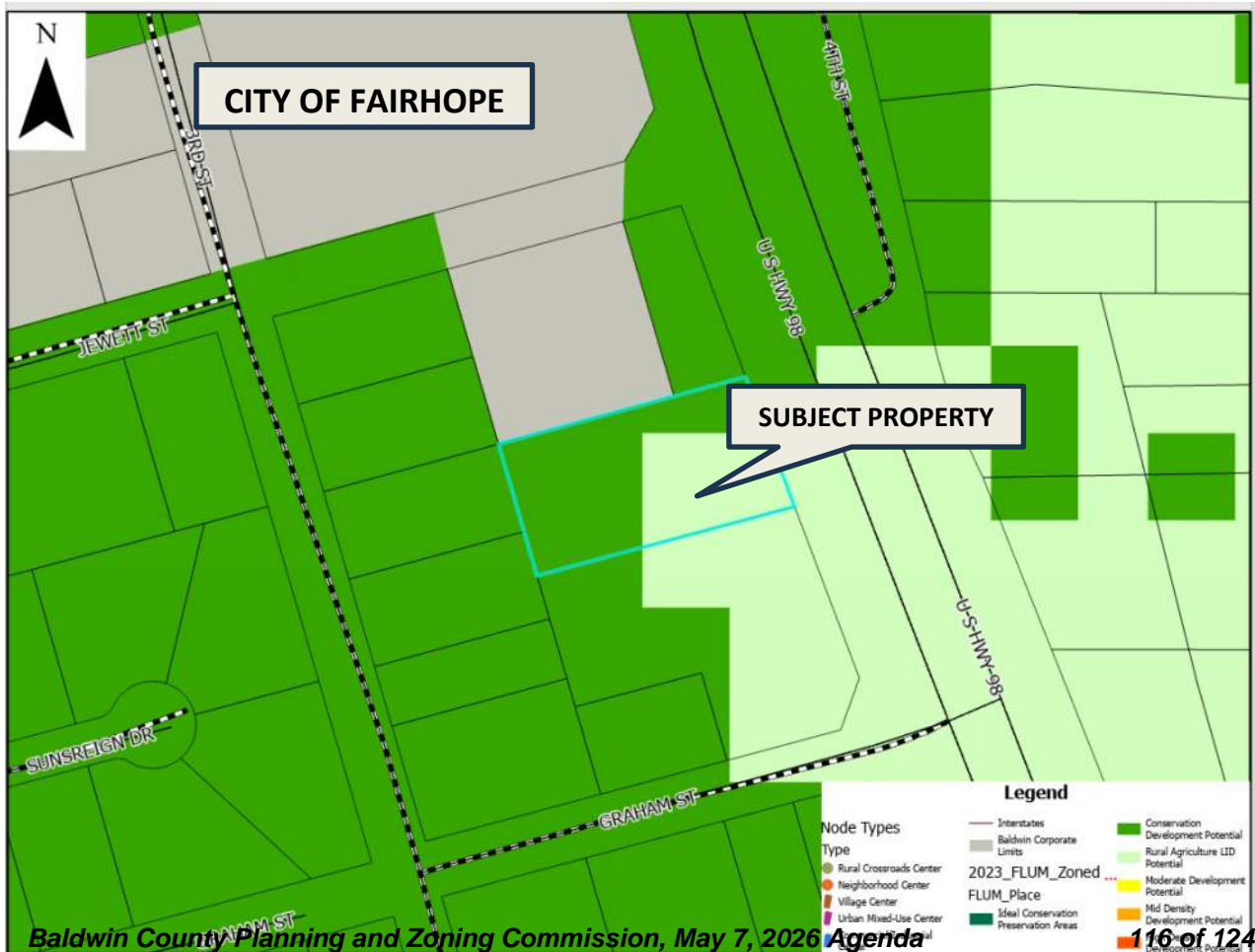
Property Images







FLUM



RURAL/AGRICULTURE/LOW IMPACT DEVELOPMENT POTENTIAL AREAS

Rural Development Potential Areas include large lots, open space views, and a large buffer distance between buildings. Residential homes may be on large tracts and could include estate homes and working farmland. The development pattern may also include conservation-based subdivisions to allow for the clustering of residential dwellings to protect open space that is valued for natural resource protection—such as stream buffers, mature forest habitat, or wetlands—working farmland, or recreational amenities. Lands within these areas should be developed with additional Low Impact Development (LID) standards and buffers to limit the impact to adjacent critical environments. At key rural crossroads, rural centers or nodes could allow for a combination of retail and service uses to meet the needs of the community.

PRIMARY LAND USES

- Single-family detached homes
- Hobby farms
- Agri-hoods
- Cultivated farmland, timber/managed forest, pastureland
- Clustered manufactured housing communities
- Rural crossroads center/node

RELATED ZONING DISTRICTS

- RR Rural District
- RA Rural Agricultural District
- RSF-E Residential Single Family Estate

CONNECTIVITY NETWORK

- Rural streets with sidewalks, paved shoulders, bike lanes, and/or side paths based on local character and context
- Rural greenways and trails along environmental buffers

CONSERVATION DEVELOPMENT AREAS

Conservation Development Potential Areas are suitable for all of the land uses described in the Ideal Conservation/Preservation Areas place type but would allow for limited development based on low-impact design principles. Allowing conservation-based subdivisions in these areas could help to balance the pressure of residential development with environmental preservation and rural character. Conservation-based subdivisions allow for the clustering of residential dwellings to protect open space that is valued for natural resource protection—such as stream buffers, mature forest habitat, or wetlands—working farmland, or recreational amenities.

PRIMARY LAND USES

- Conservation-based or cluster development with high levels of Low Impact Design (LID) and sustainable development practices
- Natural areas that are publicly and privately owned and managed
- Permanently protected lands such as conservation easements, parks, cemeteries
- Parks and open spaces devoted primarily to passive recreation and trails
- Lands with important cultural landmarks or assets
- Scenic view protection

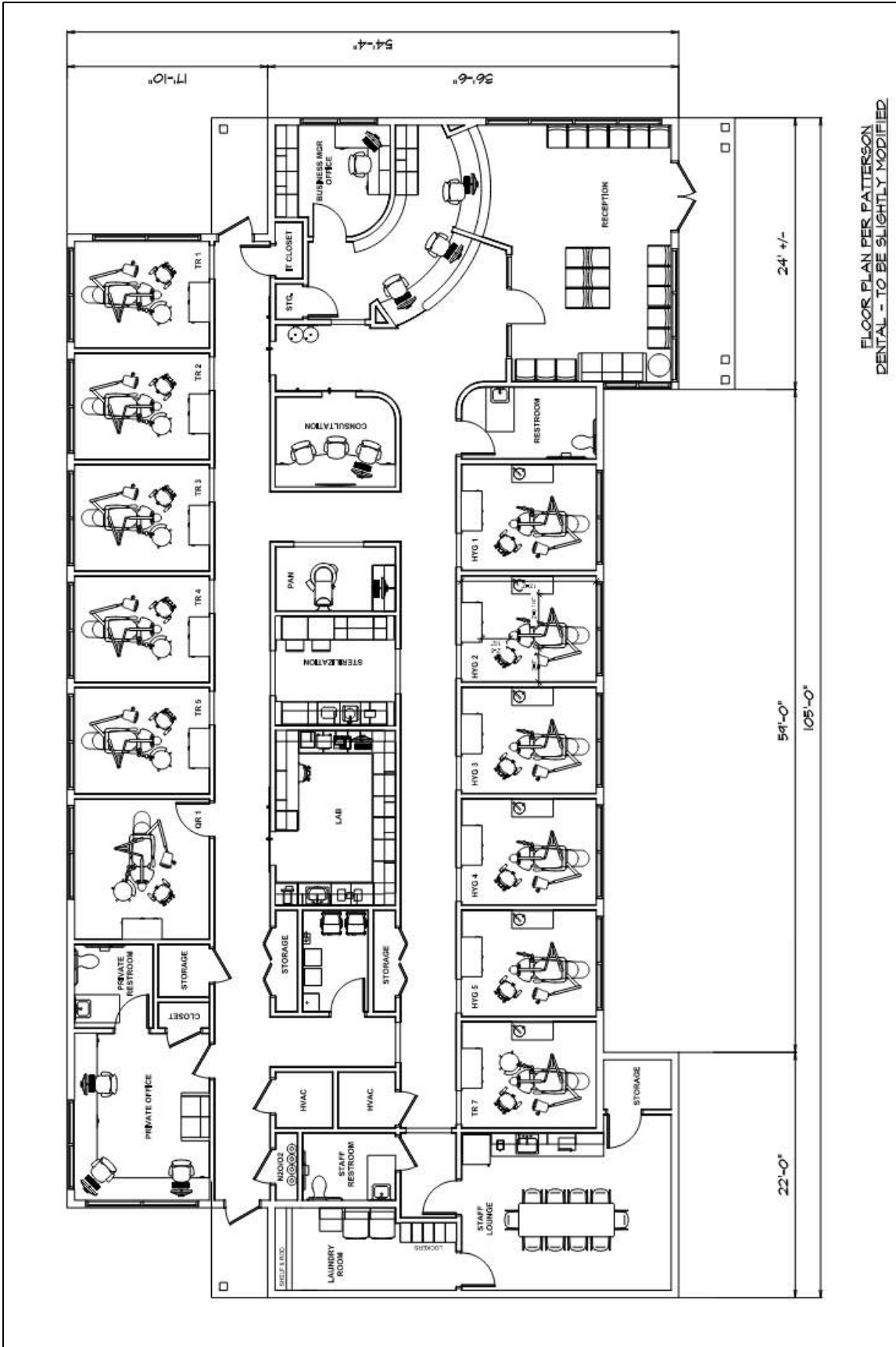
RELATED ZONING DISTRICTS

- Environmental Conservation
- CR Conservation Resource District
- OR Outdoor Recreation District

CONNECTIVITY NETWORK

- Rural streets with paved shoulders, bike lanes, or side paths
- Greenways and trails along environmental buffers

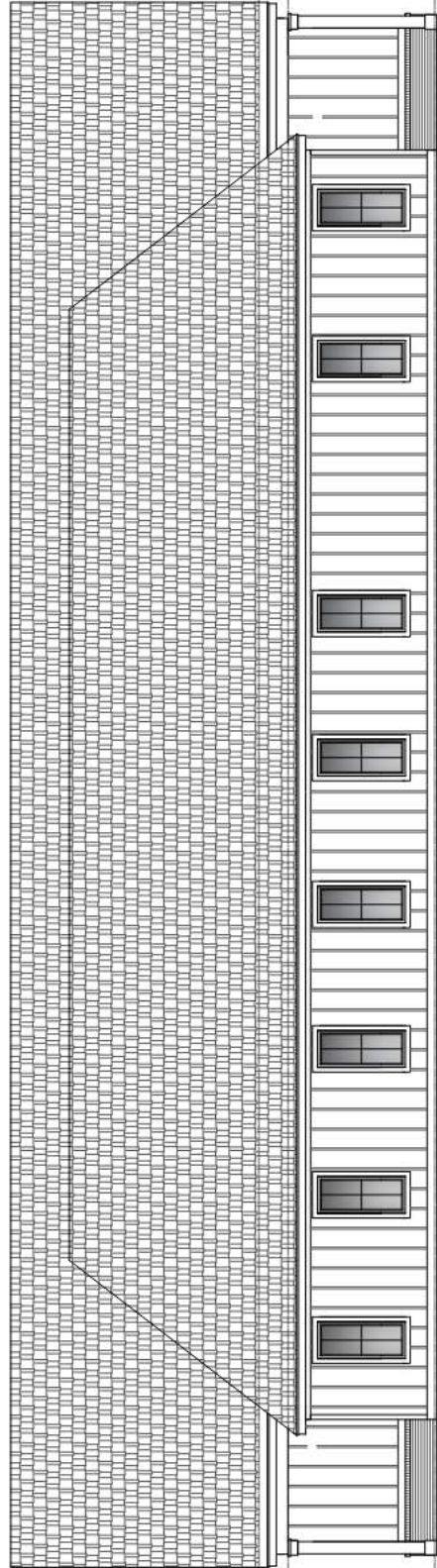
Floor & Elevation Plans



FLOOR PLAN PER PATTERSON DENTAL - TO BE SLIGHTLY MODIFIED

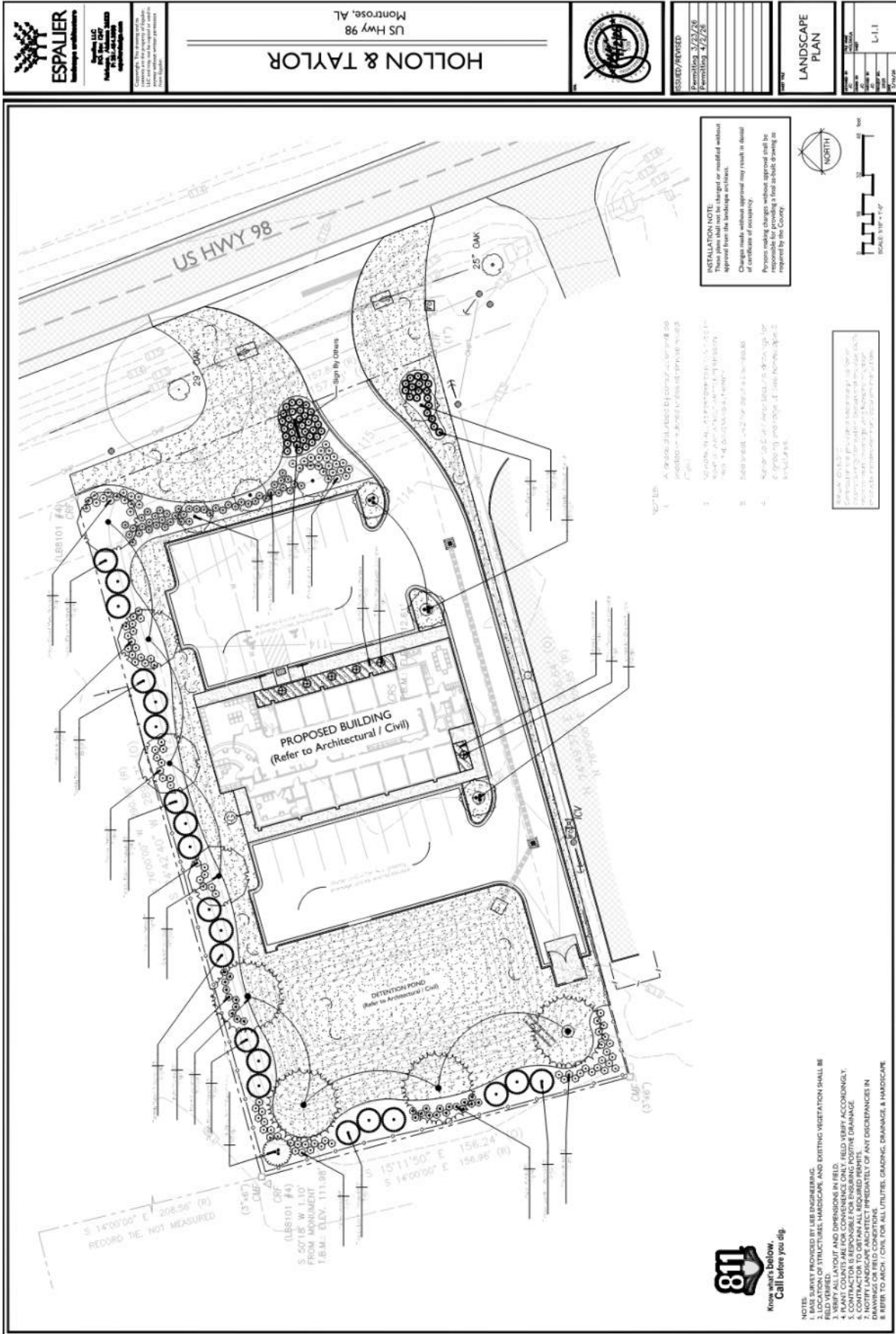


CONCEPTUAL FRONT ELEVATION



CONCEPTUAL REAR ELEVATION

Landscape Plan



ESPALIER
landscape architecture

1000 N. 10th St.
Montrose, AL 36053
Phone: 205.833.1111
www.espalier.com

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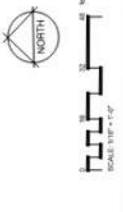
HOLLON & TAYLOR
US Hwy 98
Montrose, AL



DATE	3/27/26
PROJECT	LEB101 #4
SCALE	1/8" = 1'-0"

LANDSCAPE PLAN	
DATE	3/27/26
PROJECT	LEB101 #4
SCALE	1/8" = 1'-0"

INSTALLATION NOTE:
This plan is to be installed as shown. No modifications are to be made without the approval of the landscape architect.
Changes made without the approval of the landscape architect may result in a loss of warranty of occupancy.
Persons making changes without approval shall be responsible for providing a final as-built drawing as required by the County.



- NOTES:**
1. All plants shall be installed by the contractor within 14 days of construction completion.
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 4. All plants shall be installed by the contractor within 14 days of construction completion.

NOTES:
1. All plants shall be installed by the contractor within 14 days of construction completion.

- NOTES:**
1. BASE SURVEY PROVIDED BY L&E ENGINEERING.
 2. LOCATION OF STRUCTURES, HARDSCAPE, AND EXISTING VEGETATION SHALL BE VERIFIED IN FIELD.
 3. VERIFY ALL LAYOUT AND DIMENSIONS IN FIELD.
 4. PLANT COUNTS ARE FOR CONFORMANCE ONLY. FIELD VERIFY ACCORDINGLY.
 5. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 6. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS.
 7. NOTIFY LANDSCAPE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES IN FIELD.
 8. REFER TO ARCH. / CIVIL FOR ALL UTILITIES, GRADING, DRAINAGE, & HARDSCAPE.



PLANT SCHEDULE

<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>HEIGHT</u>	<u>SPECS</u>	<u>REMARKS</u>
TREES								
	IK	1	Ilex vomitoria 'Kathy Ann Batson'	TF Kathy Ann Yaupon Holly	30 gal.	8' Ht. Min.	(3) Canes Min. @ 1"/Cane Min.	Multi.Trunk,Tree Form
	IE	4	Ilex x attenuata 'Eagleston'	Eagleston Holly	30 gal.	8' Ht. Min.	2" Cal. Min.	Tree Form, Single Trunk
	LM	3	Lagerstroemia x 'Muskogee'	Lavender Crape Myrtle	30 gal.	8' Ht. Min.	(3) Canes Min. @ 1"/Cane Min.	Tree Form, Multi.Trunk
	MT	21	Magnolia grandiflora 'Teddy Bear'	Teddy Bear Magnolia	15 gal.	4' Ht. Min.	1" Cal. Min.	Greenforest Nursery
	QS	4	Quercus shumardii	Shumard Oak	30 gal.	10' Ht. Min.	2" Cal. Min.	
	TD	4	Taxodium distichum	Bald Cypress	30 gal.	10' Ht. Min.	2" Cal. Min.	
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>CONTAINER</u>	<u>SIZE</u>	<u>SPACING</u>	<u>REMARKS</u>
SHRUBS								
	CO	18	Camellia sasanqua 'Green 02-003'	Ruby Camellia	3 gal.		36" o.c.	Waters Nursery
	CP	6	Camellia sasanqua 'Green 02-019' TM	Pink Perplexion Camellia	7 gal.		36" o.c.	
	IP	72	Illicium parviflorum	Yellow Anise	7 gal.		36" o.c.	Greenforest
	JP	33	Juniperus davurica 'Parsonii'	Parson's Juniper	3 gal.		36" o.c.	
	MW	37	Muhlenbergia capillaris 'White Cloud'	White Cloud Muhly Grass	3 gal.		36" o.c.	
	MC	25	Myrica cerifera	Wax Myrtle	7 gal.		36" o.c.	
	TD2	45	Myrica cerifera 'Tom's Dwarf'	Tom's Dwarf Waxmyrtle	3 gal.		36" o.c.	
<u>SYMBOL</u>	<u>CODE</u>	<u>QTY</u>	<u>BOTANICAL NAME</u>	<u>COMMON NAME</u>	<u>SIZE</u>	<u>CONTAINER</u>	<u>SPACING</u>	<u>REMARKS</u>
GROUND COVERS								
	TA	402	Trachelospermum asiaticum 'Asiatic'	Asiatic Jasmine	4" Pots		12" o.c.	
	ZE	18,835 sf	Zoysia japonica 'Empire'	Empire Zoysia	sod			Contractor shall field verify exact quantity.



BALDWIN COUNTY,
ALABAMA

Planning and Zoning Department

**NEXT REGULAR MEETING OF THE
BALDWIN COUNTY
PLANNING AND ZONING COMMISSION
JUNE 4, 2026, 4:00 PM**

BALDWIN COUNTY CENTRAL ANNEX | ROBERTSDALE, AL

To view the full Staff Report presentation and the public folders for each of the cases, visit the “Upcoming Meeting Items” Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>

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for meeting details
and upcoming agenda
(when available).

