



Baldwin County Planning & Zoning Commission Agenda

Thursday, August 4, 2022
4:00 p.m.

Baldwin County Central Annex
Main Auditorium
22251 Palmer Street
Robertsdale, Alabama

www.planning.baldwincountyal.gov

1. **Call to order.**
2. **Invocation and prayer.**
3. **Pledge of Allegiance.**
4. **Roll call.**
5. **Approval of meeting minutes:**
 - July 7, 2022 Work Session Minutes
 - July 7, 2022 Meeting Minutes
6. **Announcements/Registration to address the Commission.**
7. **Consideration of Applications and Requests: Subdivision Case**

a.) Case, SPP22-7, Sherwood Grove

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 166- lot subdivision to be known as Sherwood Grove Estates.

Location: The subject property is located on Sherwood Highlands Rd, south of Co Rd 24, east of State Highway 181, near Fish River.

8. Consideration of Applications and Requests: Rezoning Cases

a.) Case, Z22-10, Gulf Coast Farm Property

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting to rezone 39+/- acres from RA to RSF-2 to allow development of a single-family subdivision.

Location: The subject property is located on the south side of Hwy 98, east of County Road 91, in Planning District 33.

b.) Case CSP22-15, Wise Property

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Commission Site Plan Approval to allow construction of a 10,000 sq. ft. building.

Location: The subject property is located on the south side of Milton Jones Road, west of State Highway 181, in Planning District 15.

c.) Case, Z22-13, Fort Morgan Marina Property

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting to rezone 4+/- acres from B-2 to B-4 to allow future development of a 24-pad class “A” motor coach resort and the make all lots the same zoning.

Location: The subject property is located on the north side of Hwy 180, adjacent to Fort Morgan Marina, in Planning District 25.

d.) Case, Z22-14, Lazzari Property

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting to rezone 12+/- acres from RSF-2 to RA to allow farm related use of the property.

Location: The subject property is located at 15163 Fackler Road, in Planning District 12.

e.) Case, Z22-15, God is Bidden Property

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting to rezone 4.6+/- acres from RA to HDR to allow multifamily development of the parcel.

Location: The subject property is located east of the Beach Express and south of Roscoe Road, in Planning District 30.

9. Consideration of Applications and Requests: Subdivision Cases

a.) Case, PUD22-8, Wandering Spirits RV Park

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting PUD Site Plan Approval for a 62-unit RV Park.

Location: The subject property is located on at the end of Glass Road, south of Interstate 10 and east of Wilcox Road.

b.) Case, SC22-17, Spring Creek Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 5- lot subdivision to be known as Spring Creek Subdivision.

Location: The subject property is located at the northwest corner of Ted Lysek Road and Spring Creek Drive, west of the town of Summerdale.

c.) Case, SC22-25, Peebles Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 7- lot subdivision to be known as Peebles Subdivision.

Location: The subject property is located on the north side of Woerner Road and west of County Road 95, near Elberta.

d.) Case, SC28- BFLC Elam Creek West PH 4 Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 5- lot subdivision to be known as BFLC Elam Creek West PH 4.

Location: The subject property is located on the north side of Linholm Road approximately 1.17 miles west of County Road 87.

e.) Case, SC22-30, BFCL Elam Creek West PH III Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 5- lot subdivision to be known as BFLC Elam Creek West PH III.

Location: The subject property is located on the north side of Linholm Road approximately 1.17 miles west of County Road 87.

f.) Case, SC22-31, Hege Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 5- lot subdivision to be known as Hege Subdivision

Location: The subject property is located on the west side of Vaughn Road, north of Makani Hill Road.

g.) Case, SC22-32, Donnenwirth Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 3- lot subdivision to be known as Donnenwirth Subdivision.

Location: The subject property is located on the corner of Perdido Street and Rosalia Street in the Lillian area.

h.) Case, SC22-35, First South Farm Credit Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 5- lot subdivision to be known as First South Farm Credit Subdivision

Location: The subject property is located on State Highway 59/US Hwy 31, just south of Bay Minette.

i.) Case, SC22-36, Johnson Subdivision

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 7- lot subdivision to be known as Johnson Subdivision

Location: The subject property is located on the south side of County Road 138, east of Highway 225 in Bay Minette.

j.) Case, SPP22-12, Tealwood Estates Phase I

Disclosure of Prior Outside Communication –Pursuant to Article VI, Section15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Preliminary Plat approval for a 76- lot subdivision to be known as Tealwood Estates, Phase I

Location: The subject property is located on Underwood Road, between Co Rd 9 and Co Rd 49, east of Fish River.

10. Old Business:

11. New Business:

a.) Case, HCA22-6, DeLucia Property,
Disclosure of Prior Outside Communication –Pursuant to Article VI,
Section 15(b), Planning Commission By-Laws

Purpose: The applicant is requesting Highway Construction Approval to allow a structure, already placed on the property to remain.

Location: The subject property is located on the south side of Co Rd 64, east of Co Rd 54 and west of Fish River.

12. Public Comments:

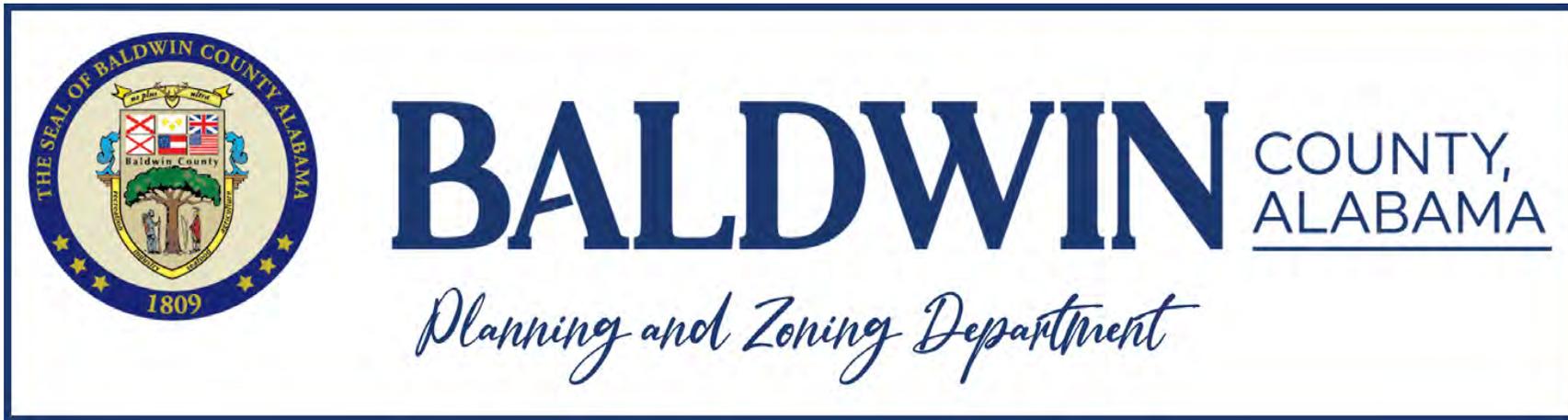
13. Reports and Announcements:

Staff Reports:

Legal Counsel Report:

Next Regular Meeting: **September 1, 2022**

14. Adjournment.



SUBDIVISION PRELIMINARY PLAT REQUEST

SPP22-7 SHERWOOD GROVE

AUGUST 4, 2022

PREAMBLE TO PRESENTATION

Overview



1. Preamble and composition of Planning Commission
2. Subdivisions vs. Zoning Map Changes
 - Sherwood Grove (subdivision) vs. Gulf Coast Farm (zoning map amendment)
 - Zoned vs unzoned Baldwin County
 - Subdivision steps (Sketch Plan, Preliminary Plat, Subdivision Permit, Final Plat Application, Final Plat Recording)
3. Technical Presentation of Sherwood Grove Preliminary Plat Request
4. Public comments
5. Vote by the Planning and Zoning Commission

Overview



1. Preamble and composition of Planning Commission

Baldwin County Planning and Zoning Commission (Planning Commission) information

- Eleven (11) members, all **unpaid citizen volunteers** appointed by the Baldwin County Commission. Six (6) members required for a quorum and meetings follow Robert's Rules of Order as well as the bylaws of the Planning Commission
- Members are non-elected, non-staff, appointed County Officials
- Members have no powers above and beyond those allowed by State Statute related to Planning and Zoning activities in Baldwin County
- The Planning Commission has approval authority for subdivisions, subdivision variances, and Highway Construction Setback (HCS) appeals
- May *recommend* changes to the Zoning Ordinance and Subdivision Regulations but cannot *approve* changes to those regulations
- May *recommend* zoning map changes but cannot *change* the zoning map

Overview



1. Preamble and composition of Planning Commission

Baldwin County Planning and Zoning Department information

- For a typical Planning Commission meeting the **staff member** that conducted the review of the submitted project presents their findings to the Planning Commission. Multiple staff members may present a very complicated project.
- The staff member is not advocating for or against any particular applicant, but explaining the rationale for their recommendation as well explaining what County regulations have attained or have not attained compliance by the applicant
- The Chair typically allows the applicant or applicant's representative to address the Planning Commission to answer questions about the application before allowing citizens to address the Planning Commission during the public comment period of the **public hearing**
- The Planning Commission has the opportunity to take action (**vote**) once the Chair has closed the public hearing

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Zoning Review

vs. Subdivision Review

Focus: Transition from less intense uses to more intense uses

Key Word: Compatibility

More **subjective review** with County/Planning Commission given **broad discretion**

Review is Like: a Balancing Test

Analyze Like: a Lawyer or Judge

Focus: Dividing land into multiple lots or units without regulating the use on the lot or in the unit.

Key Words: Technical Compliance

More **objective review** with County/Planning Commission given **little discretion**

Review is Like: a Checklist

Analyze Like: an Engineer



Gulf Coast Farm vs. Sherwood Grove

Focus: Transition from less intense uses to more intense uses

Key Word: Compatibility

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Gulf Coast Farm

vs.

Sherwood Grove

BALDWIN COUNTY
 ZONING ORDINANCE
 As amended: May 17, 2022
 (with additional formatting edits)



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

Robertsdale Office:
 22251 Palmer Street
 Robertsdale, AL 36567

<https://baldwincountyal.gov/departments/planning-zoning>
planning@baldwincountyal.gov
 251-580-1655

Foley Office:
 201 East Section Ave
 Foley, AL 36535



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

BALDWIN COUNTY
 SUBDIVISION REGULATIONS

BALDWIN COUNTY COMMISSION

~~October 6, 2020~~
September 21, 2021

Draft for Public Hearing

“Rule Books” Administered by the Planning & Zoning Department



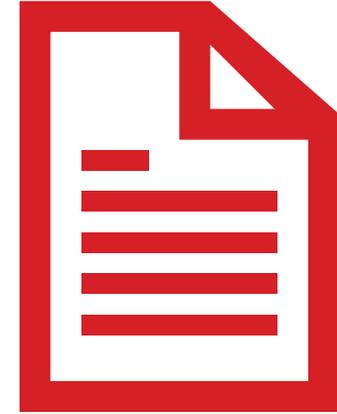
*GULF COAST
FARM*

Zoning Ordinance



*SHERWOOD
GROVE*

Subdivision Regulations



Unzoned Land
Disturbance Ordinance



Highway Construction
Setback



Architectural Review
Board Standards



Billboard Ordinance

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ZONING ESTABLISHMENT

ALABAMA CODE §45-2-261.07

§ 45-2-261.07. Procedure for exercising jurisdiction in each district

The Baldwin County Commission shall not exercise its planning and zoning powers and jurisdiction in any district established hereunder until the majority of the qualified electors of the district voting in an election shall have voted their desire to come within the planning and zoning authority of the Baldwin County Commission. The election shall be held if 10 percent of the qualified

Ala. Code 45-2-261.07 Procedure for exercising jurisdiction in each district (Code Of Alabama (2021 Edition))

§ 45-2-261.07. Procedure for exercising jurisdiction in each district

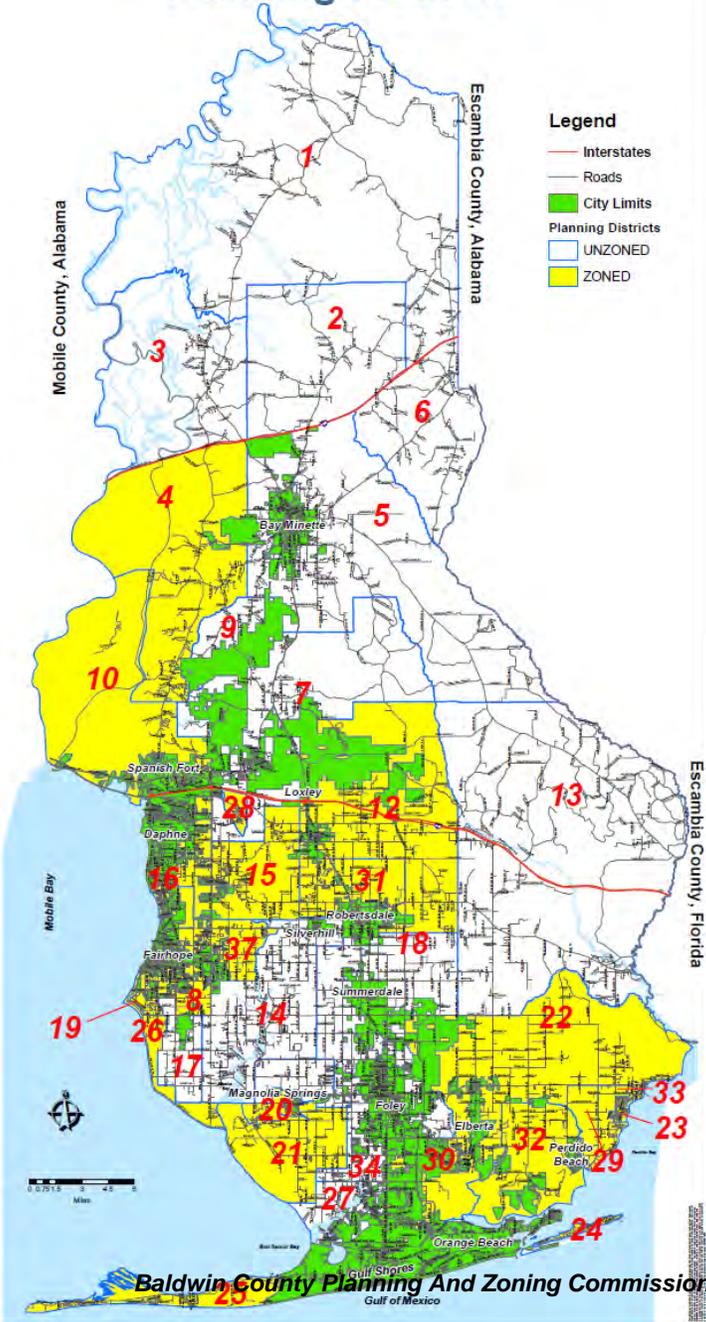
The Baldwin County Commission shall not exercise its planning and zoning powers and jurisdiction in any district established hereunder until the majority of the qualified electors of the district voting in an election shall have voted their desire to come within the planning and zoning authority of the Baldwin County Commission. The election shall be held if 10 percent of the qualified electors in any district submit a written petition to the county commission expressing a desire to be subject to the planning and zoning jurisdiction of the Baldwin County Commission under authority of this subpart. For the purposes of the establishment of districts after June 1, 2010, a district shall correspond to a voting precinct or precincts in the county unless the county governing body determines that the use of voting precinct boundaries is not feasible. A party or parties seeking to file a petition shall notify the county governing body in writing that the parties will petition for the formation of a district and the proposed boundaries of the district. The judge of probate within 15 days shall give a preliminary estimate of the number of signatures needed to call the election. The county governing body shall notify the principal party in writing within 30 days of written notification by petitioners of intent to request a referendum, by United States mail, return receipt requested, that the proposed district is acceptable for planning, zoning, and voting purposes and shall furnish forms to the petitioner for use in seeking the number of signatures required to call an election. The parties shall have 120 days thereafter to obtain the necessary signatures and file the petition. The County Commission and the Judge of Probate of Baldwin County shall certify or reject the accuracy of the petition no later than 45 days after receiving the petition. If the number of signatures is not sufficient, the parties shall have another 60 days to complete the petition and have it certified. If the petition is not certified, a petition for the proposed district may not be refiled for two year after the final denial of certification. Upon certification, the county commission shall then instruct the Judge of Probate of Baldwin County

to provide for an election within that district no later than 90 days after the certification. Notice of the election shall be published four times during the 30-day period immediately preceding the date of the election in a newspaper of general circulation in Baldwin County. In addition, the county commission shall notify by U.S. mail each elector in a district of the election and the process to obtain additional information. The notification shall state the date of the election and the polling place or places for voting. The judge of probate shall conduct the election. All costs for the notification and election shall be paid from the General Fund of Baldwin County. If a majority of the qualified electors in a district vote in the negative in the election, then the district shall not be subject to the zoning and planning jurisdiction of the Baldwin County Commission, and the qualified electors of the district shall not be eligible to petition for another election until two years from the date of the last election. If a majority of the qualified electors in a district vote in the affirmative, then the district shall be subject to the zoning and planning jurisdiction of the Baldwin County Commission.

(Act 91-719, p. 1389, § 8; Act 98-665, p. 1455, § 1; Act 2006-609, p. 1672, § 1; Act 2010-719, p. 1782, § 1.)



Baldwin County, Alabama Planning Districts



Legend

- Interstates
- Roads
- City Limits
- Planning Districts
- UNZONED
- ZONED

Legend

— Interstates

— Roads

■ City Limits

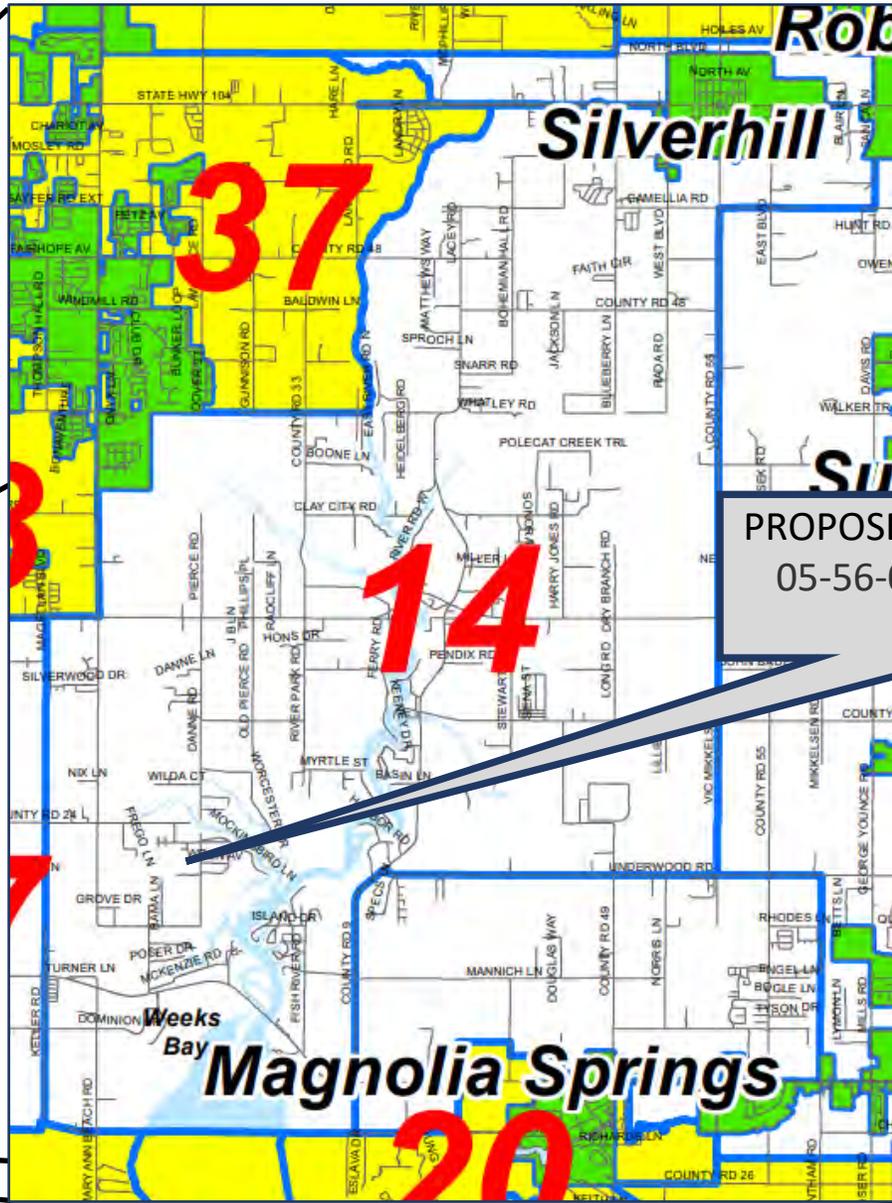
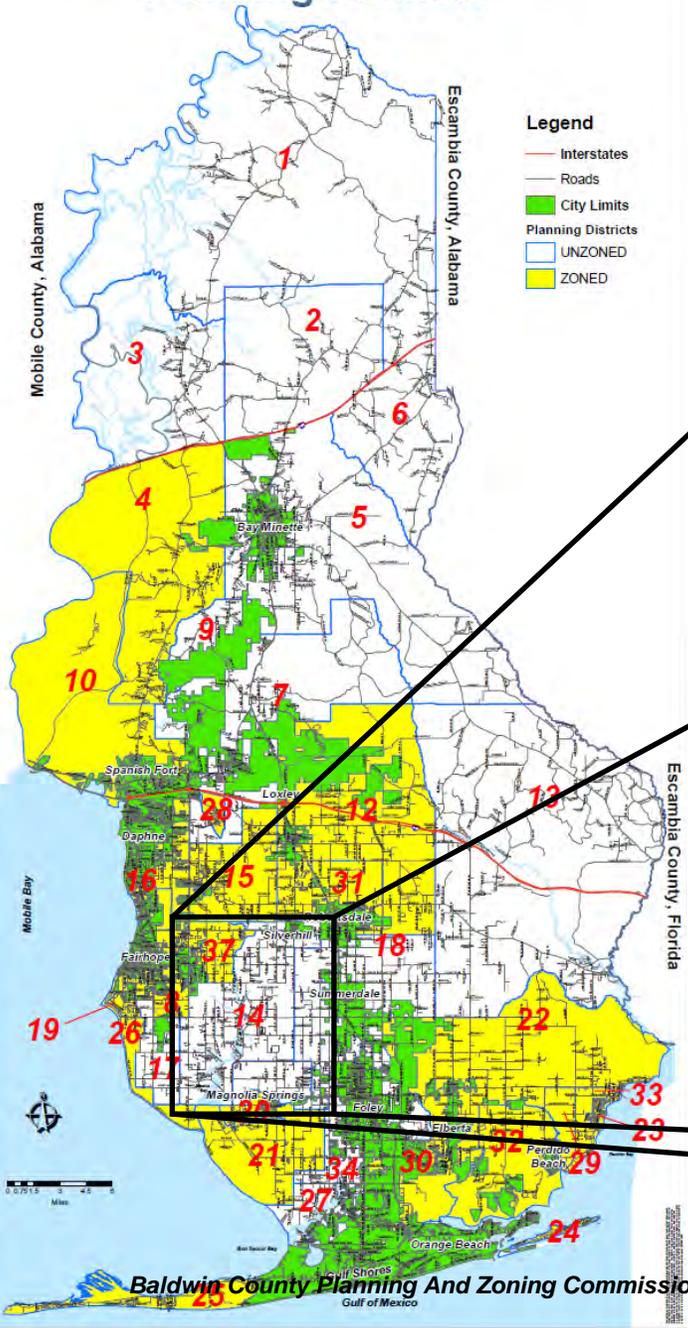
Planning Districts

□ UNZONED

■ ZONED

Baldwin County, Alabama Planning Districts

- Legend**
- Interstates
 - Roads
 - City Limits
 - Planning Districts
 - UNZONED
 - ZONED



PROPOSED SHERWOOD GROVE
 05-56-06-14-0-000-015.000
 PIN: 88086

Zoning rejected in Baldwin County District 14

Updated: Apr. 14, 2010, 12:10 a.m. | Published: Apr. 13, 2010, 11:10 p.m.



Advertisement

By [Connie Baggett, Press-Register](#)

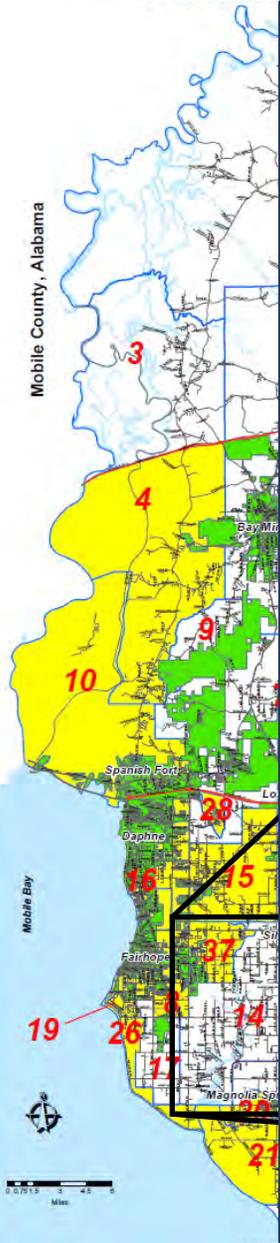


MARLOW, Ala. -- After months of fierce debate, voters in the Fish River community turned out by the hundreds today to defeat zoning for District 14 by a vote of 1,216 to 605, according to results posted at the Marlow Volunteer Fire Department.

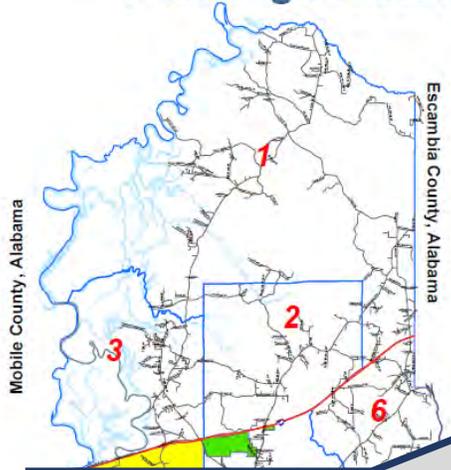
People against zoning gathered at the poll cheered as the workers posted totals.

Steve Mannhard of Fish River Trees said the vote would have a chilling effect on future efforts to bring zoning to the remaining districts in the county.

ERWOOD GROVE
0-000-015.000
88086

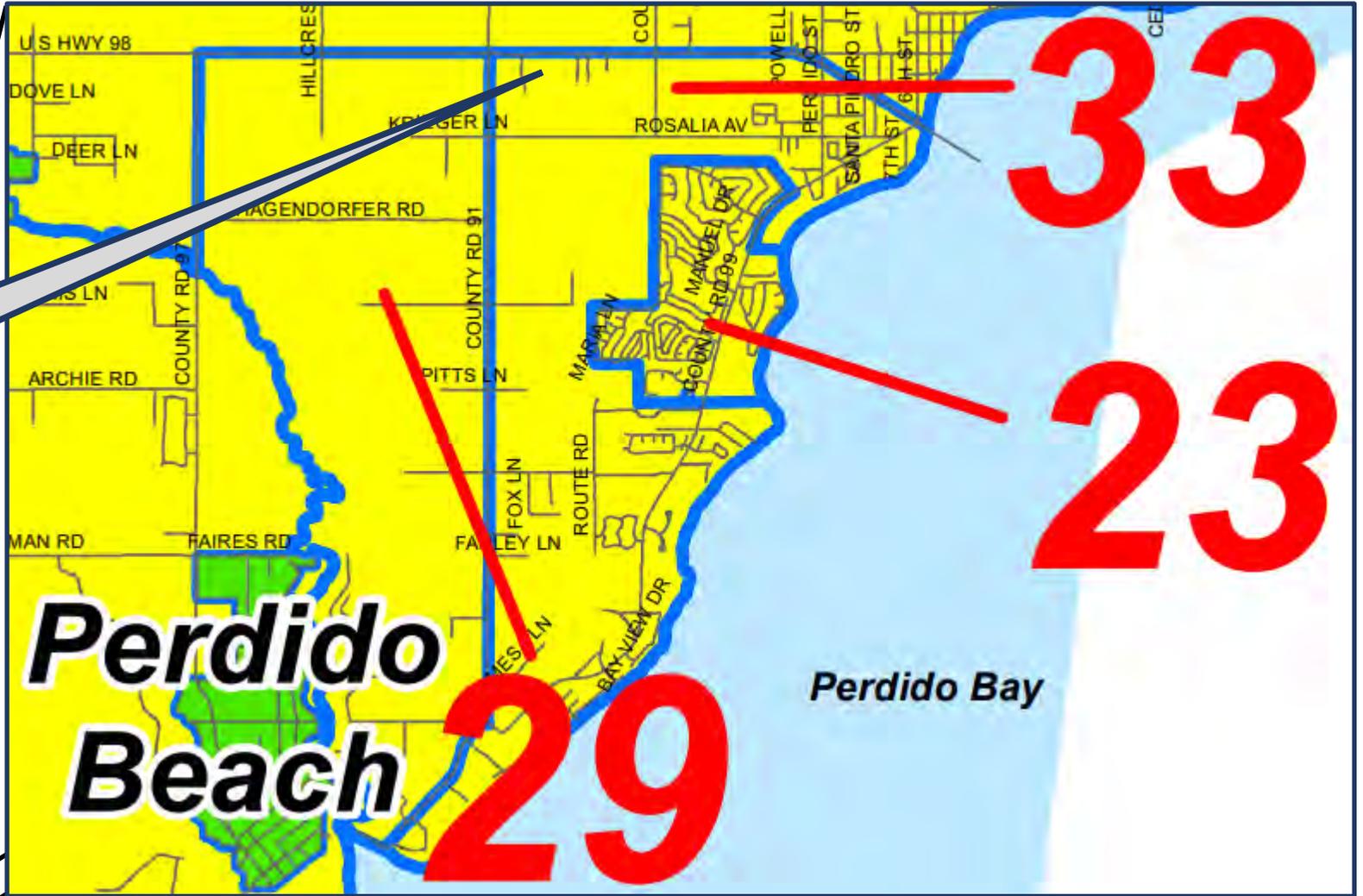
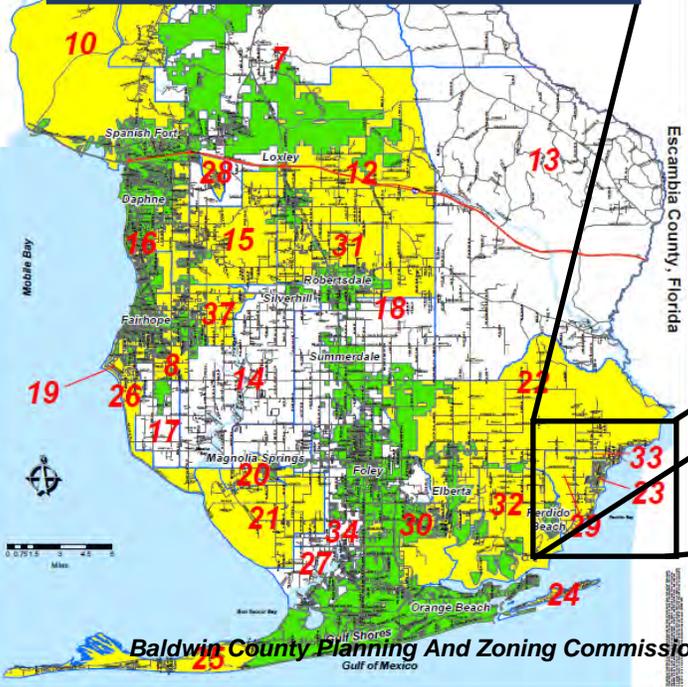


Baldwin County, Alabama Planning Districts



- Legend**
- Interstates
 - Roads
 - City Limits
 - Planning Districts
 - UNZONED
 - ZONED

PROPOSED GULF COAST FARM
 05-52-08-28-0-000-030.000
 PIN: 62276

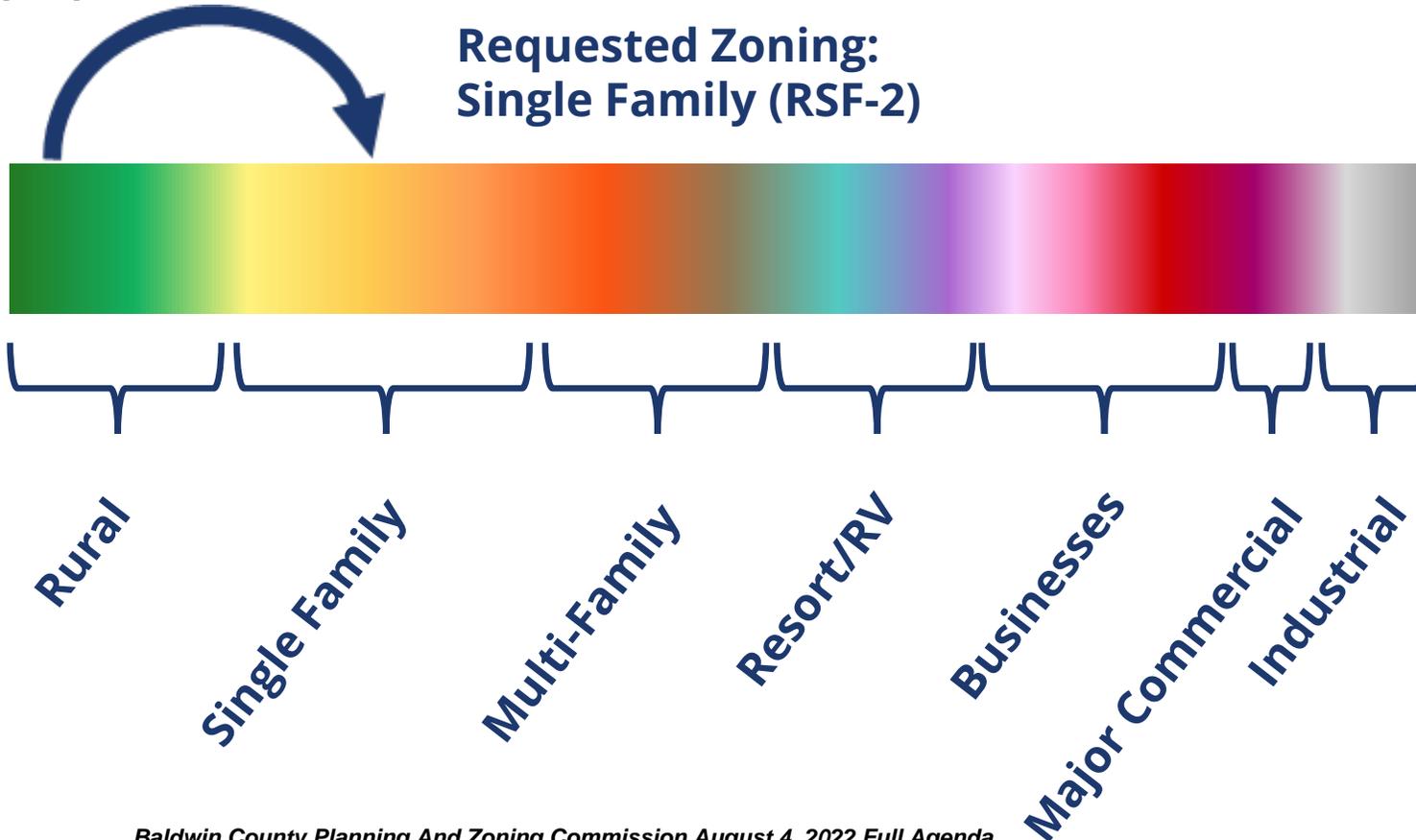


Z22-10 GULF COAST FARM PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

Current Zoning:
Rural Agriculture
(RA)

Requested Zoning:
Single Family (RSF-2)



Zoning Approval Planning District 33

On December 18, 2001, a majority of qualified electors in **Planning District 33** voted to **institute County Zoning**. On August 6, 2002, the County Commission adopted the Planning District 33 Zoning Map and Ordinance. (from Article 2, section 2.3.33 of the *Baldwin County Zoning Ordinance*)

Overview



1. Preamble and composition of Planning Commission
2. Subdivisions vs. Zoning Map Changes
 - Sherwood Grove vs. Gulf Coast Farm
 - Zoned vs unzoned Baldwin County
 - **Subdivision steps** (Sketch Plan, **Preliminary Plat**, Subdivision Permit, Final Plat Application, Final Plat Recording)
3. Technical Presentation of Sherwood Grove
4. Public comments
5. Vote by the Planning and Zoning Commission

SPP22-7 Sherwood Grove Preliminary Plat Request

Subdivision of a single 50.51 acres +/- parcel into 166 new lots

Located within Unzoned Planning District 14

Sketch Plan Approval is administered by **Planning and Zoning (P&Z) staff** and is as the name implies – is a sketch of the development to determine its location, zoning classification if applicable, presence of potential wetlands, traffic study requirements if applicable, and to advise the applicant when to schedule a traffic study scoping meeting with the **County Engineer's staff** should a traffic study be required. The Sketch Plan Approval DOES NOT allow any improvements to be installed.

Preliminary Plat Approval is administered by the **Baldwin County Planning and Zoning Commission**. The Preliminary Plat review process makes certain requested lots are of the proper size and width and have proper setbacks and if **jurisdictional wetlands** are present, include the required wetland setbacks. If improvements (new roads, drainage improvements, and new utilities) are required to access the new lots, the Preliminary Plat review makes certain those improvements will be provided. **Utility Providers** will verify they have the **capacity and capability** to provide service to the development at this time. If a development of 50 lots or units or more is submitted for Preliminary Plat Approval, the **Baldwin County Board of Education (BCBE)** is notified by staff and *BCBE is invited to comment on the development if they believe the development will affect BCBE's operations*. Preliminary Plat Approval DOES NOT allow any improvements to be *installed* or new lots to be *sold*.

Subdivision Permit Approval is granted by the **Baldwin County Engineer** and the construction plans required to obtain a Subdivision Permit are reviewed by the engineering staff of the Baldwin County Highway Department (HWY). The Subdivision Permit allows installation of improvements, including public improvements such as new roads, drainage improvements, and installation of utilities. All improvements to be installed shall meet the satisfaction of the County Engineer and *are furnished and installed by the developer*.

Z22-10 Gulf Coast Farm Zoning Map Change from RA, Rural Agriculture to RSF-2 Single Family District

Considered by the Baldwin County Planning and Zoning Commission

Final Approval or Denial will be administered by the *Baldwin County Commission*

Zoning Map Changes do not approve installation of any public improvements and a Zoning Map Change does not guarantee a project will be constructed. Some projects are never constructed for various reasons even though a Zoning Map Change was successful.

Subjectivity Zoning Map Changes are subjective in the nature of their review whereas subdivisions are an objective review (Think of a zoning change in football terms as judging pass interference or targeting whereas subdivisions are a delay of game or jumping offsides penalty that is relatively straightforward).

Traffic Studies Zoning Map changes **do not require traffic studies** because the exact improvements to be installed are not known and the exact number of lots or units are often times not known when the application for Zoning Map Change is submitted. In many cases the development desired at the time of zoning change application is only a conceptual design and the detailed design will not be carried out until it is known the density allowed by a particular zoning district is possible because the zoning map has been changed. A Traffic Study *must* accompany a **Subdivision Preliminary Plat** application requesting **fifty (50)** or more lots or units.

Infrastructure The infrastructure needs of the development **may not be fully-known** at the time of a Zoning Map Change request because as stated above in many instances the number of lots or units to be constructed may not be known.

Sherwood Grove Cross-Reference Because PIN 88086 is unzoned, there is no requirement for a zoning change and thus any subjective comments about the character of the development, such as whether the development is appropriate for the community cannot be contemplated by the Planning Commission when they make their approval or non-approval decision.

Subdivision Permit Approval (continued) Any permits from outside agencies such as the **Alabama Department of Transportation (ALDOT)**, **U.S. Army Corps of Engineers (USACE)**, **U.S. Fish and Wildlife Service (USFWS)**, the **Alabama Department of Environmental Management (ADEM)** or the **Alabama Department of Conservation and Natural Resources (ADCNR)** shall be submitted to HWY prior to obtaining a Subdivision Permit.

Final Plat Approval is administered by the **County Engineer**. An application for Final Plat Approval will be submitted by the developer to Planning and Zoning and to the Baldwin County Highway Department (HWY). Highway Department staff will review not only the improvements installed in the field to verify compliance with County standards, but also review as-built drawings as well as various test reports for thickness of asphalt, 28-day concrete strength, proper compaction of soil underneath pavement, as well review maintenance bonding requirements that serve as a type of “warranty” for the installed improvements. Planning and Zoning (P&Z) staff will review the application to make certain the approval criteria from the Preliminary Plat was maintained and reflected on the Final Plat. When P&Z and HWY staffs have completed their reviews and are certain the development complies with all Baldwin County standards, P&Z staff will authorize the developer to circulate the plat for signatures. A subdivision plat cannot be recorded until it is signed by the property owner as well as all utility providers, signed and sealed by the Surveyor of Record and Engineer of Record as appropriate, and signed by the Planning Director and County Engineer. Only after the Final Plat is recorded by the office of the **Judge of Probate** may the newly-created lots be sold.

Additional Comments. Baldwin County DOES NOT install new roads or utilities for a developer. In the obscure instance where this may occur, the developer will almost certainly pay for the installation of improvements through Aid to Construction fees or by a similar means. Most utilities operate similarly in that improvements for a new development are installed by the developer to the utility’s standards or installed by the utility at the developer’s cost in certain situations. If the infrastructure installation is not satisfactory, **the various utility providers or the County Engineer will not sign the Final Plat.**

Sherwood Grove Cross-Reference (continued) Conversely, because PIN 62276 is zoned RA Rural Agriculture, the Gulf Coast Farms developer has requested to make a Zoning Map Change to re-zone the property to RSF-2 Single Family Residential District. Subjective comments about the character of the development, such as whether the development is appropriate for the community are applicable and may be contemplated by the Planning Commission when they make their approval or non-approval decision.

Minimum Lot Size The Gulf Coast Farm property is currently zoned RA Rural Agriculture which requires a minimum lot size of 3 acres and minimum lot width of 210 ft. The proposed RSF-2 zoning requires a minimum lot size of 15,000sf and minimum lot width of 80 ft. In the case of Sherwood Grove, the allowable minimum lot size of the unzoned property is a function of the improvements proposed for installation. Per section 5.1.1 of the *Baldwin County Subdivision Regulations*, a minimum lot size of 7,500 sf and a minimum lot width of 60 ft is possible for unzoned property **if the following improvements are installed:** underground power, streetlights, public water, sanitary sewer, curb and gutter, sidewalks, and broadband connectivity.

Additional Comments Applications for Zoning Map Changes as well as Subdivisions may reference the current property owner, however the **property owner may not necessarily be the developer** of the property, should an approval occur. A property owner may grant a developer (or engineer or surveyor or some other professional) agency authorization to prepare a development application on their behalf. It is very common for a property owner to grant **agency authorization** and a sale of property to the development entity only occurs should the Zoning Map Change or Subdivision request receive approval.

S-2826 F



SLIDE 0002826-F



LEGEND:
- SHADING TRACK (BT)
(T) - RECORD BOUNDARY DISTANCE
- DASHED LINE (TYPICAL)
- DASHED LINE (TYPICAL)
- DASHED LINE (TYPICAL)
- DASHED LINE (TYPICAL)

Table with columns: CHAIN, SADDLE, ARC LENGTH, CHORD, CHORD BEARING, CHORD DISTANCE, CHORD BEARING, CHORD DISTANCE. Rows 1 through 11.

GENERAL NOTES:
1. THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
2. ALL COMMON AREAS WITHIN THE SUBDIVISION...
3. THERE IS A 5% SLOPE...
4. THE DISTANCE BETWEEN THE CENTER OF THE CURVE AND THE POINT OF BEGINNING OF THE CURVE...
5. THE DISTANCE BETWEEN THE POINT OF BEGINNING OF THE CURVE AND THE POINT OF TANGENCY...
6. THE DISTANCE BETWEEN THE POINT OF TANGENCY AND THE POINT OF BEGINNING OF THE CURVE...
7. THE DISTANCE BETWEEN THE POINT OF BEGINNING OF THE CURVE AND THE POINT OF TANGENCY...
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10. THE DISTANCE BETWEEN THE POINT OF TANGENCY AND THE POINT OF BEGINNING OF THE CURVE...
11. THE DISTANCE BETWEEN THE POINT OF BEGINNING OF THE CURVE AND THE POINT OF TANGENCY...

CERTIFICATION OF OWNERSHIP AND DEDICATION:
THIS IS TO CERTIFY THAT...
NOTARIES PUBLIC:
STATE OF ALABAMA
COUNTY OF BALDWIN
I, James Charles McCloud
NOTARY PUBLIC
DO hereby certify that...
DATE: 18 DAY of March, 2022

CERTIFICATION BY NOTARY PUBLIC:
STATE OF ALABAMA
COUNTY OF BALDWIN
I, James Charles McCloud
NOTARY PUBLIC
DO hereby certify that...
DATE: 18 DAY of March, 2022

SURVEYOR'S CERTIFICATE:
I HEREBY STATE THAT ALL PARTS OF THIS SURVEY AND DEPICTION HAVE BEEN FIELD CHECKED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE BOARD OF SURVEYING AND MAPPING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.
DATE: 03-18-2022
DAVID E. DIBBLE

TERRANOVA SUBDIVISION
A RESUBDIVISION OF LOT 1B RAVAN RANCH RESUB
AS RECORDED IN SLIDE 2777-C
A RESUBDIVISION OF RAVAN RANCH, RECORDED AS SLIDE 2746-A, AND RATIFIED AT SLIDE 2750-E
Section 28, Township 7 South, Range 5 East, Baldwin County, Alabama
Date of Plat: 06-24-2021

BOUNDARY SURVEY & PLAT OF SUBDIVISION
ROBERTSON CONSTRUCTION

S.E. Civil Engineering & Surveying
P.L.L.C.
1550 McFarland Blvd N
Tusculoosa, AL 35405
(205) 96-4566

Table with columns: DRAWN, CHECKED, PREPARED, DATE, SCALE, PROJECT, FILE, SHEET. Rows 1 through 4.

CERTIFICATE OF APPROVAL BY E-911 ADDRESSING:
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING DIRECTOR:
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION:
ALL REQUIREMENTS...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER:
THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES INTERNET:
THE UNDERSIGNED, AS AUTHORIZED BY RIVERIA UTILITIES INTERNET...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATE OF APPROVAL BY PERDIDO BAY WATER:
THE UNDERSIGNED, AS AUTHORIZED BY PERDIDO BAY WATER...
APPROVED: Matthew Brannon
DATE: 03-18-2022

MORTGAGE ACCEPTANCE:
I, Matthew Brannon, AS THE OWNER OF THE FORECLOSED PROPERTY...
APPROVED: Matthew Brannon
DATE: 03-18-2022

CERTIFICATION BY NOTARY PUBLIC:
STATE OF ALABAMA
COUNTY OF BALDWIN
I, James Charles McCloud
NOTARY PUBLIC
DO hereby certify that...
DATE: 18 DAY of March, 2022

Owner / Developer:
Robertson Construction Co., LLC
15760 Perdido Key Drive
Pensacola, FL 32507

Owner/Developer:
Robertson Construction Co., LLC
15760 Perdido Key Drive
Pensacola, FL 32507

Mortgage Holder:
Bryant Bank
1550 McFarland Blvd N
Tusculoosa, AL 35405

SURVEYOR / ENGINEER:
S.E. CIVIL ENGINEERING
1550 McFarland Blvd N
Tusculoosa, AL 35405
S.E. CIVIL

Parcel Information
Parcel Number: 05-52-08-28-0-00-031-000
PMS: 2516

Setbacks:
Front: 30 Ft.
Rear: 30 Ft.
Side: 10 Ft.
Side Street: 20 Ft.

Utility Providers:
Water: Perdido Bay Water
Sewer: Baldwin County Sewer
Power: Riviera Utilities
Internet: Riviera Utilities

Total Area: 19.01 Acres
Zoning: RMF-6
Total Lots: 41
Density: 2.15/Ac
Min Lot: 60 X 120 (7,500 SF)
Largest Lot: 7,800 SF
Street Length: 1,560 LF
Asphalt Width: 20 Feet
Curbing: 2.5' Valley Gutter

APPROVED: David E. Dibble
DATE: 03-18-2022



1988087

Total Area	19.01 Acres
Zoning Dist.	33
Zoning	RMF-6
Total Lots	41
Density	2.15/Ac
Min. Lot	60'x125' (7,500 sf)
Smallest Lot	7,800 SF
Largest Lot	3.14 AC
Street Length	1,560 L.F.
Asphalt Width	20 feet
Curbing	2.5' Valley Gutter

Survey Length: 1,560 L.F.
Asphalt Width: 20 feet
Curbing: 2.5' Valley gutter

Surveyor/Engineer:
S.E. CIVIL ENGINEERING
9969 WINDMILL RD
FAIRHOPE, AL 36532

Parcel Information:
Parcel Number: 05-52-08-28-0-000-031.000
PIN: 3316

Utility Providers:
Water: Perdido Bay Water
Sewer: Baldwin County Sewer
Power: Riviera Utilities
Internet: Riviera Utilities

Setbacks:
Front: 30 Ft.
Rear: 30 Ft.
Side: 10 Ft.
Side Street: 20 Ft.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY ENGINEER
I, the undersigned, being duly qualified and licensed as a Professional Engineer in the State of Alabama, do hereby certify that the above described subdivision of land is in accordance with the provisions of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department, and that the same conform to the requirements of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY ENGINEER
I, the undersigned, being duly qualified and licensed as a Professional Engineer in the State of Alabama, do hereby certify that the above described subdivision of land is in accordance with the provisions of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department, and that the same conform to the requirements of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department.

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY ENGINEER
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CERTIFICATE OF APPROVAL BY BALDWIN COUNTY ENGINEER
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CERTIFICATE OF APPROVAL BY BALDWIN COUNTY ENGINEER
I, the undersigned, being duly qualified and licensed as a Professional Engineer in the State of Alabama, do hereby certify that the above described subdivision of land is in accordance with the provisions of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department, and that the same conform to the requirements of the Alabama Subdivision Control Act, Title 35, Chapter 24-2, and the rules and regulations of the Baldwin County Planning Department.

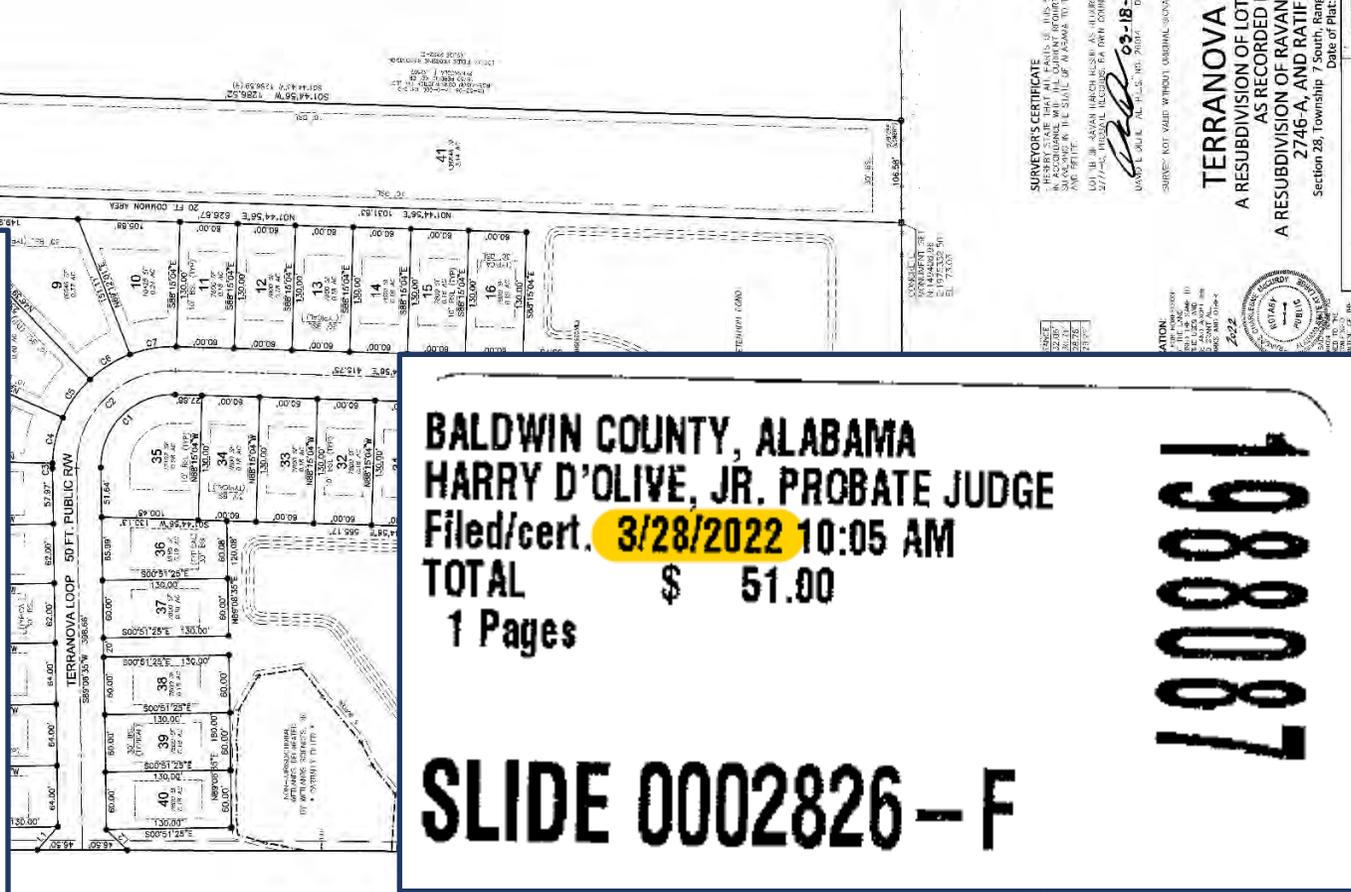
Owner/Developer:
Robertson Construction Co., LLC
15760 Perdido Key Drive
Pensacola, FL 32507

Mortgage Holder:
Bryant Bank
Tuscaloosa Main
1550 McFarland Blvd N.
Tuscaloosa, AL 35406

SURVEYOR / ENGINEER
S.E. CIVIL ENGINEERING
9969 WINDMILL RD
FAIRHOPE, AL 36532
S.E. CIVIL

Parcel Information
Parcel Number: 05-52-08-28-0-000-031.000
PIN: 3316

Utility Providers:
Water: Perdido Bay Water
Sewer: Baldwin County Sewer
Power: Riviera Utilities
Internet: Riviera Utilities

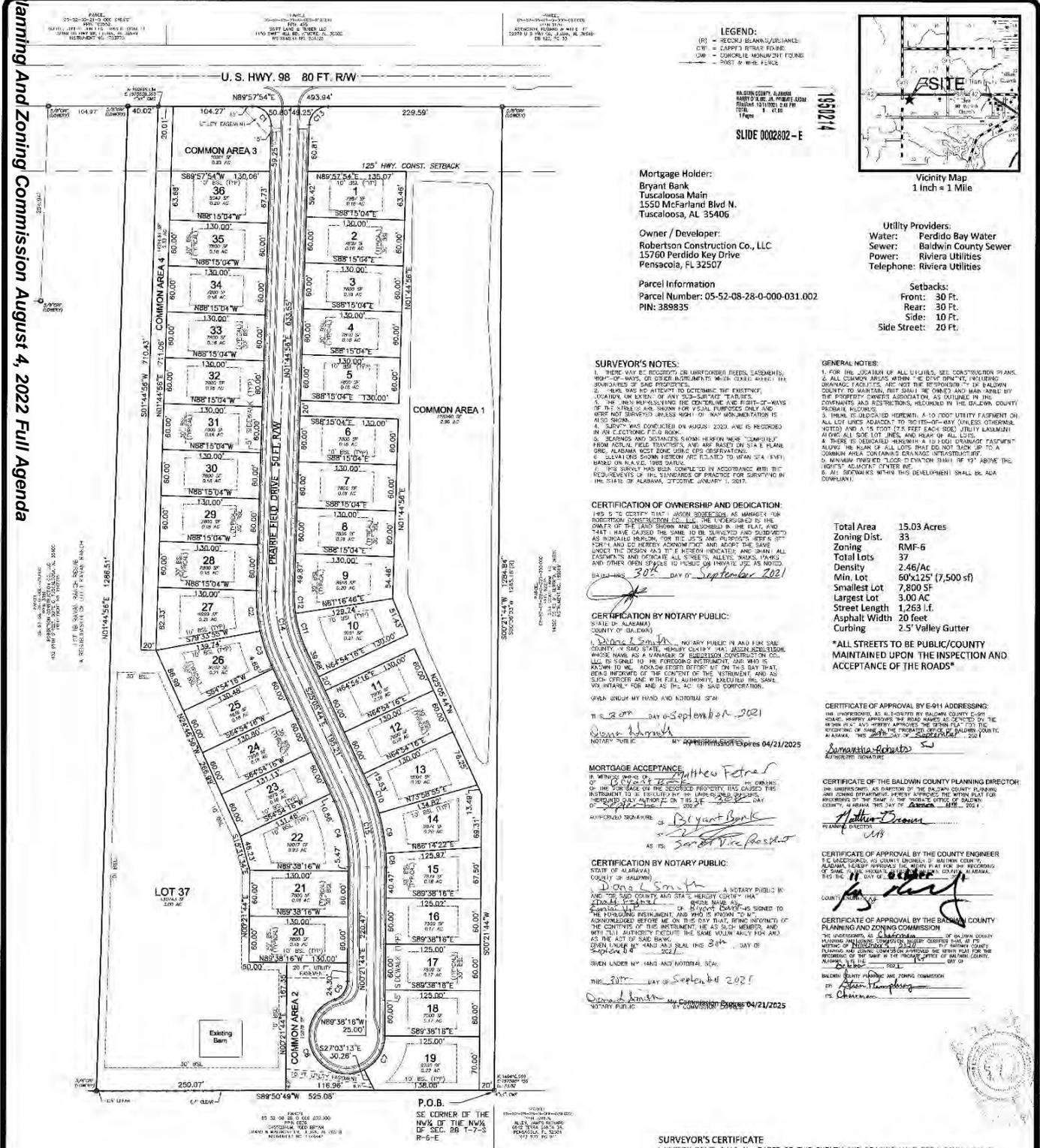


BALDWIN COUNTY, ALABAMA
HARRY D'OLIVE, JR. PROBATE JUDGE
Filed/cert. **3/28/2022 10:05 AM**
TOTAL \$ 51.00
1 Pages

SLIDE 0002826 - F

1988087





LEGEND:
 [Symbol] RECORD BLANK/VOIDANCE
 [Symbol] COUNTY OFFICE RECORD
 [Symbol] CONCRETE MONUMENT FOUND
 [Symbol] POST OF WIRE FENCE



Mortgage Holder:
 Bryant Bank
 Tuscaloosa Main
 1550 McFarland Blvd N.
 Tuscaloosa, AL 35406

Owner / Developer:
 Robertson Construction Co., LLC
 15760 Perdido Key Drive
 Pensacola, FL 32507

Parcel Information
 Parcel Number: 05-52-08-28-0-000-031.002
 PIN: 389835

Utility Providers:
 Water: Perdido Bay Water
 Sewer: Baldwin County Sewer
 Power: Riviera Utilities
 Telephone: Riviera Utilities

Setbacks:
 Front: 30 Ft.
 Rear: 30 Ft.
 Side: 10 Ft.
 Side Street: 20 Ft.

SURVEYOR'S NOTES:
 1. THERE MAY BE RECORDS OR UNRECORDED DEEDS, EASEMENTS, RIGHT-OF-WAYS, OR OTHER INSTRUMENTS WHICH COULD AFFECT THE BOUNDARIES OF SAID PROPERTIES.
 2. WEER HAS NOT ATTEMPTED TO DETERMINE THE EXISTENCE, LOCATION OR BOUNDARIES OF ANY SUB-SURFACE FEATURES.
 3. THE INSTRUMENTS ASSUMING THE CERTAINTY AND EXISTENCE OF ANY OF THE SURVEYED RIGHTS OR INTERESTS ARE NOT GUARANTEED BY THIS SURVEY UNLESS THEY ARE RECORDED IN THE PUBLIC RECORDS.
 4. SURVEY WAS CONDUCTED ON AUGUST 2021 AND IS RECORDED IN THE PUBLIC RECORDS.
 5. BEARINGS AND DISTANCES SHOWN HEREON WERE OBTAINED FROM FIELD MEASUREMENTS AND ARE BASED ON STATE PLANE COORDINATE SYSTEM ZONE 17N (NAD 83) OBSERVATIONS.
 6. CLEARANCES SHOWN HEREON ARE RELATED TO NEPA (54) LEVELS BASED ON NAD 83 DATUM.
 7. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA, EFFECTIVE JANUARY 1, 2017.

GENERAL NOTES:
 1. FOR THE LOCATION OF ALL UTILITIES, SEE CONSTRUCTION PLANS.
 2. ALL COMMON AREAS WITHIN THE DEVELOPMENT, INCLUDING BOUNDARY FEATURES, ARE NOT THE PROPERTY OF BALDWIN COUNTY TO MAINTAIN, BUT SHALL BE OWNED AND MAINTAINED BY THE PROPERTY OWNER'S ASSOCIATION AS FORMED IN THE COVENANTS AND RESTRICTIONS, RECORDED IN THE BALDWIN COUNTY PUBLIC RECORDS.
 3. UTILITIES INDICATED HEREON, A 10' FOOT UTILITY EASEMENT ON ALL LOTS HAS BEEN LOCATED TO PROVIDE ANY UTILITY (OTHER THAN NOTED) AND A 10' FOOT (7.5 FEET EACH SIDE) UTILITY EASEMENT ON ALL LOTS. SEE LOT LINES AND REAR OF ALL LOTS.
 4. THERE IS A DRAINAGE DITCH LOCATED TO THE SOUTH OF THE PROPERTY ALONG THE REAR OF ALL LOTS THAT DO NOT TACK UP TO A COMMON AREA. CONTAINING DRAINAGE, INTERCONNECTED TO A MINIMUM FINISHED FLOOR TO FINISH GRADE OF 1' ABOVE THE FINISH GRADE. SEE THE PLAN.
 5. ALL SETBACKS WITHIN THIS DEVELOPMENT SHALL BE AS SHOWN.

CERTIFICATION OF OWNERSHIP AND DEDICATION:
 I, David E. Smith, a Notary Public in and for the State of Alabama, do hereby certify that Robertson Construction Co., LLC is the owner of the land shown and described in the plat and that it has caused the same to be surveyed and platted as shown herein, for the uses and purposes herein set forth, and hereby acknowledges and accepts the same under the action and title hereon indicated and shall allow easements and dedicate all streets, alleys, walks, parks and other open spaces to the public use as shown hereon under my hand and notarial seal.

DATE: 30th DAY OF September 2021

CERTIFICATION BY NOTARY PUBLIC:
 I, David E. Smith, a Notary Public in and for the State of Alabama, do hereby certify that Robertson Construction Co., LLC is the owner of the land shown and described in the plat and that it has caused the same to be surveyed and platted as shown herein, for the uses and purposes herein set forth, and hereby acknowledges and accepts the same under the action and title hereon indicated and shall allow easements and dedicate all streets, alleys, walks, parks and other open spaces to the public use as shown hereon under my hand and notarial seal.

DATE: 30th DAY OF September 2021

CERTIFICATION BY BALDWIN COUNTY PLANNING DIRECTOR:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

MORTGAGE ACCEPTANCE:
 I, Matthew Petral, Notary Public in and for the State of Alabama, do hereby certify that Robertson Construction Co., LLC is the owner of the land shown and described in the plat and that it has caused the same to be surveyed and platted as shown herein, for the uses and purposes herein set forth, and hereby acknowledges and accepts the same under the action and title hereon indicated and shall allow easements and dedicate all streets, alleys, walks, parks and other open spaces to the public use as shown hereon under my hand and notarial seal.

CERTIFICATION BY NOTARY PUBLIC:
 I, David E. Smith, a Notary Public in and for the State of Alabama, do hereby certify that Robertson Construction Co., LLC is the owner of the land shown and described in the plat and that it has caused the same to be surveyed and platted as shown herein, for the uses and purposes herein set forth, and hereby acknowledges and accepts the same under the action and title hereon indicated and shall allow easements and dedicate all streets, alleys, walks, parks and other open spaces to the public use as shown hereon under my hand and notarial seal.

DATE: 30th DAY OF September 2021

CERTIFICATION BY BALDWIN COUNTY PLANNING AND ZONING COMMISSION:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

CERTIFICATION BY BALDWIN COUNTY ENGINEER:
 I, David E. Smith, a Notary Public in and for the State of Alabama, do hereby certify that Robertson Construction Co., LLC is the owner of the land shown and described in the plat and that it has caused the same to be surveyed and platted as shown herein, for the uses and purposes herein set forth, and hereby acknowledges and accepts the same under the action and title hereon indicated and shall allow easements and dedicate all streets, alleys, walks, parks and other open spaces to the public use as shown hereon under my hand and notarial seal.

DATE: 30th DAY OF September 2021

CERTIFICATION BY BALDWIN COUNTY PLANNING AND ZONING COMMISSION:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

SURVEYOR'S CERTIFICATE:
 I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

A RESUBDIVISION OF LOT 2 RAVAN RANCH SUBDIVISION AS SHOWN IN SLIDE 2746-A, AND RATED IN SLIDE 2750-E, BALDWIN COUNTY, ALABAMA, ALSO BE DESCRIBED AS:
 COMMENCE AT A CORNER MONUMENT AT THE LOCALLY ACCEPTED SOUTHWEST CORNER OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF SECTION 28, TOWNSHIP 2 SOUTH, RANGE 9 EAST, BALDWIN COUNTY, ALABAMA; THENCE RUN SOUTH 86 DEGREES 50 MINUTES 40 SECONDS WEST, A DISTANCE OF 525.00 FEET TO A CORNER (10W); THENCE RUN NORTH 01 DEGREE 44 MINUTES 56 SECONDS EAST, A DISTANCE OF 1228.51 FEET TO A CORNER (10W); THENCE RUN SOUTH 86 DEGREES 57 MINUTES 54 SECONDS WEST, A DISTANCE OF 453.94 FEET TO A CORNER (10W); THENCE DEPARTING SAID SOUTH 86 DEGREES 57 MINUTES 54 SECONDS WEST, A DISTANCE OF 1228.84 FEET TO THE POINT OF BEGINNING. (RAN) CONTAINS 15.03 ACRES, MORE OR LESS.

DATE: 30th DAY OF September 2021
 DAVID E. SMITH, A.T.S. NO. 26014 DATE

BOUNDARY SURVEY & FINAL PLAT
 ROBERTSON CONSTRUCTION CO., LLC

ALABAMA
 (2750-E)
 NO. 26014
 PROFESSIONAL
 LAND
 SURVEYOR
 DAVID E. SMITH

FLOOD STATEMENT
 PROPERTY LIES IN FLOOD ZONE "X" AS SHOWN FROM FLOOD INSURANCE RATE MAP NUMBER 12500, PANEL 1 (8865), RAINFALL NUMBER 015000, PANEL 1 (8865), RAINFALL NUMBER 015000, DATED APRIL 19, 2019.

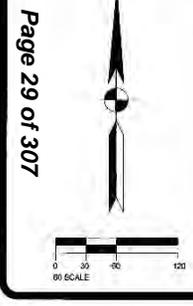
BOUNDARY SURVEY & FINAL PLAT
 ROBERTSON CONSTRUCTION CO., LLC

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

CERTIFICATE OF APPROVAL BY RIVIERA UTILITIES ELECTRIC:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

CERTIFICATE OF APPROVAL BY PERDIDO BAY WATER:
 I, Matthew Brown, Planning Director of Baldwin County, Alabama, do hereby approve the plat shown hereon for the purposes of the same in the public record of Baldwin County, Alabama, this 30th DAY OF September 2021.

SURVEY	TRANSIT	ARC	LENGTH	CORNER	BEARING	CORNER	LENGTH
01	25.00	40.00	S44°09'35"E				35.90
02	215.00	33.90	N88°21'54"W				23.20
03	215.00	44.30	N88°47'33"W				24.20
04	200.00	88.80	S12°22'00"E				88.14
05	25.00	30.77	N33°37'28"E				28.87
06	200.00	184.00	N24°15'15"W				87.70
07	250.00	34.61	S31°39'16"W				51.94
08	250.00	32.90	N01°17'57"E				17.90
09	250.00	32.90	N01°17'57"E				17.90
10	250.00	38.61	S20°33'22"E				39.57
11	165.00	28.00	S03°19'22"E				48.20
12	165.00	28.00	S03°19'22"E				48.20
13	25.00	38.49	S45°21'25"W				34.80
14	190.00	99.00	S11°42'22"E				88.21
15	225.00	88.80	S12°22'00"E				89.15





BALDWIN COUNTY, ALABAMA

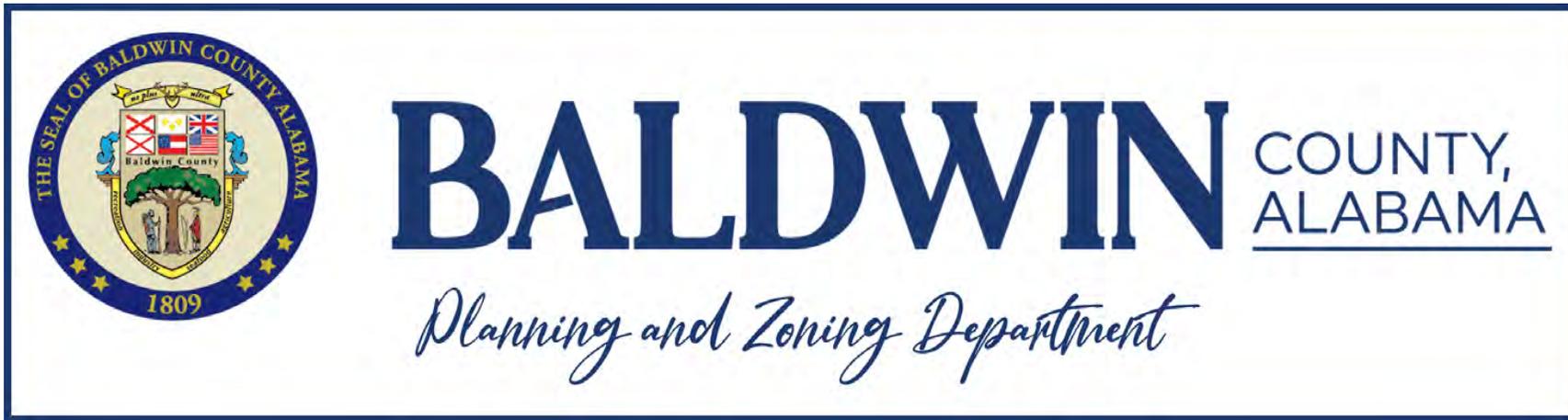
Planning and Zoning Department

NEXT REGULAR MEETING

AUGUST 4, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



SUBDIVISION PRELIMINARY PLAT REQUEST

SPP22-7 SHERWOOD GROVE

AUGUST 4, 2022

PRESENTED BY: JOHN B. (BUFORD) KING, DEPUTY DIRECTOR

STAFF WORK BY: SHAWN MITCHELL, DEVELOPMENT REVIEW PLANNER

7.a)SPP22-7 SHERWOOD GROVE

AUGUST 4, 2022

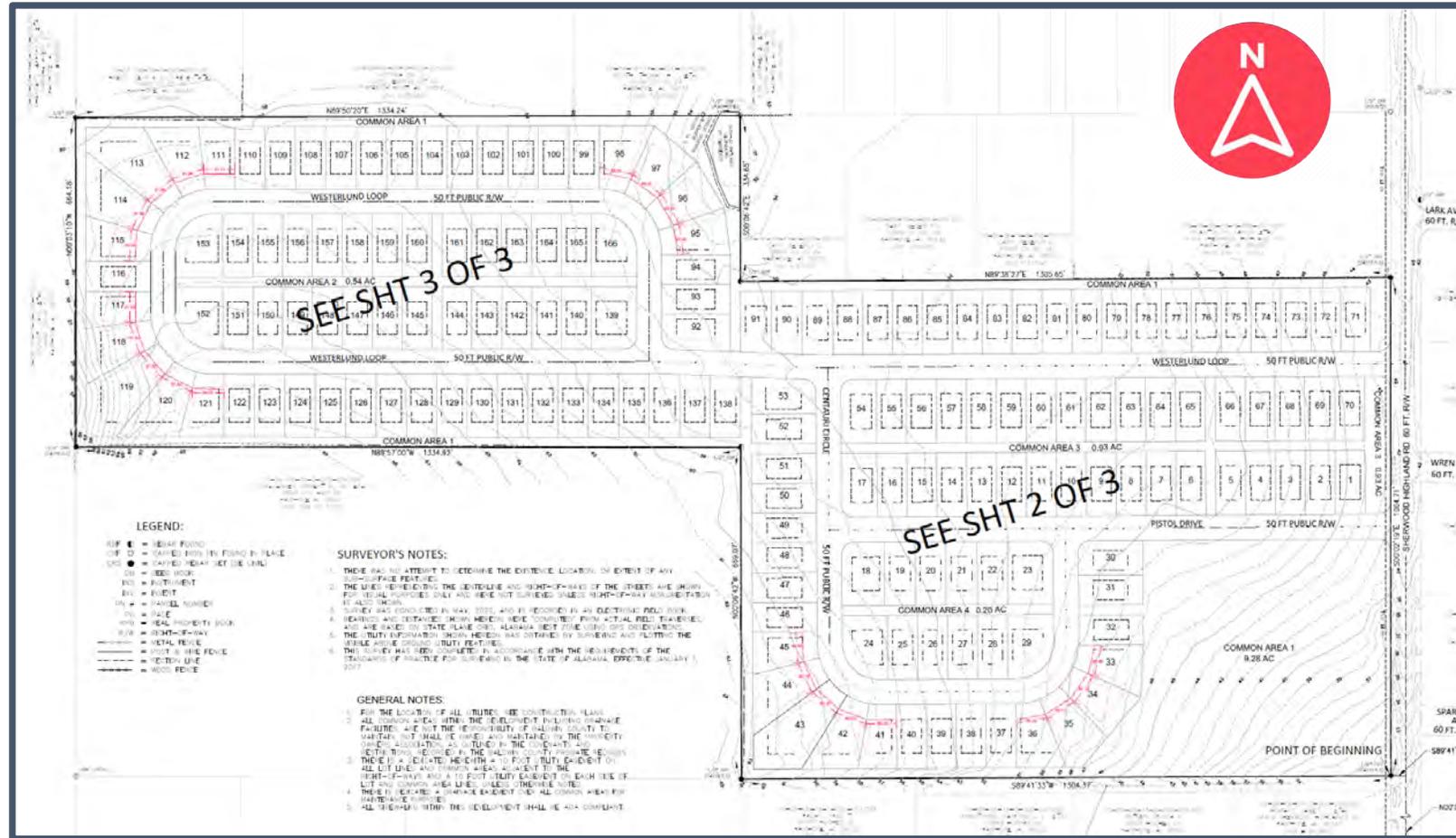
Request before the Planning Commission:

Preliminary Plat approval of *Sherwood Grove Subdivision*, a **166-lot** subdivision

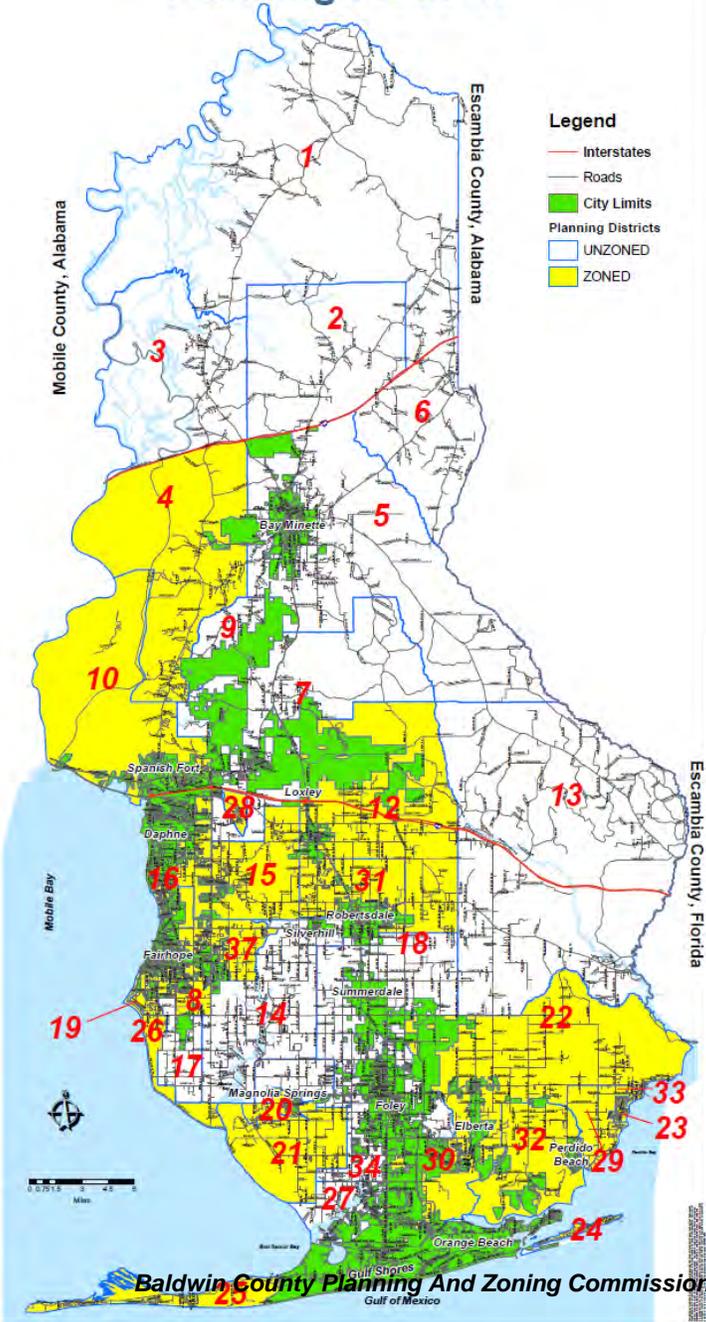
Staff recommendation:
APPROVAL

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Baldwin County, Alabama Planning Districts



Legend
 — Interstates
 — Roads
 ■ City Limits
 □ Planning Districts
 □ UNZONED
 □ ZONED

Legend

— Interstates

— Roads

■ City Limits

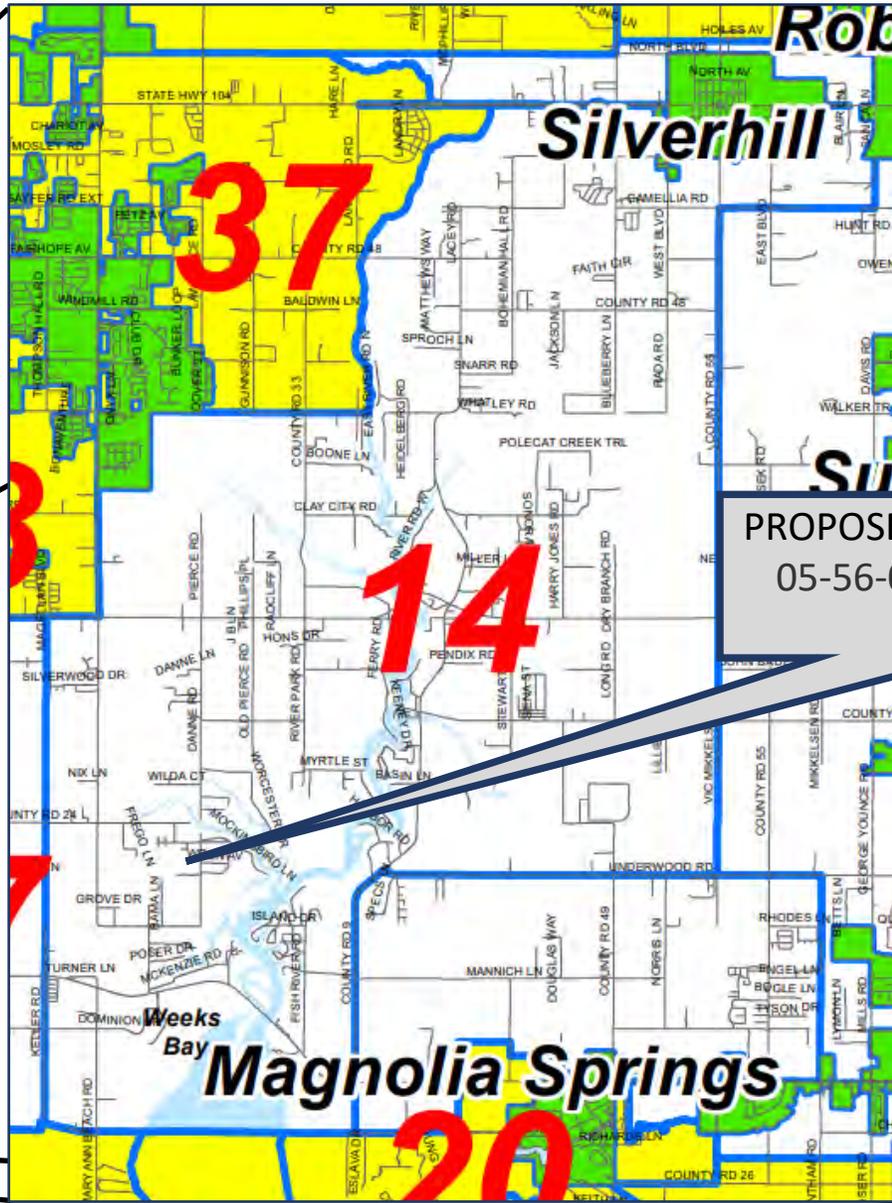
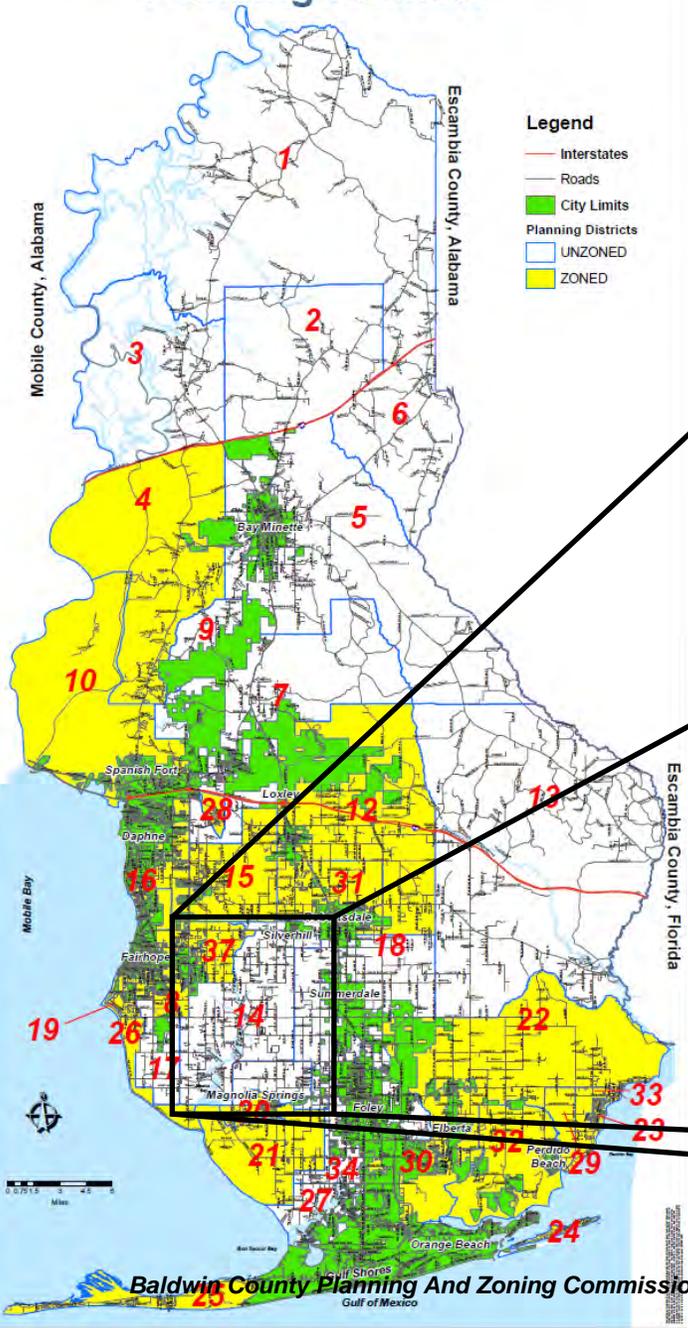
Planning Districts

□ UNZONED

□ ZONED

Baldwin County, Alabama Planning Districts

- Legend**
- Interstates
 - Roads
 - City Limits
 - Planning Districts
 - UNZONED
 - ZONED



PROPOSED SHERWOOD GROVE
 05-56-06-14-0-000-015.000
 PIN: 88086

Zoning rejected in Baldwin County District 14

Updated: Apr. 14, 2010, 12:10 a.m. | Published: Apr. 13, 2010, 11:10 p.m.



Advertisement

By [Connie Baggett, Press-Register](#)

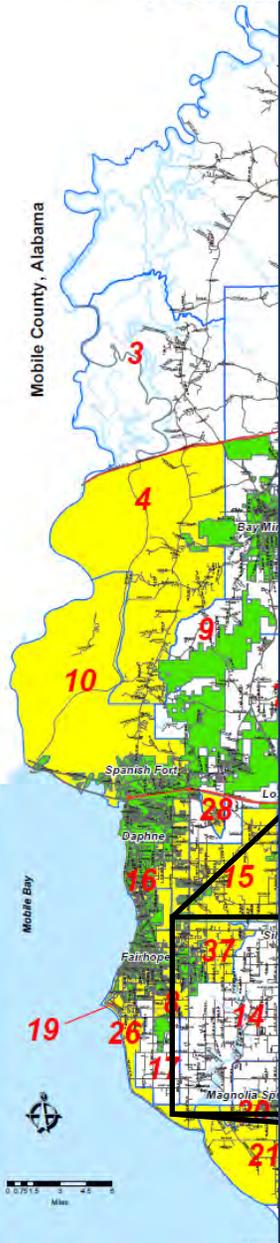


MARLOW, Ala. -- After months of fierce debate, voters in the Fish River community turned out by the hundreds today to defeat zoning for District 14 by a vote of 1,216 to 605, according to results posted at the Marlow Volunteer Fire Department.

People against zoning gathered at the poll cheered as the workers posted totals.

Steve Mannhard of Fish River Trees said the vote would have a chilling effect on future efforts to bring zoning to the remaining districts in the county.

ERWOOD GROVE
0-000-015.000
88086



Overview



1. Preamble and composition of Planning Commission
2. Subdivisions vs. Zoning Map Changes
 - Sherwood Grove vs. Gulf Coast Farm
 - Zoned vs unzoned Baldwin County
 - **Subdivision steps** (Sketch Plan, **Preliminary Plat**, Subdivision Permit, Final Plat Application, Final Plat Recording)
3. Technical Presentation of Sherwood Grove
4. Public comments
5. Vote by the Planning and Zoning Commission

“Rule Books” Administered by the Planning & Zoning Department

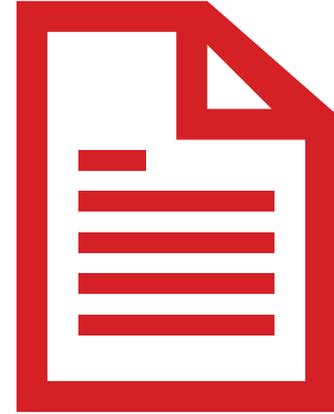


Zoning Ordinance



Subdivision Regulations
(Preliminary Plat)

SHERWOOD
GROVE



Unzoned Land
Disturbance Ordinance



Highway Construction
Setback



Architectural Review
Board Standards



Billboard Ordinance

Location: Subject property is located on Sherwood Highlands Rd, a quarter mile south of County Road 24 and half a mile east of Highway 181. It is less than a mile northwest of Fish River.

Planning District: 14

Zoning: The citizens of Planning District 14 **have not implemented zoning**

Total Property Area: 50.51 acres +/-

Total # of Lots requested: 166 Lots

- Smallest lot: 7,544 square feet (sf)
- Largest lot: 17,914 sf
- Building Setbacks: 30' Front, 30' Rear 10' Side, or as shown on plat

Streets / Roads: 6,501 linear feet (LF) of streets for public use

- Proposed lots will access internal streets only

Owner: Karl Wenzel and Hanni Vitoritt

Surveyor: David Diehl, *SE Civil Engineering and Surveying*
9969 Windmill Rd, Fairhope, AL 36532

Developer: *Terracore Development Services, LLC*
26051 Predazzer Lane, Suite A, Daphne, AL 36526

Online Case File Number: The official case number for this application is SPP22-7 Sherwood Grove, however, when searching the online Citizen Serve database, please use SPP22-000007

Parcel: 05-56-06-14-0-000-015.000

PIN: 88086

Traffic Impact Study: TIS prepared Dr. Samantha Islam, Ph.D., P.E.

Drainage Improvements: A drainage narrative was prepared and stamped by David Lavery, PE, and accepted by the Baldwin County Highway Department. Additional drainage system review will be conducted during the construction plans review by the Engineering Staff of the Baldwin County Highway Department as a function of the request for a Subdivision Permit. (The Subdivision Permit is typically requested once Preliminary Plat approval is attained, and a **Subdivision Permit** is required **before improvements may be installed**).

Wetlands: A wetland delineation was performed by Cathy Barnette, Senior Environmental Scientist, *Dewberry Engineers, Inc.*

Utility Providers:

- Domestic Water: City of Fairhope Public Utilities
- Sewer: Baldwin County Sewer Service or Fairhope Public Utilities
- Electrical: Baldwin EMC
- **Broadband: AT&T**



CR 24

SUBJECT PROPERTY
05-56-06-14-0-000-015.000
PIN: 88086

Hwy 181

Mockingbird Lane

Fairhope
Planning Jurisdiction

CR 13

PROPOSED SOUTH BEND
SUBDIVISION
05-56-06-14-0-000-024.000
PIN: 14206

Sherwood
Highland Road



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

SPP22-7 SHERWOOD GROVE SUBDIVISION
VICINITY MAP, PLANNING DISTRICT 14



SUBJECT PROPERTY
05-56-06-14-0-000-015.000
PIN: 88086

CR 24

Hwy 181

Mockingbird Lane

CR 13

PROPOSED SOUTH BEND
SUBDIVISION
05-56-06-14-0-000-024.000
PIN: 14206

Sherwood
Highland Road

Fish River



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

SPP22-7 SHERWOOD GROVE SUBDIVISION
VICINITY MAP - AERIAL VIEW



CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN COUNTY SEWER SERVICE HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 2022.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY AT&T

THE UNDERSIGNED, AS AUTHORIZED BY AT&T HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 2022.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY BALDWIN EMC

THE UNDERSIGNED, AS AUTHORIZED BY BALDWIN EMC HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 2022.

AUTHORIZED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY FAIRHOPE UTILITIES

THE UNDERSIGNED, AS AUTHORIZED BY FAIRHOPE UTILITIES, HEREBY APPROVES THE WITHIN PLAT FOR THE RECORDING OF SAME IN THE PROBATE OFFICE OF BALDWIN COUNTY, ALABAMA, THIS _____ DAY OF _____, 2022.

AUTHORIZED REPRESENTATIVE

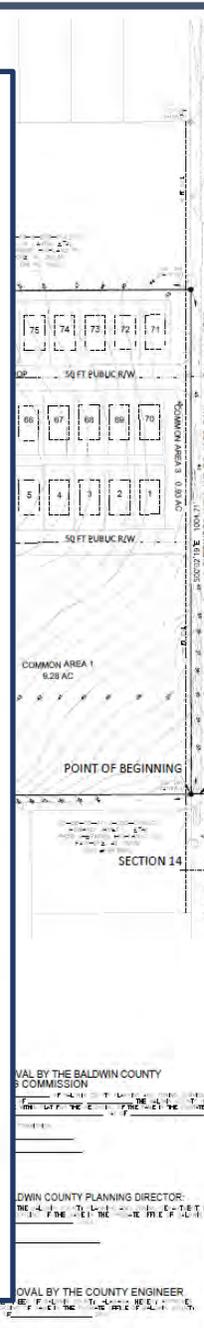
LEGEND

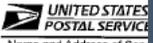
---	EXISTING
---	PROPOSED
---	...

FLOOD STATEMENT

ET U I FL

...





UNITED STATES POSTAL SERVICE®

Name and Address of Sender

BALDWIN COUNTY CENTRAL ANNEX
22251 PALMER STREET
ROBERTSDALE AL 36567

Shipment Confirmation Acceptance Notice

A. Mailer Action

Note to Mailer: The labels and volume associated to this form online, **must** match the labeled packages being presented to the USPS® employee with this form.

Shipment Date: 06/24/2022
Shipped From: Name: BALDWIN COUNTY CENTRAL ANNEX
Address: 22251 PALMER STREET
City: ROBERTSDALE
State: AL ZIP+4®: 36567

	Type of Mail	Volume
	Priority Mail Express®	
	Priority Mail®	0
	First-Class Package Service®	
	Returns	
	International®	
	Other	14
	Total	14

*Start time for products with service guarantees will begin when mail arrives at the local Post Office™ and items receive individual processing and acceptance scans.

B. USPS Action

Note to RSS Clerk:

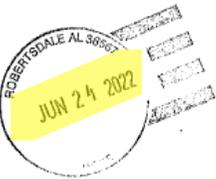
- Home screen > Mailing/Shipping > More
- Select Shipment Confirm
- Scan or enter the barcode/label number from PS Form 5830
- Confirm the volume count message by selecting Yes or No
- Select Pay and End Visit to complete transaction

USPS EMPLOYEE: Please scan upon pickup or receipt of mail. Leave form with customer or in customer's mail receptacle.

USPS SCAN AT ACCEPTANCE



9275 0901 1935 6200 0037 6123 29

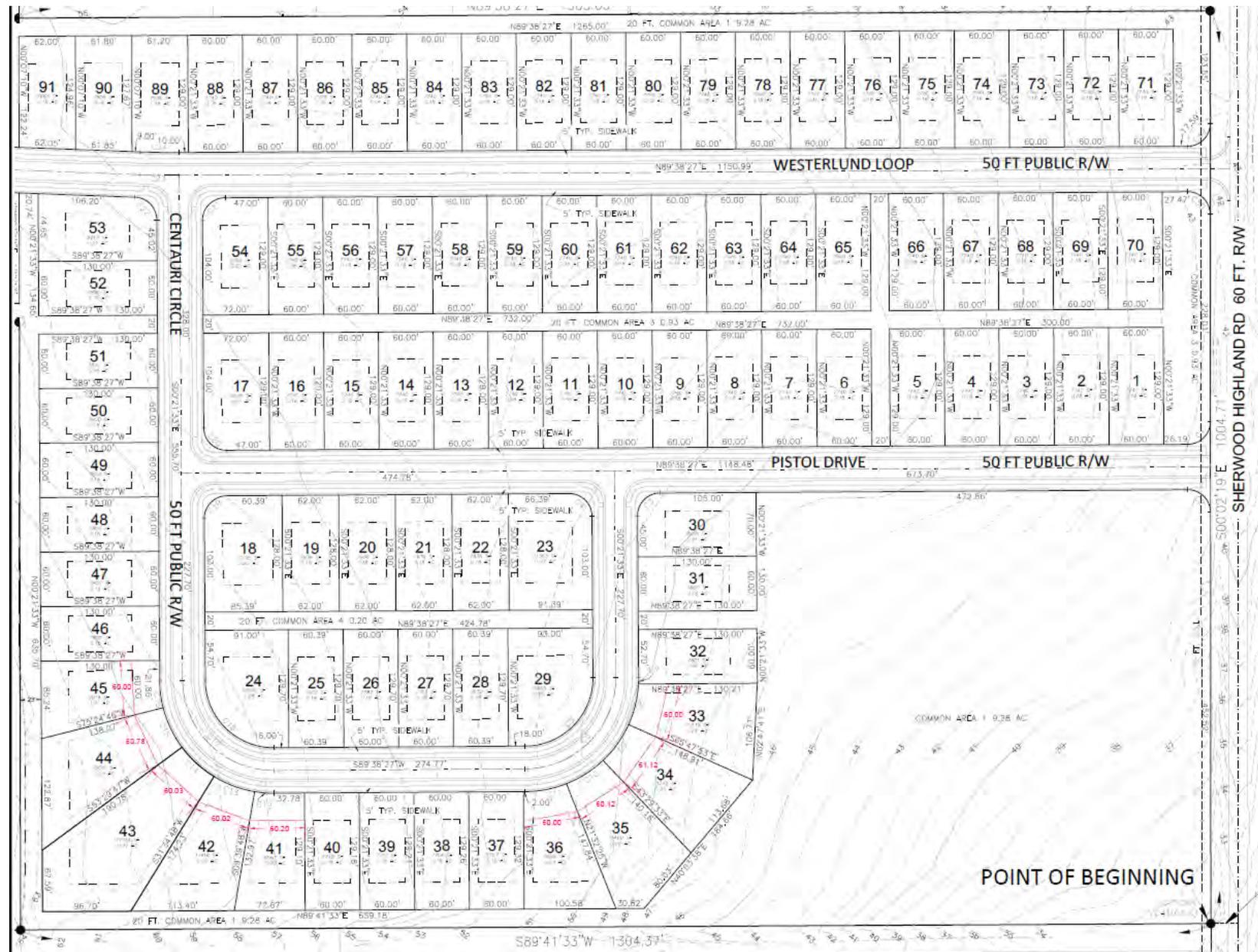


PS Form 3877, January 2019
PSN 7530-02-000-9098





Western portion



Eastern portion

Staff Comments

David Lavery, PE, of S.E. Civil Engineering and Surveying prepared a stormwater report for subject property

- Drainage improvements have been recommended
- The stormwater report has been reviewed and accepted by the Baldwin County Highway Department for the Preliminary Plat
- Additional stormwater review will occur as a function of the Subdivision Permit request
 - The complete stormwater report was published in the “upcoming” items area of the Baldwin County website

DRAINAGE NARRATIVE AND
CALCULATIONS

SHERWOOD FOREST SUBDIVISION

PROJECT NUMBER: 20221097
May 23, 2022



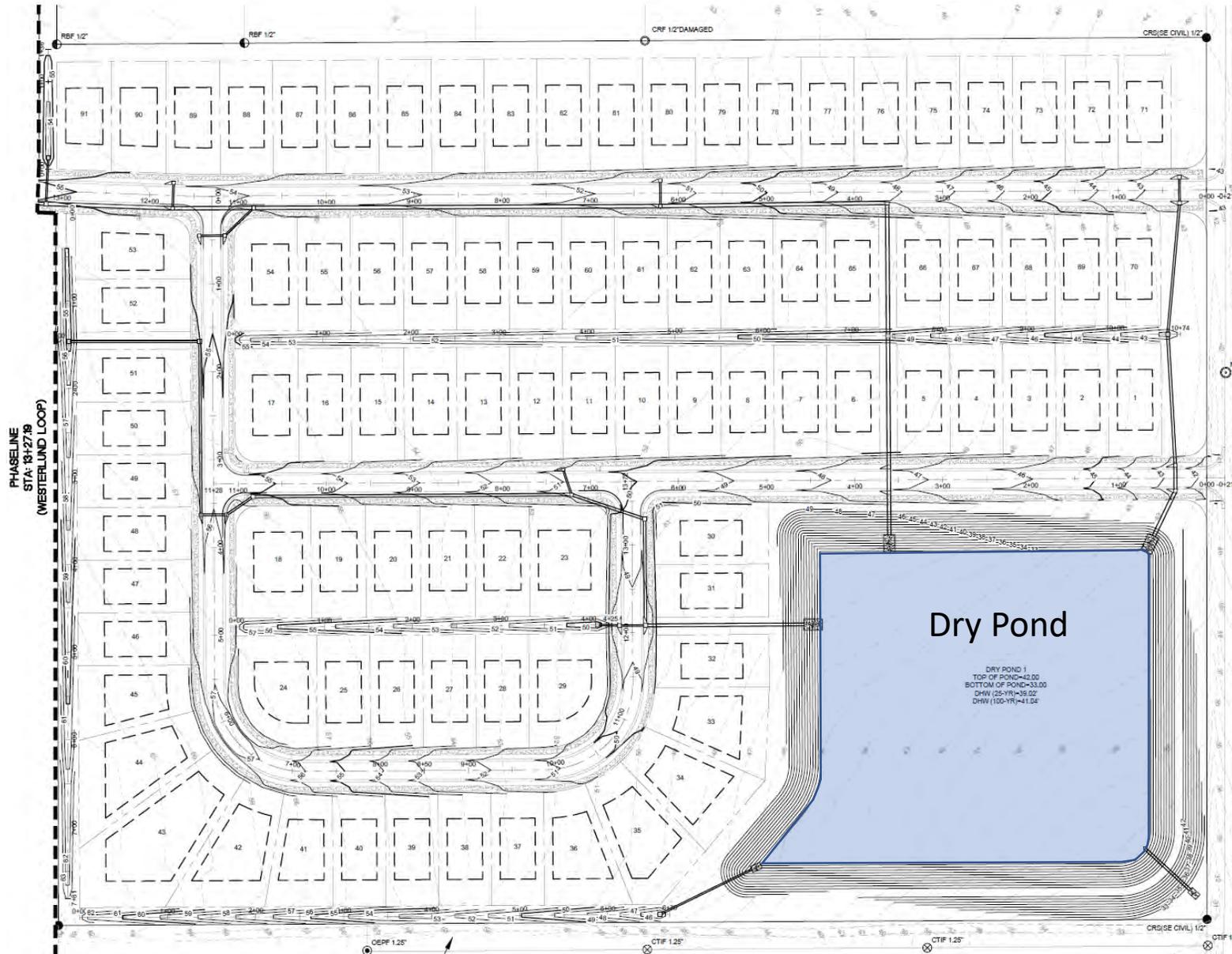
Prepared By:



S.E. Civil
Engineering
& Surveying

9969 Windmill RoadFairhope, Alabama 36532251-990-6566

Page 49 of 307



Staff Comments

Dr. Samantha Islam, Ph.D., P.E., prepared a traffic impact study for the proposed development

- No roadway improvements have been recommended
- The traffic report has been reviewed and accepted by the Baldwin County Highway Department for a **Preliminary Plat** approval
 - The complete traffic study was published in the “upcoming” items area of the Baldwin County website

May 23, 2022

TRAFFIC IMPACT STUDY

Sherwood Forest Subdivision
Fairhope, Alabama

Prepared on behalf of:

TerraCore Development
26051 Predazzer Ln. Suite A
Daphne, AL 36526
Ph: 251-901-4110

Prepared by:

Samantha Islam 5/23/2022

Samantha Islam, Ph.D., P.E.
7295 Sable Palms Drive
Mobile, AL 36695
Ph: (251)-545-9681



Staff Comments

Dr. Samantha Islam, Ph.D., P.E., prepared a traffic impact study for the proposed development

- No roadway improvements have been recommended
- The traffic report has been reviewed and accepted by the Baldwin County Highway Department for a **Preliminary Plat** approval

Additionally, turn lane analyses were performed to determine if turn lanes are needed on Sherwood Highland Road at the two proposed entrances for the generated traffic turning into the proposed development. It was found that **no turn lanes (left or right) are warranted on Sherwood Highland Road at the two proposed entrances.**

May 23, 2022

TRAFFIC IMPACT STUDY

Sherwood Forest Subdivision
Fairhope, Alabama

Prepared on behalf of:

TerraCore Development
26051 Predazzer Ln. Suite A
Daphne, AL 36526
Ph: 251-901-4110

Prepared by:

Samantha Islam 5/23/2022

Samantha Islam, Ph.D., P.E.
295 Sable Palms Drive
Mobile, AL 36695
Ph: (251)-545-9681





BALDWIN EMC

Your Touchstone Energy Cooperative 

P.O. Box 220
Summerdale, AL
36590-0220
(251) 989-6247
www.baldwinemc.com

May 16, 2022

Aaron Collins
S.E. Civil, LLC
9969 Windmill Road
Fairhope, AL 36532

Re: Sherwood Forest, Parcel 05-56-14-0-000-015.000, PIN: 88086

Dear Aaron Collins:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions:

There is a dedicated herewith a 10 foot utility easement on all lot lines and common areas adjacent to the right-of-ways and a 10 foot utility easement on each side of lot and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0151.

Sincerely,

Brian Seals
Manager of Engineering
BS/ss

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice



May 17, 2022

Aaron Collins
Planning Director
S.E. Civil, LLC
9969 Windmill Road
Fairhope, AL 36532
C: 706-681-2896
O: 251-990-6566 Ext. 114
acollins@secivileng.com

Re: Sherwood Forest

Mr. Collins,

At your request, this letter is to verify based on the site plan attached, Baldwin County Sewer Service LLC (BCSS) has the capacity and capability to serve the proposed Sherwood Forest Subdivision. Baldwin County Sewer Service LLC is willing and able to provide sewer service to the above referenced property, subject to applicant paying all fees required for this service. This development may require a main line extension and / or a road bore which will be at the developers expense. A \$50.00 per lot review fee will be due to have preconstruction plans reviewed and a \$1,500.00 impact fee per lot will need to be paid to Baldwin County Service LLC before a new subdivision plat is signed. This letter is valid for a period of two years from the date of issue. This letter is not to be used to obtain a building permit. Any development that has not paid the necessary fees before this letter expires will need to contact BCSS and request a re-issuance of their willing and able letter.

**A franchise fee may apply in franchise areas.*

The wastewater will be treated at our Spanish Fort Treatment Plant.

Sincerely,


Angela Foley
Baldwin County Sewer Service, LLC
(251) 971-3022
angela@baldwincountysewer.com

14747 Underwood Road Summerdale, AL 36580 / P. O. Box 1628 Foley, AL 36536

Subdivision. Baldwin County Sewer Service LLC is willing and able to provide sewer service to the above referenced property, subject to applicant paying all fees required for this service. This development may require a main line extension and / or a road bore which will be at the developers expense. A \$50.00 per lot review fee will be due to have preconstruction plans

The wastewater will be treated at our Spanish Fort Treatment Plant.

Based upon the fire hydrant flow test reported below, water system upgrades are required to attain ISO standards

- Water system upgrade conceptual designs are indicated on the next slide
- The utility availability letter from the City of Fairhope Public Utilities Department is included on a subsequent slide
- The Engineer of Record is proposing water system upgrades in lieu of sprinkling the homes to be constructed should the subdivision be approved
- ISO approval of the installed improvements will be verified at the time of **Final Plat** submission



FIRE FLOW TEST REPORT

Project: Sherwood
 Engineer: Dave Lavery
 Date: 5/12/2022 Time: 9:30 AM

FLOW HYDRANT

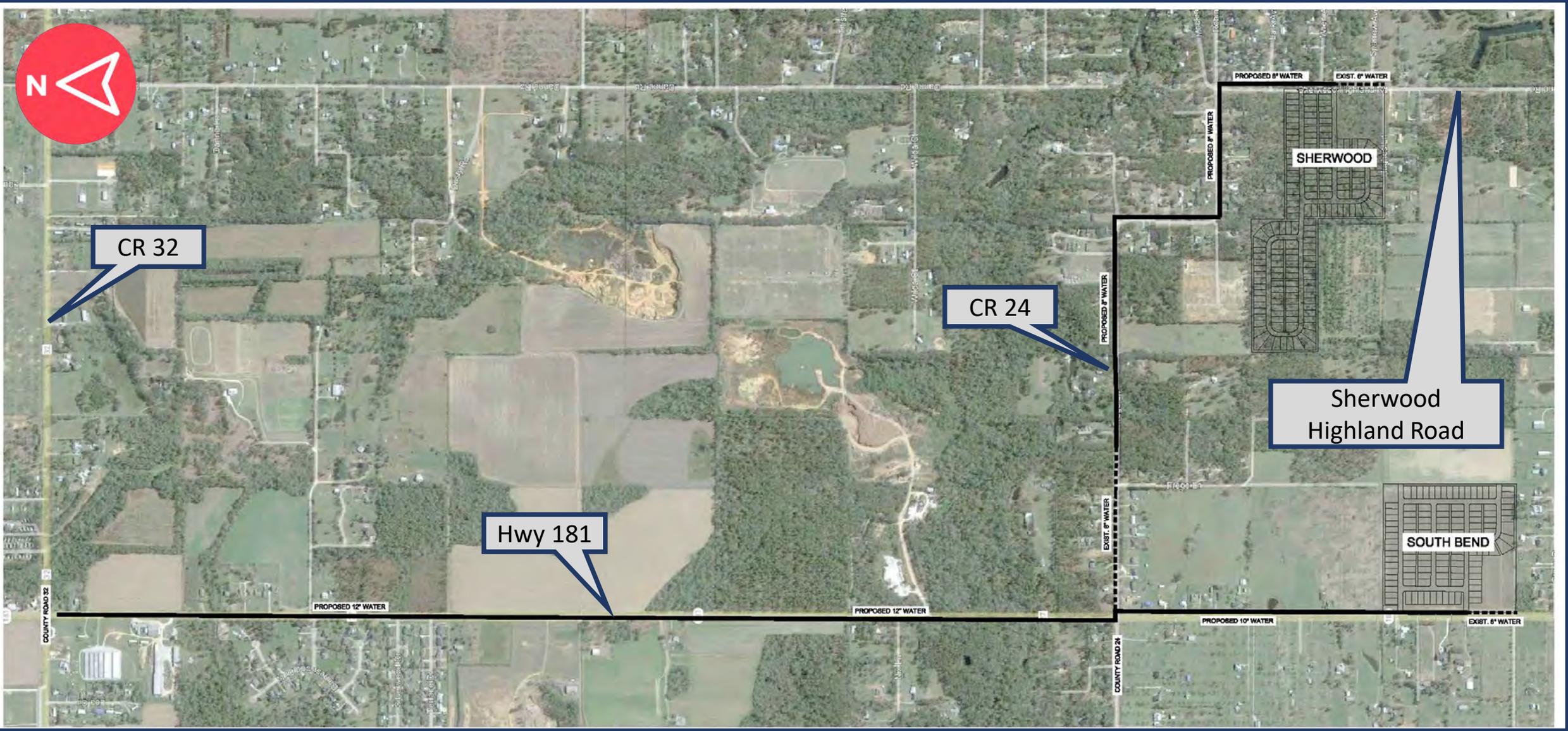
Hydrant Location: 450' West of Test Hydrant
 Size of Watermain, In.: 6 Material: PVC
 Pitot, PSI: 10 Observed Flow, GPM: 540
 Q_R, Calculated Fire Flow @ 20 PSI: 521

TEST HYDRANT (RESIDUAL)

Hydrant Location: Sherwood Highland/CR24 Intersection
 Size of Watermain, In.: 6 Material: PVC
 Static PSI: 78 Residual: 16

Q_F = Total test flow 540
 H_R = Static Pressure minus 20 psi 58
 H_F = Static Pressure minus Residual Pressure 62

$Q_R = Q_F \times (H_R / H_F)^{0.54}$
 Where:
 Q_R = Rated Capacity at 20 psi (in GPM) 521 **GPM**



Staff Comments

To fulfill Section 5.2.5(a)(3) of the Subdivision Regulations regarding fire protection

- Letter from Chief Roy Glenn of the Barnwell Volunteer Fire/Rescue Department

We are in receipt of your letter concerning fire protection thresholds and an invitation for our fire department to comment regarding water volume / pressure for a new development in Baldwin County. As an initial matter, we acknowledge and agree that the design engineer bears the liability for ensuring that water volumes and flows meets requirements concerning this development. Further, our department's comments on the development should not be construed as an assumption of any duty on our part to ensure that the project's design engineer has properly done its job. In order for us to provide you with our comments on the development, we are lacking the following information: (1) Plot map of proposed subdivision, (2) Location of proposed fire hydrant location, (3) Description of property lines and building setbacks, (4) Two (2) Fire Hydrant flow test to determine required (GPM) gallons per minute for proposed development, (5) Minimum Fire Hydrant Barrel Size. Upon receipt of same, we will review and comment within a reasonable amount of time. Thank you for your attention to this matter.

Local Fire Protection Authority Comment Form for Sherwood Highland
(Development Name)

 **BALDWIN** COUNTY, ALABAMA
Planning and Zoning Department

Robertsdale Office: 22251 Palmer Street, Robertsdale, AL 36567
Foley Office: 22251 Palmer Street, Robertsdale, AL 36567

Dear Local Fire Protection Authority,

As part of Baldwin County's subdivision review process, applicants who propose higher density developments (2 lots/units per acre or higher) are required to meet certain fire protection thresholds (Sub. Regs. 5.2.5(a)(3)). These requirements include:

1. Fire Hydrant Spacing
2. Minimum Fire Hydrant Barrel Size
3. Water volumes and pressures that meet ISO Fire Suppression Rating requirements.

County team members will review the development for compliance with these standards. However, as the Local Fire Protection Authority, we value any input you may have regarding fire protection for this development.

You are being provided a copy of this form by the project design engineer, along with a copy of the draft plat for the proposed development. Also attached is a written report and calculations, prepared and stamped by the design engineer, demonstrating that water supply volumes and pressures are sufficient for the development. The report is provided as a courtesy. You are not required to review the report. The design engineer will ultimately bear the liability for ensuring that volumes and flows meet requirements.

If you believe water volumes and pressures are insufficient to serve this development, you are invited to comment below and email to planning@baldwincountyal.gov or return to one of our office locations. If no comments are received within 10 business days of receipt of this letter, it will be presumed that you do not wish to provide any comments. Please feel free to contact our team at 251-580-1655 with any questions.

Sincerely,

Matthew Brown
Planning Director

Local Fire Protection Authority Comments:

BARNWELL VOLUNTEER FIRE/RESCUE DEPARTMENT INC. Mr. Brown: We are in rec
Chief Roy C. Glenn
(Local Fire Protection Authority Name)

Instructions for Applicant: Please provide a copy of this form (ensure you are using the latest version from the P&Z website), a copy of the plat, and a copy of the signed and sealed report (including calculations) demonstrating ISO compliance, to the Local Fire Protection Authority with evidence of the date delivered. Options include certified mail or an email to an email address that is documented as the active email address for the Local Fire Protection Authority.



July 22, 2022

Sherry Sullivan
Mayor

Council Members

Kevin G. Boone

Jack Burrell, AGMO

Jimmy Conyers

Corey Martin

Jay Robinson

Lisa A. Hanks, MMC
City Clerk

Kimberly Creech
City Treasurer

S.E. Civil Engineering & Surveying, LLC
Aaron Collins
9969 Windmill Rd
Fairhope, AL 36532

RE: Based on the map received for PIN 88086, Sherwood Forest Development

Water: Fairhope Public Utilities is willing to serve the Sherwood Forest Development on Sherwood Highland with water. The developer will be responsible for water line upgrades which shall include upsizing the water main from County Road 32 south on State Route 181 to County Road 24 east to proposed development. The water line size will be agreed upon by Fairhope Public Utilities and the developer. All construction plans must be approved by Fairhope Public Utilities prior to construction.

Sewer: Fairhope Public Utilities is willing to provide sewer to the Sherwood Forest Development on Sherwood Highland. The developer/owner shall be responsible for all infrastructure requirements.

If you have any further questions, please let me know.

Sincerely,

Jason Langley
Water/Wastewater Superintendent

Water: Fairhope Public Utilities is willing to serve the Sherwood Forest Development on Sherwood Highland with water. The developer will be responsible for water line upgrades which shall include upsizing the water main from County Road 32 south on State Route 181 to County Road 24 east to proposed development. The water line

Sewer: Fairhope Public Utilities is willing to provide sewer to the Sherwood Forest Development on Sherwood Highland. The developer/owner shall be responsible for all infrastructure requirements.

161 North Section Street
P.O. Drawer 429
Fairhope, Alabama 36532
251-928-2150
251-928-6776 Fax
www.fairhopeal.gov

Staff Comments

Wetland delineation conducted by Cathy Barnette, Senior Environmental Scientist, Dewberry Engineers, Inc.

- A “pocket” of non-jurisdictional wetlands is depicted in the excerpt of the report at right
- The complete wetland delineation was published in the “upcoming” items area of the Baldwin County website



Staff Comments

Wetland delineation conducted by Cathy Barnette, Senior Environmental Scientist, Dewberry Engineers, Inc.



Vegetation

- Predominant Trees: Sweet Gum (*Liquidambar styraciflua*); Popcorn Tree (*Triadica sebifera*)

Conclusion

Based on the criteria defined in the 1987 Corps of Engineers Wetland Delineation Manual and subsequent amendments, there was a pocket of isolated wetlands identified and flagged on the property.

Report Prepared By:

Cathy S. Barnette, Senior Environmental Scientist
Dewberry Engineers Inc.
251.929.9801 / cbarnette@dewberry.com

Staff Comments

Threatened/Endangered Species Assessment prepared by Cathy Barnette, Senior Environmental Scientist, Dewberry Engineers, Inc.,

- A site investigation was conducted to determine the presence of a variety of mammals, birds, reptiles, fish, and insects that are either Threatened or Endangered
- The complete assessment was published in the “upcoming” items area of the Baldwin County website



Dewberry Engineers Inc.
25555 Friendship Road
Daphne, AL 36526
251.990.9950
251.990.3910 fax
www.dewberry.com

THREATENED/ENDANGERED SPECIES ASSESSMENT

Owner: 68V Pay Dirt, LLC
 Project: Sherwood Forest
 Sherwood Highland Road, Fairhope, Alabama
 Township 7 South, Range 2 East, Section 14
 Lat: 30.261713°N Long: - 87.502316° W
 Subject Parcel: 05-56-06-14-0-000-015.000
 Survey Purpose: Predevelopment screening
 Evaluation Date: May 18, 2022

Project Description:
 Future land development site consisting of single-family residential dwellings.

Site Description:
 Largely vegetated, undeveloped land.

Species Investigated:
 Investigator utilized USFWS IPaC (Information for Planning and Consultation) online report screening for species investigation and conducted an onsite investigation to survey property.

Category	Common Name	Scientific Name	Status	Comments
Mammals	West Indian Manatee	<i>Trichechus manatus</i>	Threatened	No Suitable Habitat
Birds	Eastern Black Rail	<i>Lateralus jamaicensis ssp.</i>	Threatened	No Suitable Habitat
Birds	Wood Stork	<i>Mycteria americana</i>	Threatened	No Suitable Habitat; No Nests Observed on Site
Reptiles	Alabama Red-bellied Turtle	<i>Pseudemys alabamensis</i>	Endangered	No Suitable Habitat
Reptiles	Eastern Indigo Snake	<i>Drymarchon corais couperi</i>	Threatened	No Burrows on Site
Reptiles	Gopher Tortoise	<i>Gopherus polyphemus</i>	Candidate	No Burrows on Site
Fish	Gulf Sturgeon	<i>Acipenser oxyrinchus desotoi</i>	Threatened	No Suitable Habitat
Insects	Monarch Butterfly	<i>Danaus plexippus</i>	Candidate	No Suitable Habitat; None Observed on Site

Critical Habitat:
 No critical habitat for listed species were located at this site.

Findings:
 No federally listed species were found on the subject property. No take or incidental take of candidate, threatened or endangered species should result from the proposed development activities. Analysis based on the professional judgment of the investigator, species narratives and existing site conditions during the evaluation.



Staff Comments

Threatened/Endangered Species Assessment prepared by Cathy Barnette, Senior Environmental Scientist, Dewberry Engineers

Category	Common Name	Scientific Name	Status	Comments
Mammals	West Indian Manatee	<i>Trichechus manatus</i>	Threatened	No Suitable Habitat
Birds	Eastern Black Rail	<i>Laterallus jamaicensis ssp.</i>	Threatened	No Suitable Habitat
Birds	Wood Stork	<i>Mycteria americana</i>	Threatened	No Suitable Habitat; No Nests Observed on Site
Reptiles	Alabama Red-bellied Turtle	<i>Pseudemys alabamensis</i>	Endangered	No Suitable Habitat
Reptiles	Eastern Indigo Snake	<i>Drymarchon corais couperi</i>	Threatened	No Burrows on Site
Reptiles	Gopher Tortoise	<i>Gopherus polyphemus</i>	Candidate	No Burrows on Site
Fish	Gulf Sturgeon	<i>Acipenser oxyrinchus desotoi</i>	Threatened	No Suitable Habitat
Insects	Monarch Butterfly	<i>Danaus plexippus</i>	Candidate	No Suitable Habitat; None Observed on Site

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 e, threatened or
 professional

Staff Comments

The staff of the Baldwin County Board of Education (BCBE) was notified of the requested subdivision on June 29, 2022 with a follow-up message on July 25, 2022, as is protocol for P&Z staff for any development of 50 units/lots or more

- The July 25th message excerpt at right was redacted to fit within the slide
- The complete text of the e-mail exchanges of June 29th and July 25th with BCBE staff were published in the “upcoming” items area of the Baldwin County website

From: [Buford King](#)
To: ["Sarah Young"; Shawn Mitchell; Bill Harbour; Eddie Tyler; John Wilson](#)
Cc: [Mary Booth](#)
Subject: RE: [EXTERNAL] Large subdivision notice
Date: Monday, July 25, 2022 12:34:00 PM
Attachments: [image001.png](#)
[Sherwood vs South Bend locator map.pdf](#)
[image002.png](#)

Good afternoon, Sarah – please see attached map that depicts both the South Bend Development (blue) and the Sherwood Development (red).

Sherwood will be considered at the August 4 Planning Commission meeting and South Bend is under review for the September 1 Planning Commission meeting.

Thank you,

John B. “Buford” King
MPA, LEED AP
Deputy Director
Baldwin County Planning and Zoning
(251) 580-1655

Shawn,

Thank you for this. Do you know which crossroad this subdivision is being proposed on? That will help us assess which feeder pattern. 181 splits Fairhope and Daphne feeders. Is this north or south

of 104?

Thank you,

Sarah Young, Esq.
General Counsel
Baldwin County Public Schools
[2600 N Hand Avenue](#)
[Bay Minette, AL 36507](#)
Phone: (251) 949-0495
Email: syoung@bcbe.org



Staff recommends that the Preliminary Plat application for Case No. SPP22-7 Sherwood Grove be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations, including, but not limited to submission of a request for a Subdivision Permit to the Baldwin County Highway Department for all improvements and system upgrades to be installed with the development.



BALDWIN COUNTY, ALABAMA

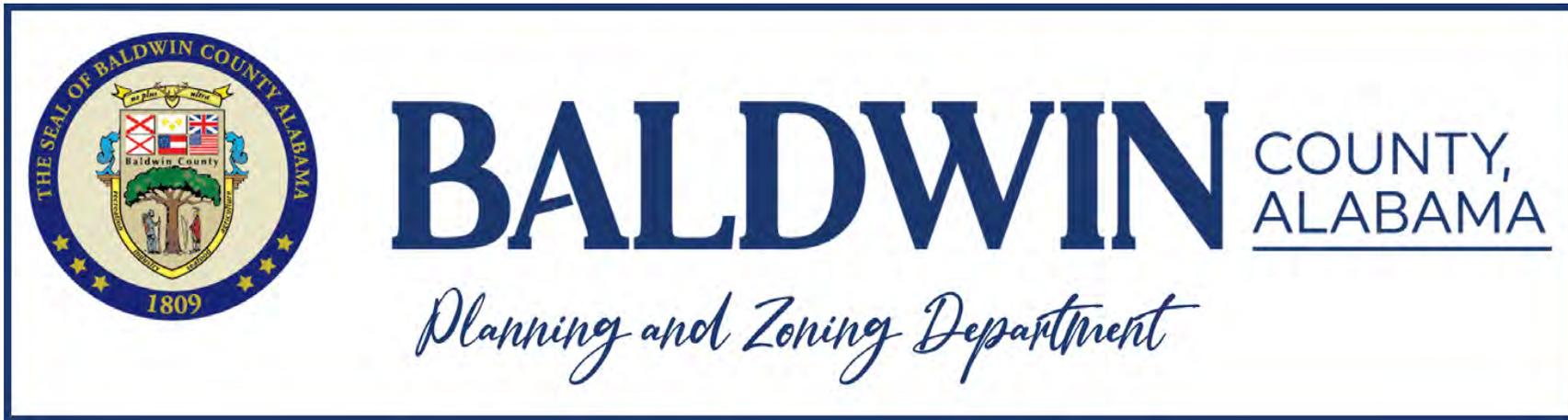
Planning and Zoning Department

NEXT REGULAR MEETING

AUGUST 4, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



RE-ZONING REQUEST
Z22-10 GULF COAST FARM PROPERTIES
AUGUST 4, 2022

PRESENTED BY: CELENA BOYKIN, SENIOR PLANNER

8.10) Z22-10 GULF COAST FARM PROPERTY

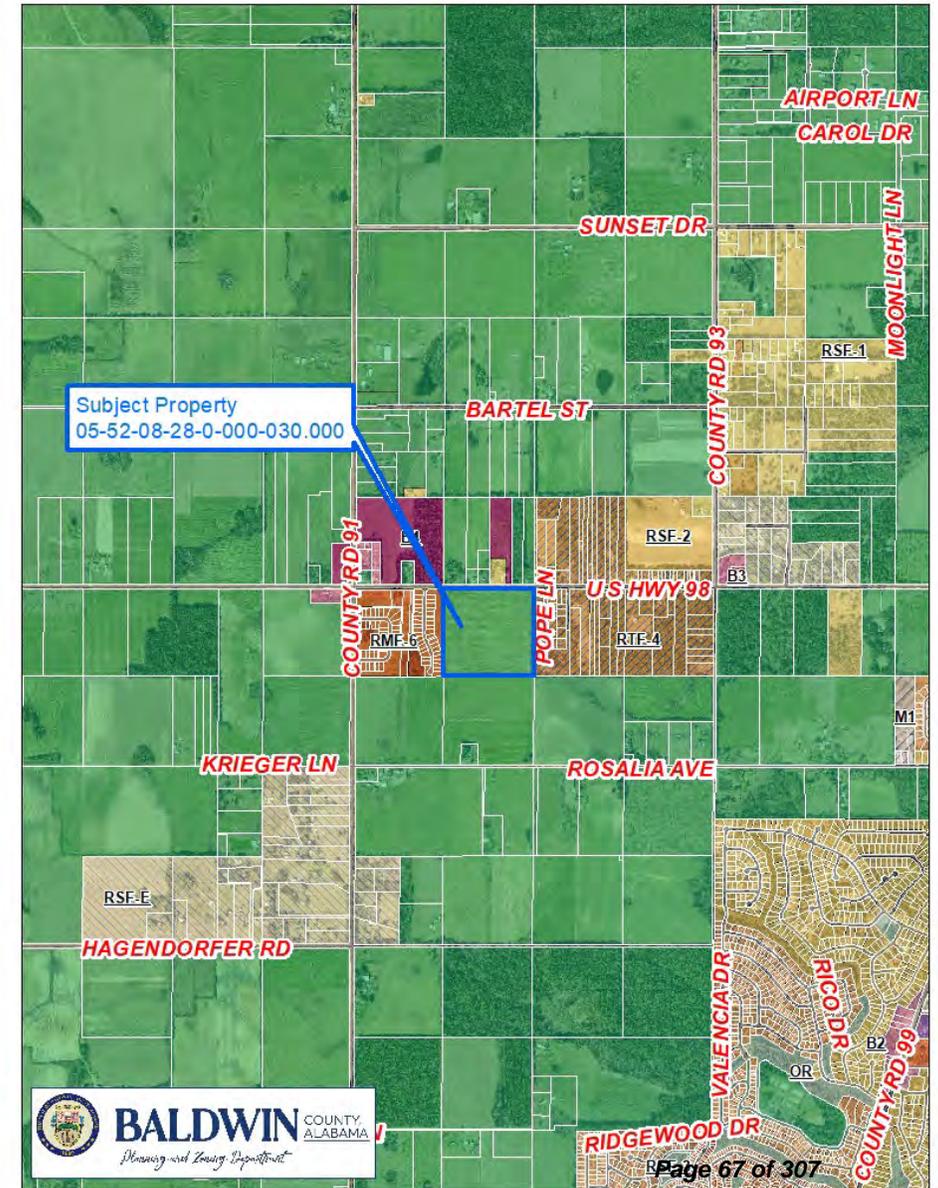
Lead Staff: Celena Boykin, Senior Planner

Request before Planning Commission:

Rezone 39+/- acres From RA to RSF-2

To view maps/plats in higher resolution please visit the "Upcoming Items" Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Z22-10 GULF COAST FARM PROPERTY

Lead Staff: Celena Boykin, Senior Planner

Planning District: 33

Zoned: RA, Rural Agriculture District

Location: Subject property is located on the south side of Hwy 98 and east of County Rd 91

Current Use: Vacant

Acreage: 39 +/- acres

Physical Address: NA

Applicant: SE Civil LLC

Owner: Gulf Coast Farm LLC

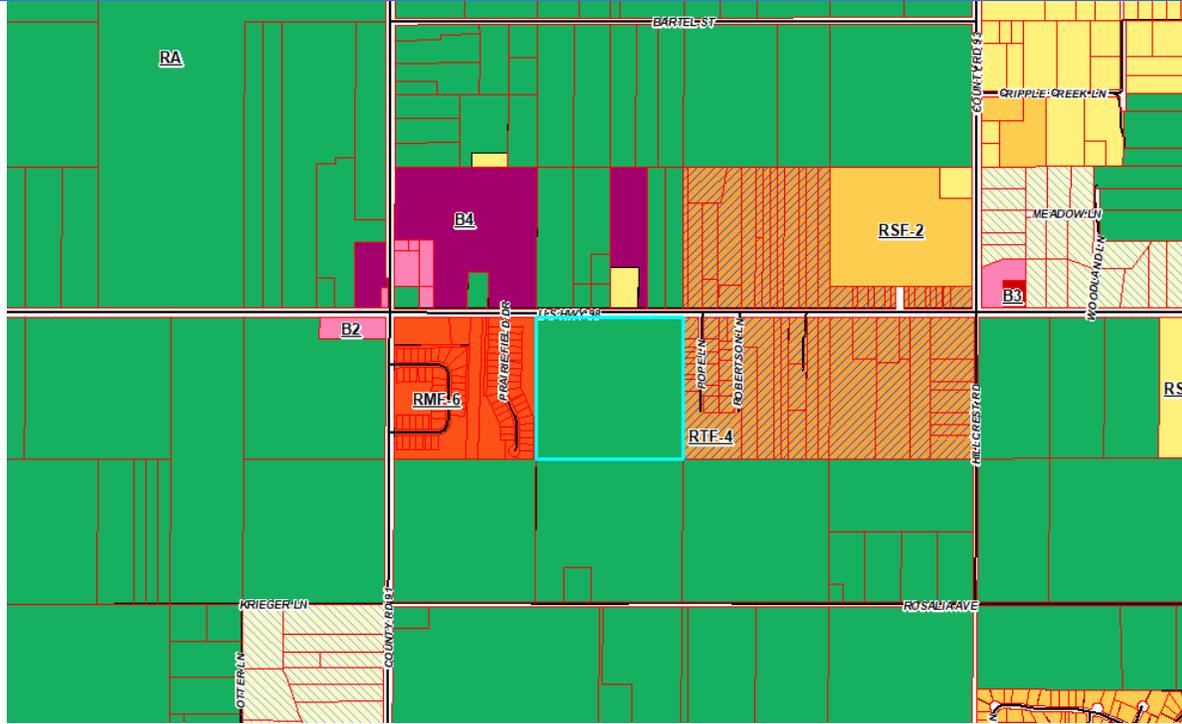
Proposed Zoning: RSF-2, Single Family district

Proposed Use: Subdivision

Applicant's Request: To allow for the development of the project site as a single family residential subdivision.

Online Case File Number: The official case number for this application is Z22-10, however, when searching online CitizenServe database, please use Z22-000010.

Locator Map



Site Map



Adjacent Zoning

Adjacent Land Use

North

US Hwy 98, RA, Rural Agriculture, RSF-1, Residential Single Family, and B4, Major Commercial

Residential

South

RA, Rural Agriculture

Agriculture

East

RTF-4, Two Family

Residential

West

RMF-6, Multi-Family

Residential

Property Images



Property Images



Current Zoning Requirements

Section 3.2 RA Rural Agricultural District

3.2.1 *Generally.* This zoning district provides for large, open, unsubdivided land that is vacant or is being used for agricultural, forest or other rural purposes.

3.2.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) The following transportation, communication, and utility uses: water well (public or private).
- (c) Outdoor recreation uses.
- (d) The following general commercial uses: animal clinic and/or kennel; farm implement sales; farmers market/truck crops; nursery; landscape sales; country club.
- (e) The following local commercial uses: fruit and produce store.
- (f) The following institutional uses: church or similar religious facility; school (public or private).
- (g) Agricultural uses.
- (h) Single family dwellings including manufactured housing and mobile homes.
- (i) Accessory structures and uses.

3.2.3 *Special exceptions.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed as special exceptions: Not Applicable

3.2.4 *Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by the site plan approval process:

- (a) Transportation, communication, and utility uses not permitted by right.
- (b) Institutional uses not permitted by right.

(c) The following general commercial uses: recreational vehicle park (see *Section 13.9: Recreational Vehicle Parks*).

(d) The following local commercial uses: bed and breakfast or tourist home (see *Section 13.11: Bed and Breakfast Establishments*).

3.2.5 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35
Minimum Front Yard	40-Feet
Minimum Rear Yard	40-Feet
Minimum Side Yards	15-Feet
Minimum Lot Area	3 Acres
Minimum Lot Width at Building Line	210-Feet
Minimum Lot Width at Street Line	210-Feet

3.2.6 *Area and dimensional modifications.* Within the RA district, area and dimensional requirements may be reduced, as set forth below, where property is divided among the following legally related family members: spouse, children, siblings, parents, grandparents, grandchildren, or step-related individuals of the same status.

Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet
Minimum Side Yards	10-Feet
Minimum Lot Area	40,000 Square Feet
Minimum Lot Width at Building Line	120-Feet
Minimum Lot Width at Street Line	120-Feet

Proposed Zoning Requirements

Section 4.3 RSF-2, Single Family District

4.3.1 *Generally.* This zoning district is provided to afford the opportunity for the choice of a moderate density residential environment consisting of single family homes.

4.3.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) The following transportation, communication, and utility uses: water well (public or private).
- (c) The following agricultural uses: Silviculture.
- (d) Single family dwellings including manufactured housing and mobile homes.
- (e) Accessory structures and uses.
- (f) The following institutional use: church or similar religious facility.

4.3.3 *Conditional Use Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by the site plan approval process:

- (a) Outdoor recreation uses.
- (b) The following institutional uses: day care home; fire station; school (public or private).
- (c) The following general commercial uses: country club.
- (d) The following local commercial use: bed and breakfast or tourist home (see *Section 13.10: Bed and Breakfast Establishments*).

4.3.4 *Special exception.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following use and structures designed for such use may be allowed as a special exception: Not Applicable

4.3.5 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35-Feet
Maximum Height in Habitable Stories	2 1/2
Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet
Minimum Side Yards	10-Feet
Minimum Lot Area	15,000 Square Feet
Minimum Lot Width at Building Line	80-Feet
Minimum Lot Width at Street Line	40-Feet
Maximum Ground Coverage Ratio	.35

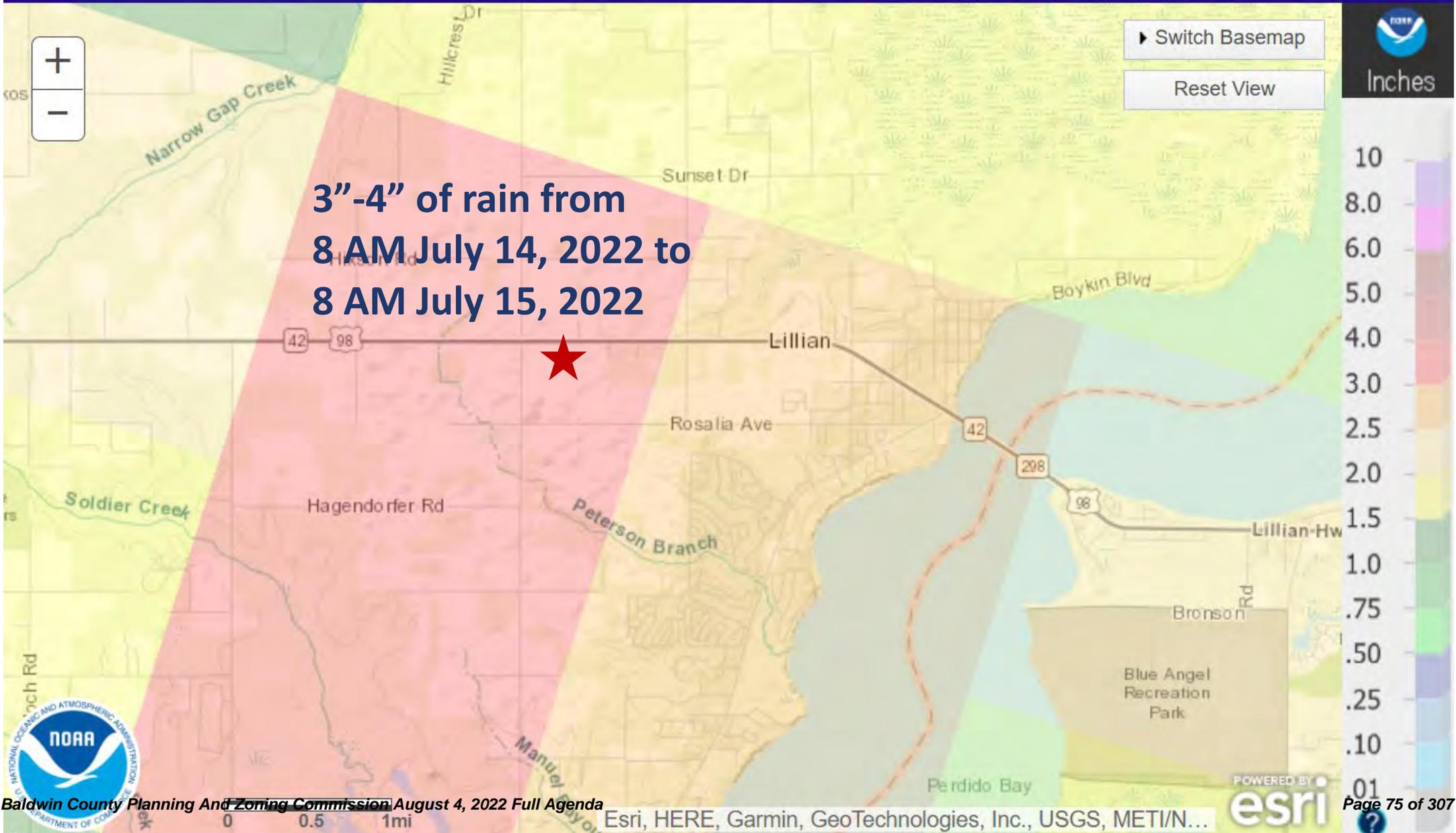
Staff Analysis and Findings

1.) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?

The subject property is currently zoned RA, Rural Agriculture District, and is undeveloped. The adjacent properties are zoned RA, Rural Agricultural District, RTF-4, Residential Two Family District, RMF-6, Multiple Family District, B-4, Major Commercial, and RSF-1, Single Family. The adjacent uses are residential and agricultural. The requested change is a residential single-family designation. Staff has concerns with the proposed rezoning being compatible at this time due to recent flooding issues. Until the flooding issues are resolved in the vicinity of this development, staff believes an increase in intensity is incompatible.

What is UTC time? Map Help

Find address or location



**3"-4" of rain from
8 AM July 14, 2022 to
8 AM July 15, 2022**



Courtesy: Caroline Mack

3 NEW TONIGHT

> **CAROLINE MACK**

» THURSDAY'S RAIN FLOODED HER YARD

Staff Analysis and Findings

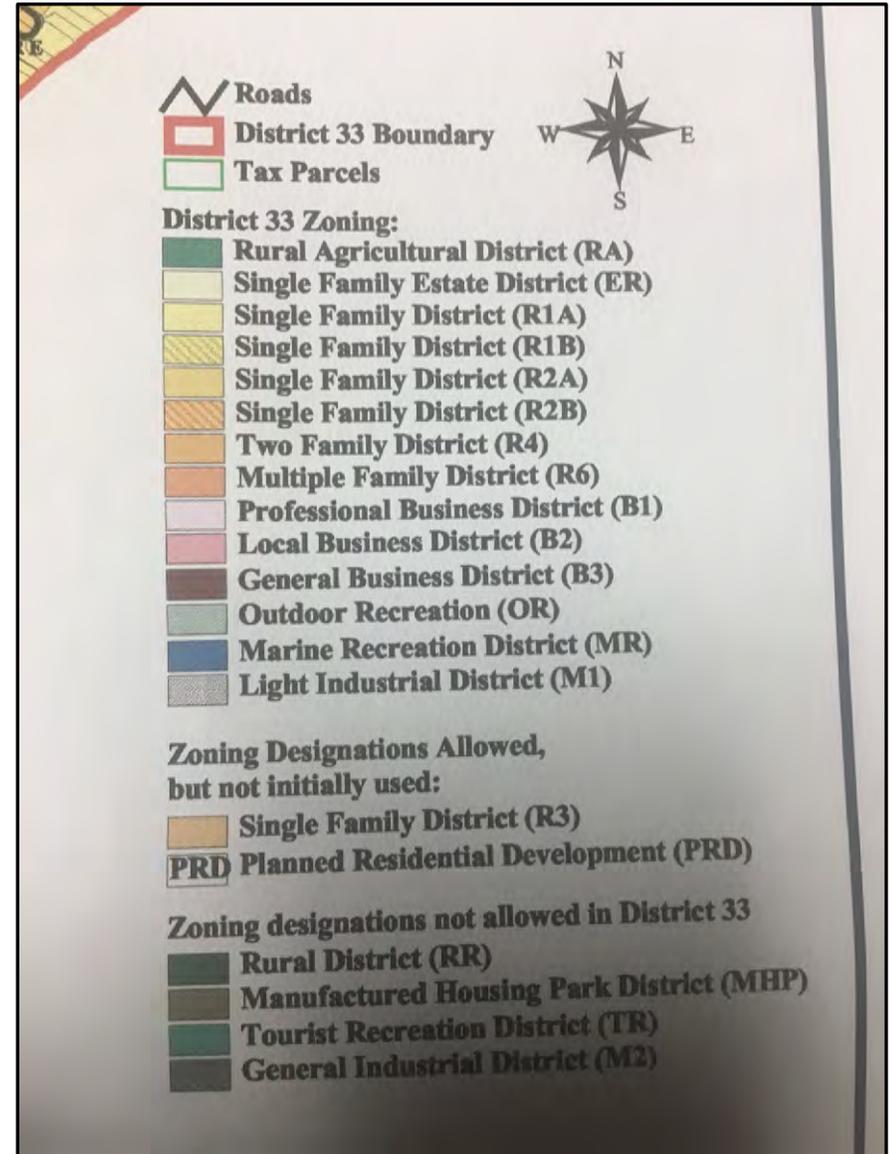
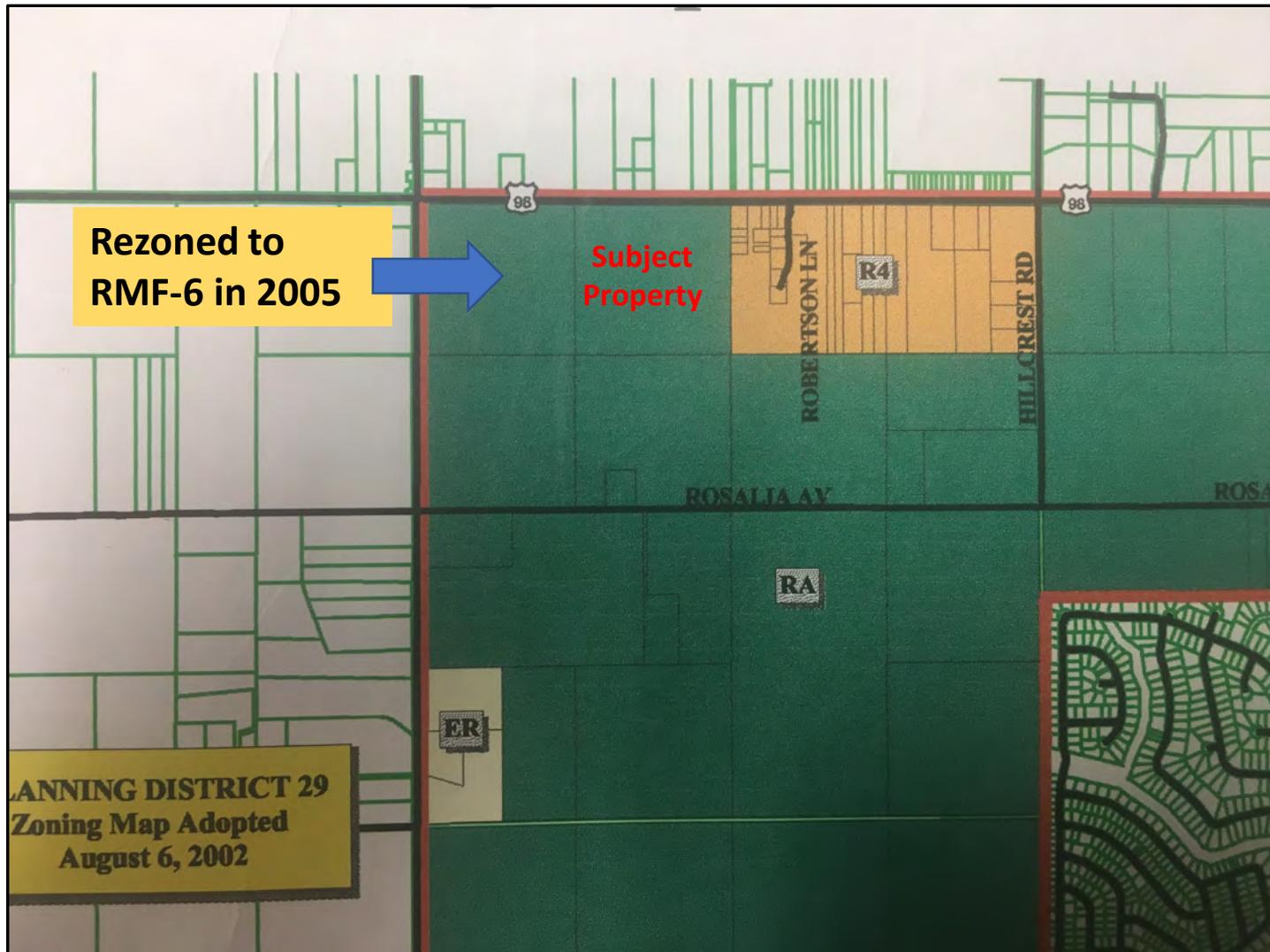
1.) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?

The subject property is currently zoned RA, Rural Agriculture District, and is undeveloped. The adjacent properties are zoned RA, Rural Agricultural District, RTF-4, Residential Two Family District, RMF-6, Multiple Family District, B-4, Major Commercial, and RSF-1, Single Family. The adjacent uses are residential and agricultural. The requested change is a residential single-family designation. Staff has concerns with the proposed rezoning being compatible at this time due to recent flooding issues. Until the flooding issues are resolved in the vicinity of this development, staff believes an increase in intensity is incompatible.

2.) Has there been a change in the conditions upon which the original zoning designation was based? Have land uses or conditions changed since the zoning was established?

Planning District 33 zoning map was adopted in August 2002. At that time, the property was zoned RA, Rural Agricultural District. The property to the east was originally zoned two family. The property to the west was rezoned in 2005 from RA to RMF-6.

Staff Analysis and Findings



3.) Does the proposed zoning better conform to the Master Plan?

A future land use designation of Agricultural has been provided for the subject property. This category is provided for agriculture, forestry and similar activities. Single family dwellings, institutional uses, recreational uses, limited commercial uses which are intended to serve a rural area and transportation, communication and utility uses are also included subject to the requirements found within the Zoning Ordinance. This category is designed to protect the essential open character of rural areas until it is timely to reclassify the land to appropriate residential, commercial or industrial categories. Zoning designations may include RR, CR, RA and RSF-E.

Approval of the rezoning will result in an amendment of the Future Land Use Map to residential. The residential category is provided for residential dwelling units including single family dwellings, two family (duplex) dwellings, multiple family dwellings, manufactured homes, manufactured housing parks and Planned Residential Developments. To the greatest extent possible, residential areas should be accessible to major thoroughfares connecting with work areas, shopping areas and recreational areas. Zoning designations may include RR, RA, CR, RSF-E, RSF-1, RSF-2, RSF-3, RSF-4, RSF-6, RTF-4, RTF-6, RMF-6, RMH and PRD.

Staff Analysis and Findings

4.) Will the proposed change conflict with existing or planned public improvements?

Staff is unaware of any planned public improvements.

5.) Will the proposed change adversely affect traffic patterns or congestion?

Per the Federal Highway Administration, the functional classification of US Hwy 98 is principal arterial. Arterials provide a high level of mobility and a greater degree of access control. Access to this site from would require approval from the Alabama Department of Transportation (ALDOT). The Access to this site would require approval from the Alabama Department of Transportation. Depending on the number of proposed lots a traffic study may be needed to determine the impact to traffic patterns or congestion.

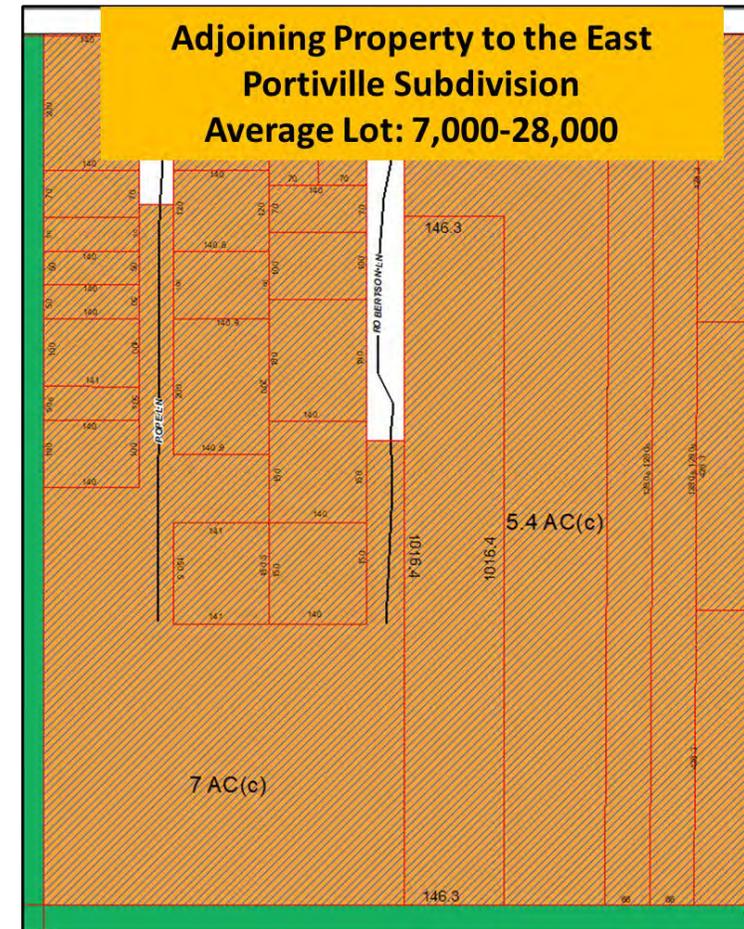
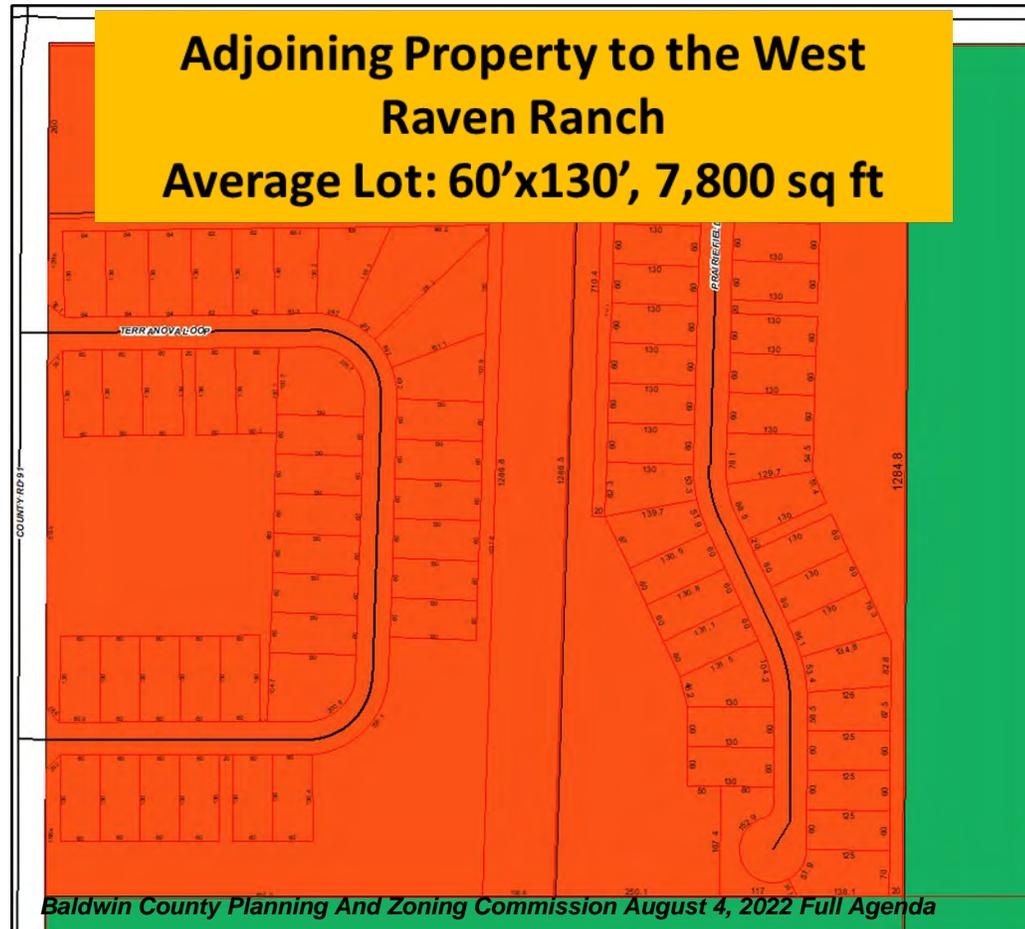
6.) Is the proposed amendment consistent with the development patterns in the area and appropriate for orderly development of the community? The cost of land or other economic considerations pertaining to the applicant shall not be a consideration in reviewing the request.

The surrounding land uses are commercial, residential, and agriculture. Most of the development around the intersection of US 98 and County Road 91 is low to medium density residential with a mix of commercial. The RSF-2 zoning designation allows for single-family uses which would be a transition from the adjacent property in the area. Therefore, staff believes the proposed amendment is consistent with the development patterns in the area.

Staff Analysis and Findings

7.) Is the proposed amendment the logical expansion of adjacent zoning districts?

This area of Planning District 33 consists of rural agricultural, commercial and residential zoning districts. Adjacent properties to the west and east are zoned for Multi-Family (6,500 sq ft lots) and Two Family (7,500 sq ft lots). The proposed amendment is a logical transition between these lot sizes.



Staff Analysis and Findings

8.) Is the timing of the request appropriate given the development trends in the area?

Staff has concerns with the proposed rezoning being compatible at this time due to recent flooding issues.

9.) Will the proposed change adversely impact the environmental conditions of the vicinity or the historic resources of the County?

Staff is unaware of any environmental conditions or historic resources that would be adversely impacted by this request. The Alabama Department of Environmental Management (ADEM) provided no comments.

10.) Will the proposed change adversely affect the health, safety and welfare of the County and the vicinity?

Staff has concerns related to flooding that were brought to our attention at the public hearing and then documented as an existing condition during an apparently relatively minor storm event on July 14th. This change could affect the health, safety, and welfare of the vicinity.

11.) Other matters which may be appropriate.

ALDOT, Michael Smith: No Comments

ADEM, Scott Brown: No Comments

BCBE: No Comments

Baldwin County Subdivision– Mary Booth:

Subdivision Comments: The subject property considered for rezoning from RA to RSF-4 would need to meet subdivision regulations and be in compliance with the zoning ordinance in place at time of preliminary plat submittal. There appear to be potential wetlands which may require a wetland delineation. Subdivisions will rely on Baldwin County Highway for Traffic Impact Study and Drainage analysis. A sketch plan for 6 lots or more, with infrastructure, will be required to be submitted prior to submitting a preliminary plat for review. Additional comments will be provided, as needed, during administrative sketch plan review.

Baldwin County Highway Department – Weesie Jeffords:

- a. • The stated future use will require compliance with the Baldwin County Subdivision Regulations if divided.
- b. • Drainage mitigation will be needed and will also need to account for the runoff through the property from surrounding developments. The area to the east of the property (Pope Lane area) has localized flooding issues and do not have retention/detention drainage facilities. Restricted flow rates may be required to limit impact of this proposed use because the natural flow of water is to the east.
- c. • The roadway is maintained by ALDOT. Access and any directed discharges would need to be coordinated with the State. Technical requirements for traffic impact analysis may apply with the County, but as maintaining authority ALDOT has determination on required improvements to US 98 such as turnlanes and signalization of the intersection. Areas close to this property and near the intersection, along with regional growth area elevated and should be accounted for in the study.
- d. • Internal road design will need to follow Baldwin County Road Design guide upon submittal.

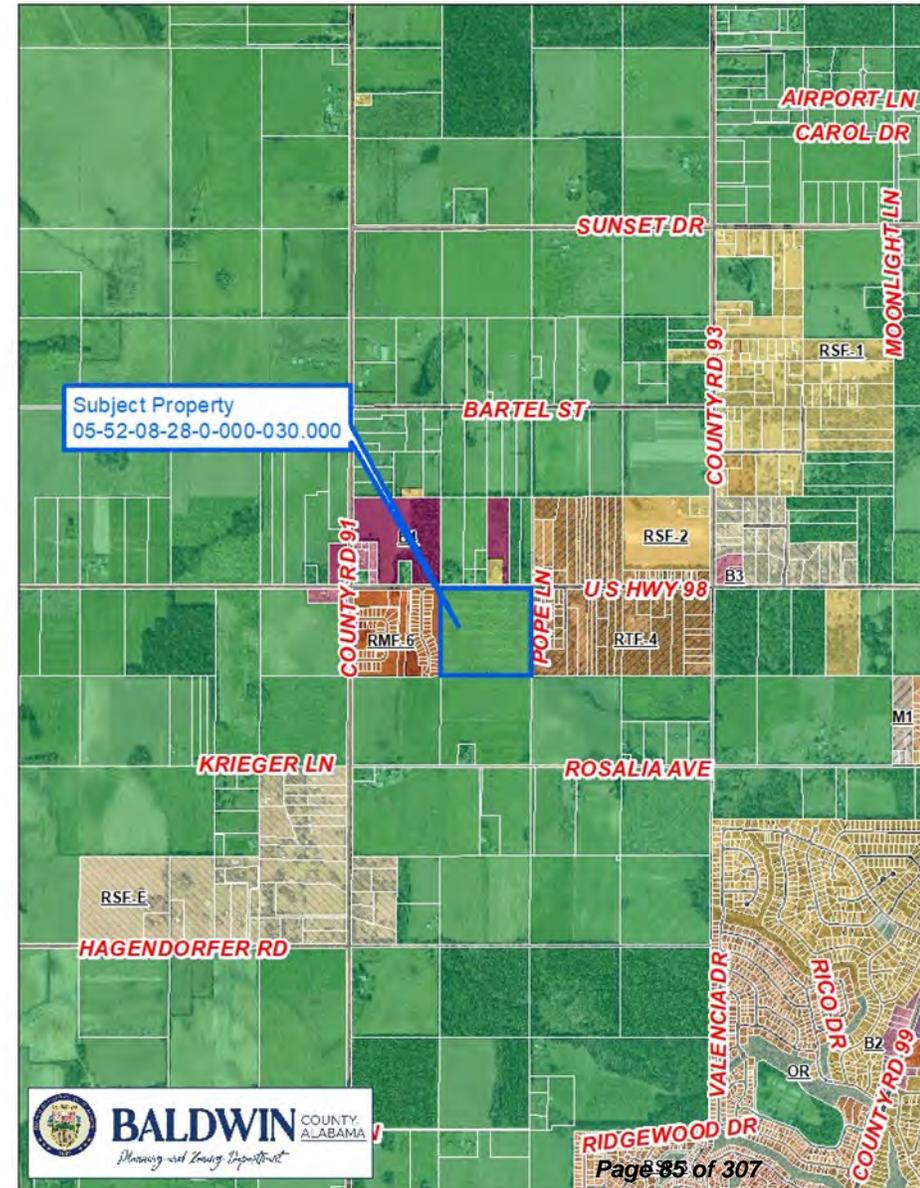
Z22-10 GULF COAST FARM PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

Staff's Summary and Comments:

As stated previously, the subject property is currently zoned RA, Rural Agriculture District, and is currently vacant. The property adjoins US Hwy 98. The adjoining properties are commercial, residential, and agriculture. The requested zoning designation is RSF-2, Single Family District. According to the submitted information, the purpose of this request is to allow for a future subdivision. If the property is rezoned to RSF-2 staff feels like this moderate density would be a good transition from the 7,800 sq ft lots to the west and the 7,000 -28,000 sq ft lots to the east. If the property is rezoned, the proposed uses will require subdivision approval. **Even though staff feels like this is an appropriate transition, there are unresolved concerns related to flooding in the immediate vicinity. These concerns have caused staff to change its recommendation. Staff believes that intensifying the land use at this location is not appropriate at this time.**

Baldwin County Planning And Zoning Commission August 4, 2022 Full Agenda

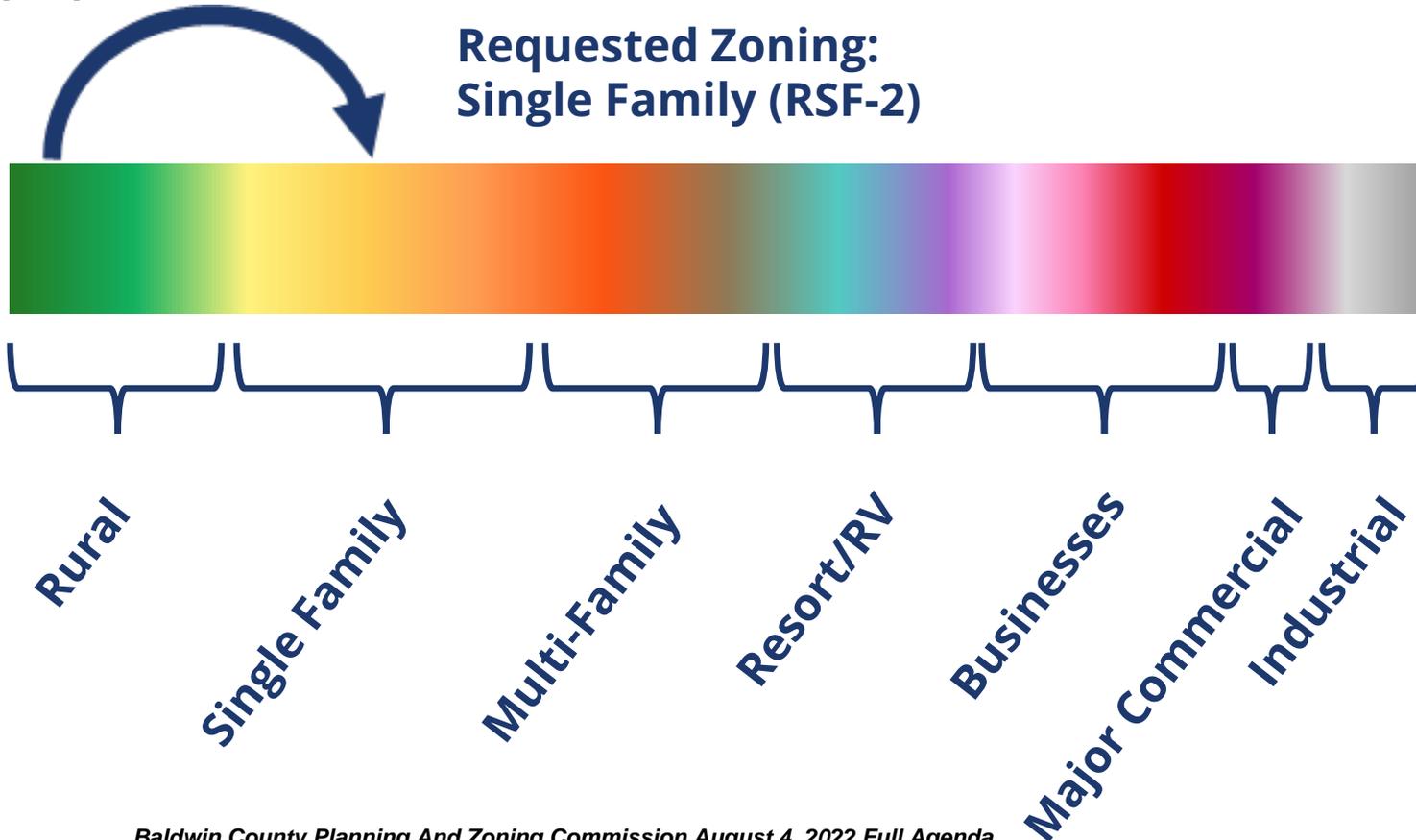


Z22-10 GULF COAST FARM PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

Current Zoning:
Rural Agriculture
(RA)

Requested Zoning:
Single Family (RSF-2)



Staff's Recommendation:

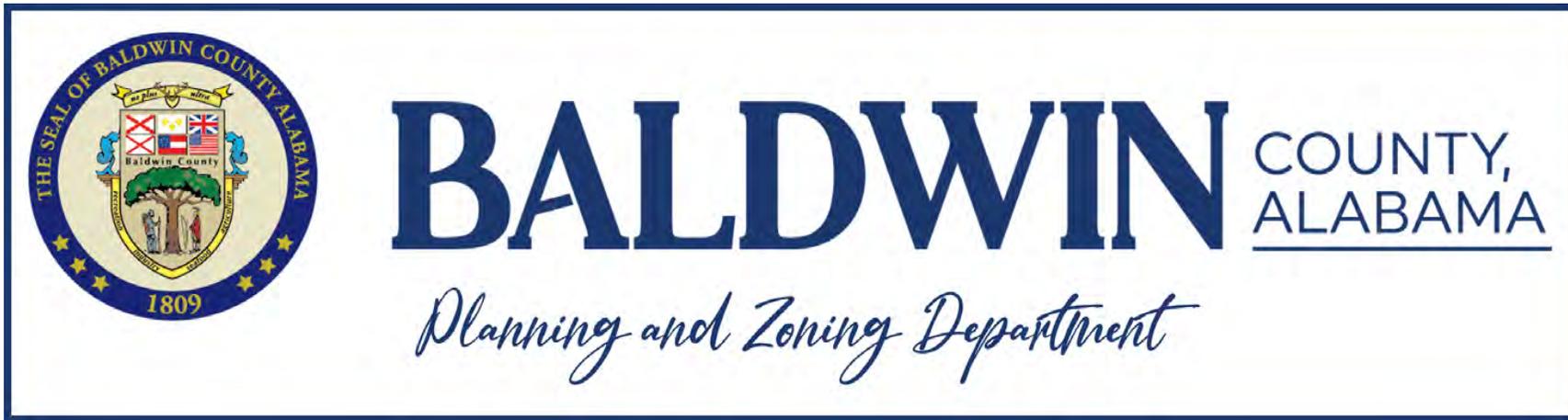
Unless information to the contrary is revealed at the public hearing, staff feels this rezoning application should be recommended for **Denial**.*

**On rezoning applications, the Planning Commission will be making a recommendation to the County Commission.*

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INTENTIONALLY



COMMISSION SITE PLAN APPROVAL

CSP22-15 WISE PROPERTY

AUGUST 4, 2022

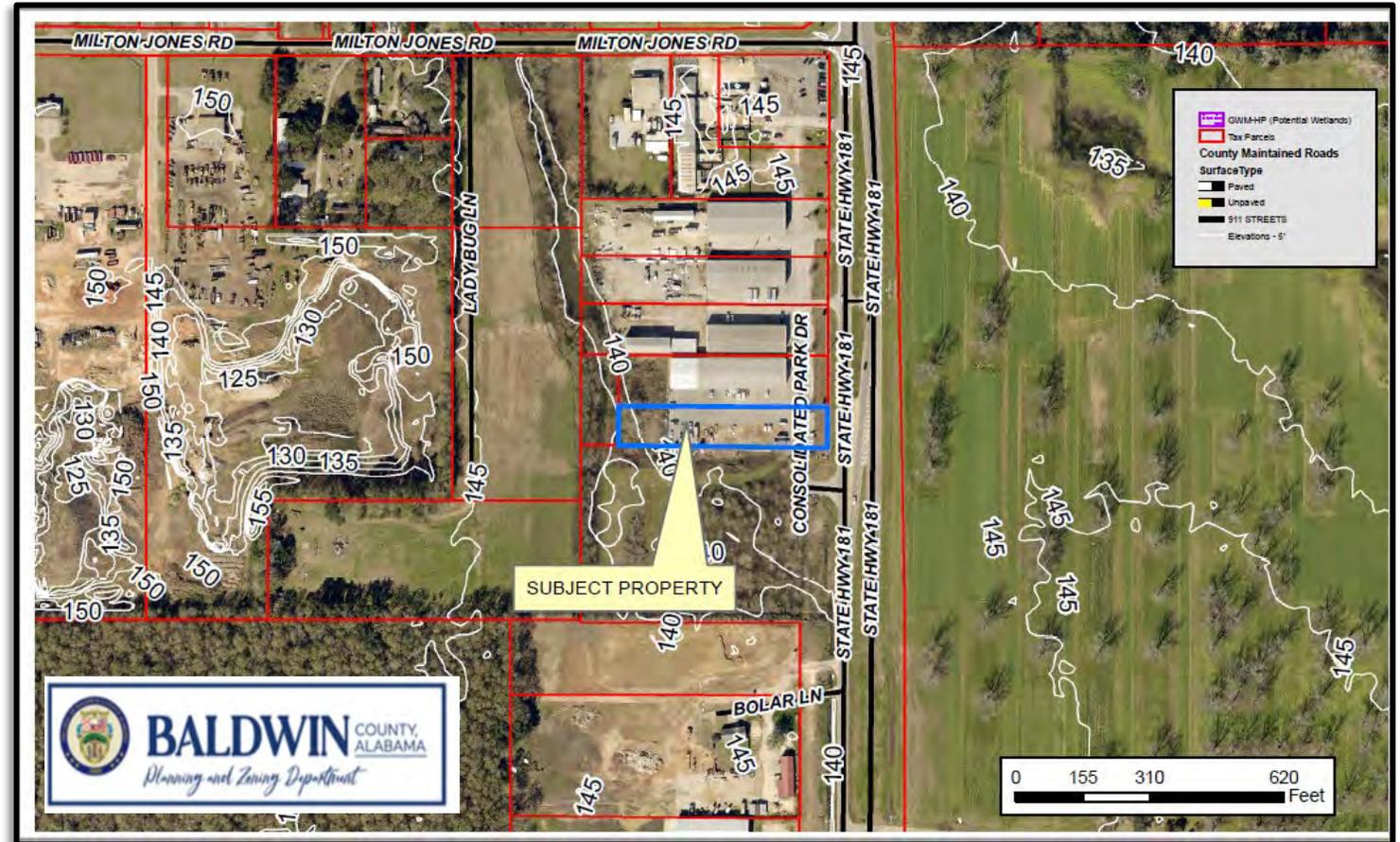
PRESENTED BY: CORY RHODES, PLANNER

8.B) CSP22-15 WISE PROPERTIES, LLC

COMMISSION SITE PLAN APPROVAL

Lead Staff: Cory Rhodes, Planner

- **Planning District:** 15 **Zoned:** M-1
- **Location:** Located on the south side of Milton Jones Road, west of State Highway 181 in the Daphne area
- **Parcel Number:** 05-43-05-22-0-000-020.009
- **Current Use:** Commercial (U-Haul Rental)
- **Acreage:** 1.03 acres
- **Physical Address:** 25369 Consolidated Park Drive
- **Applicant:** S.E. Civil, LLC – Larry Smith
- **Owner:** Wise Properties, LLC

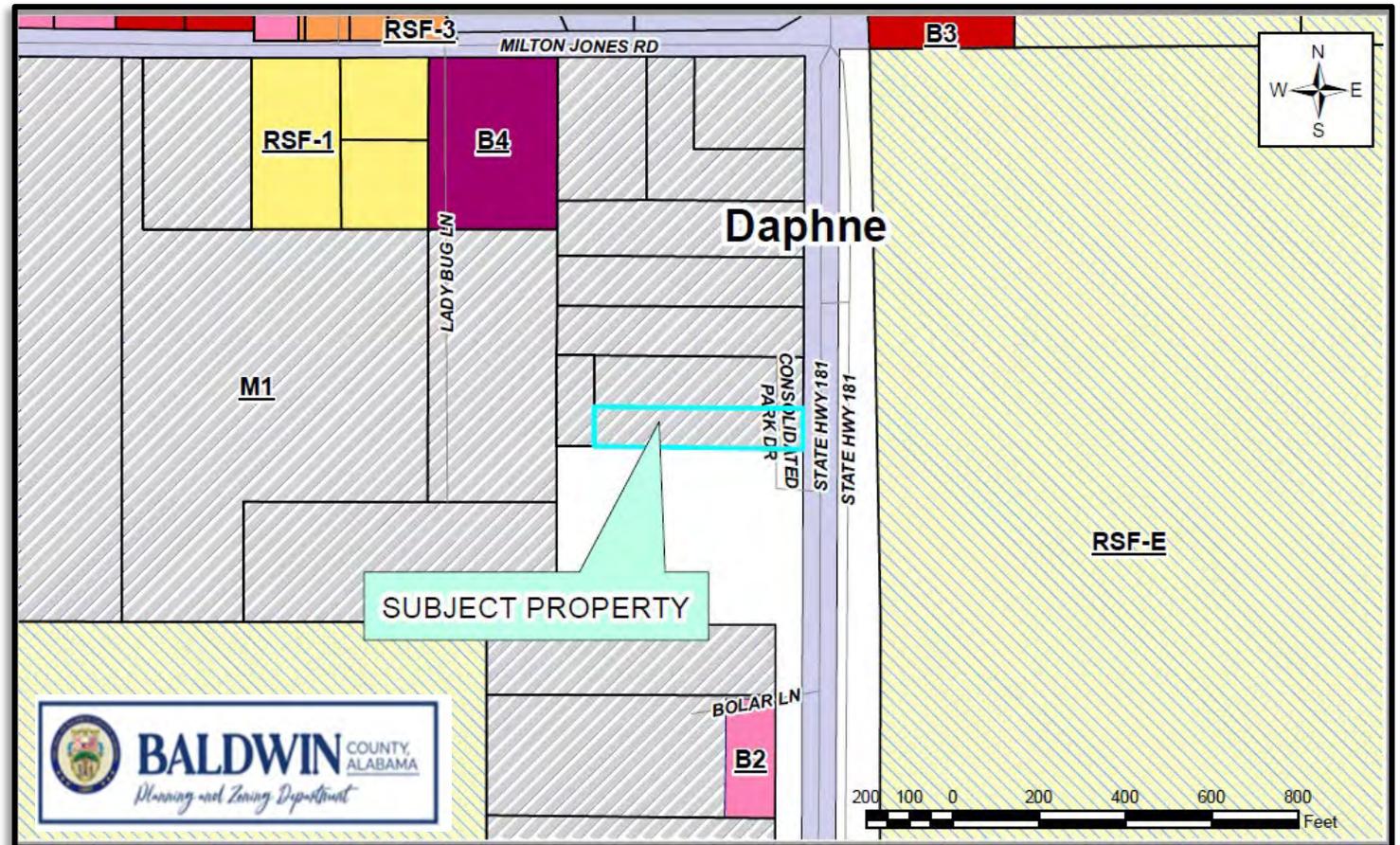


CSP22-15 WISE PROPERTIES, LLC

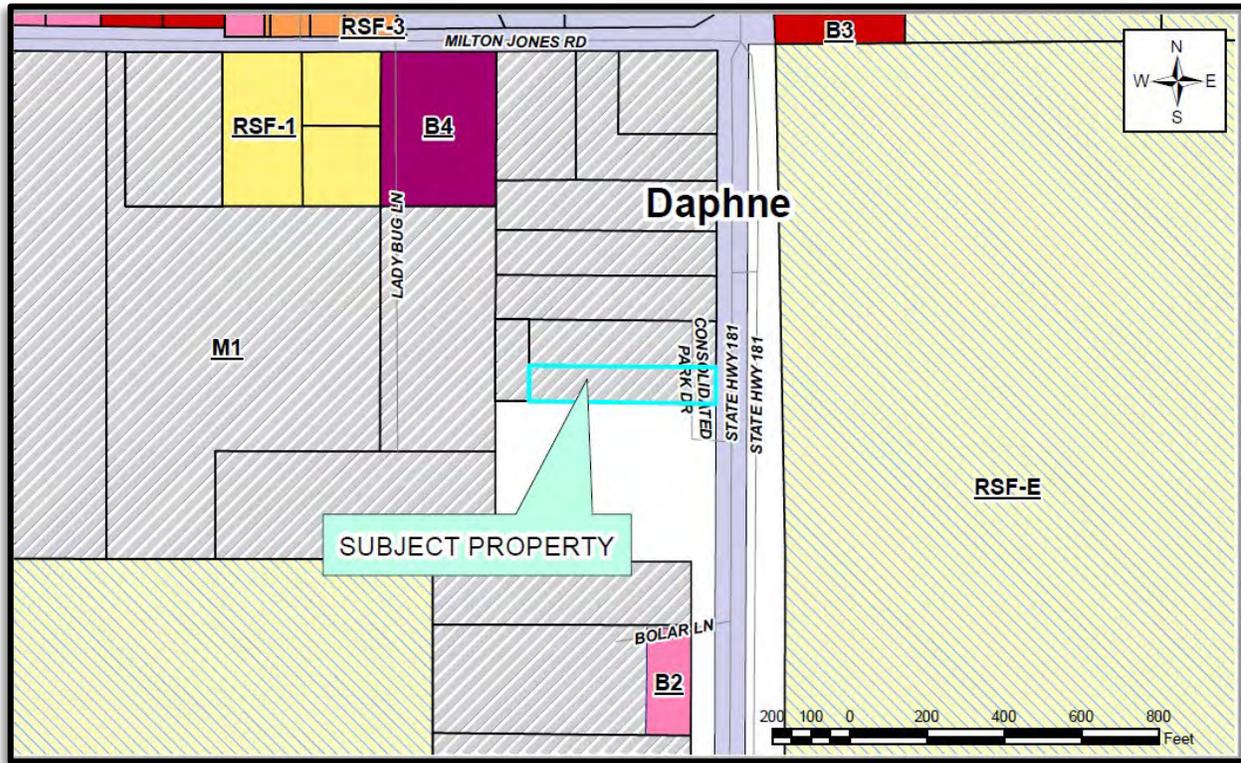
COMMISSION SITE PLAN APPROVAL

Lead Staff: Cory Rhodes, Planner

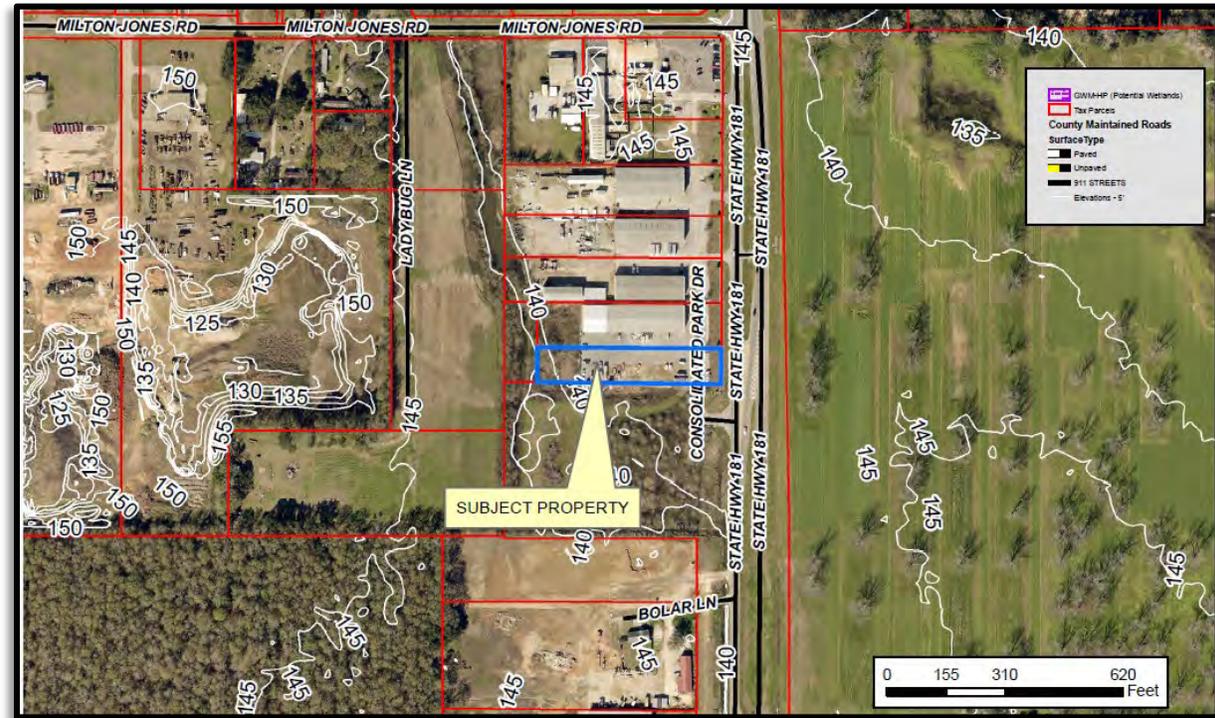
- **Current Zoning:** M-1, Light Industrial District
- **Applicant's Request:** Construct an additional 10,000 sq ft building for office/warehouse use



Locator Map



Site Map



	Adjacent Land Use	Adjacent Zoning
North	Commercial	M-1, Light Industrial District
South	Vacant	N/A
East	Agricultural	RSF-E, Residential Single-Family District
West	Common Area	M-1, Light Industrial District

Property Images



Property Images



Property Images

Adjoining Property
to The North



Jul 13, 2022 12:04:57 PM

Property Images



Property Images

Property Across
The Street



Jul 13, 2022 12:06:03 PM

Zoning Requirements

Section 8.1 M-1, Light Industrial District

8.1.1 *Generally.* The purpose of this zoning district is to provide a suitable protected environment for manufacturing, research and wholesale establishments which are clean, quiet and free of hazardous or objectionable emissions, and generate little industrial traffic.

8.1.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted, conditioned on the Commission Site Plan Approval requirements of Section 18.9:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) Light industrial uses.
- (c) Transportation, communication, and utility uses except landfills and sewer treatment plants.
- (d) Outdoor recreation uses.
- (e) Marine recreation uses.
- (f) General commercial uses except racetracks.
- (g) Local commercial uses.
- (h) **Professional service and office uses.**
- (i) Institutional uses.
- (j) Agricultural uses.
- (k) Accessory structures and uses.

8.1.3 *Conditional Use Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed as Commission Site Plan Approval uses:

- (a) Transportation, communication, and utility uses not permitted by right per *Section 8.2(c): Permitted uses.*

(b) General commercial uses not permitted by right per *Section 8.2(f): Permitted uses.*

8.1.4 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	45
Maximum Height of Structure in Habitable Stories	4
Minimum Front Yard	25-Feet
Minimum Rear Yard	see (a & b)
Minimum Side Yards	see (a & b)
Minimum Lot Area	40,000 Square Feet
Maximum Impervious Surface Ratio	.80
Minimum Lot Width at Building Line	120-Feet
Minimum Lot Width at Street Line	No Minimum

(a) No minimum except where abutting a residential district, in which case there shall be a minimum yard of 25-feet abutting the residential district.

(b) The required yards shall be increased by one foot for each foot of building height in excess of 35-feet.

Zoning Requirements

Section 13.15 Office-Warehouses

13.15.1 *Purpose.* The purpose of this section is to establish minimum standards for office-warehouse facilities.

13.15.2 *Procedures and standards.*

(a) *Commission Site Plan Approval required.* All office-warehouse facilities are subject to the standards contained in this section and will be required to obtain a site plan approval prior to being granted a building permit. As used in this section, the term "office-warehouse" shall refer to a commercial facility with offices/showrooms and associated storage specific to each office/showroom. This section shall in no way supersede uses which are permitted by right in the M-1 and M-2 zoning districts.

(b) *Where permitted.* Office-warehouse facilities are permitted as follows:

1. Commission Site Plan Approval – RR, Rural District, B-1, Professional Business District and B-2, Neighborhood Business District, B-3, General Business District, B-4, Major Commercial District, M-1, Light Industrial District and M-2 General Industrial District

(c) *Coverage.* Building coverage shall not exceed forty (40) percent of the total lot area.

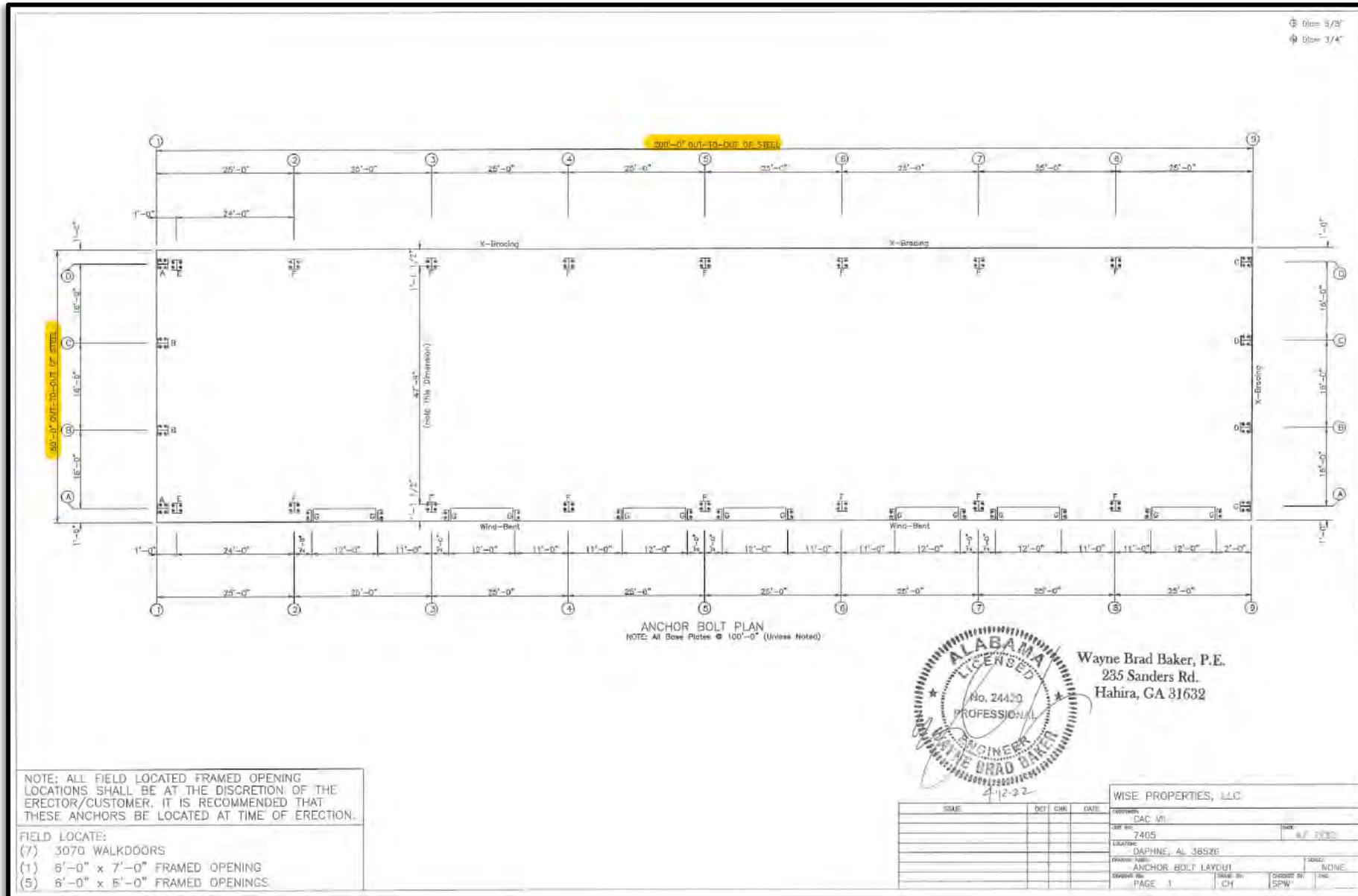
(d) *Buffering.* In the event an office-warehouse facility is located adjacent to residentially developed or zoned property, a landscaped buffer with a minimum width

of 30-feet shall be provided. Said buffer shall consist of a combination of canopy trees, understory trees and shrubs which shall be of sufficient height to create a visual barrier.

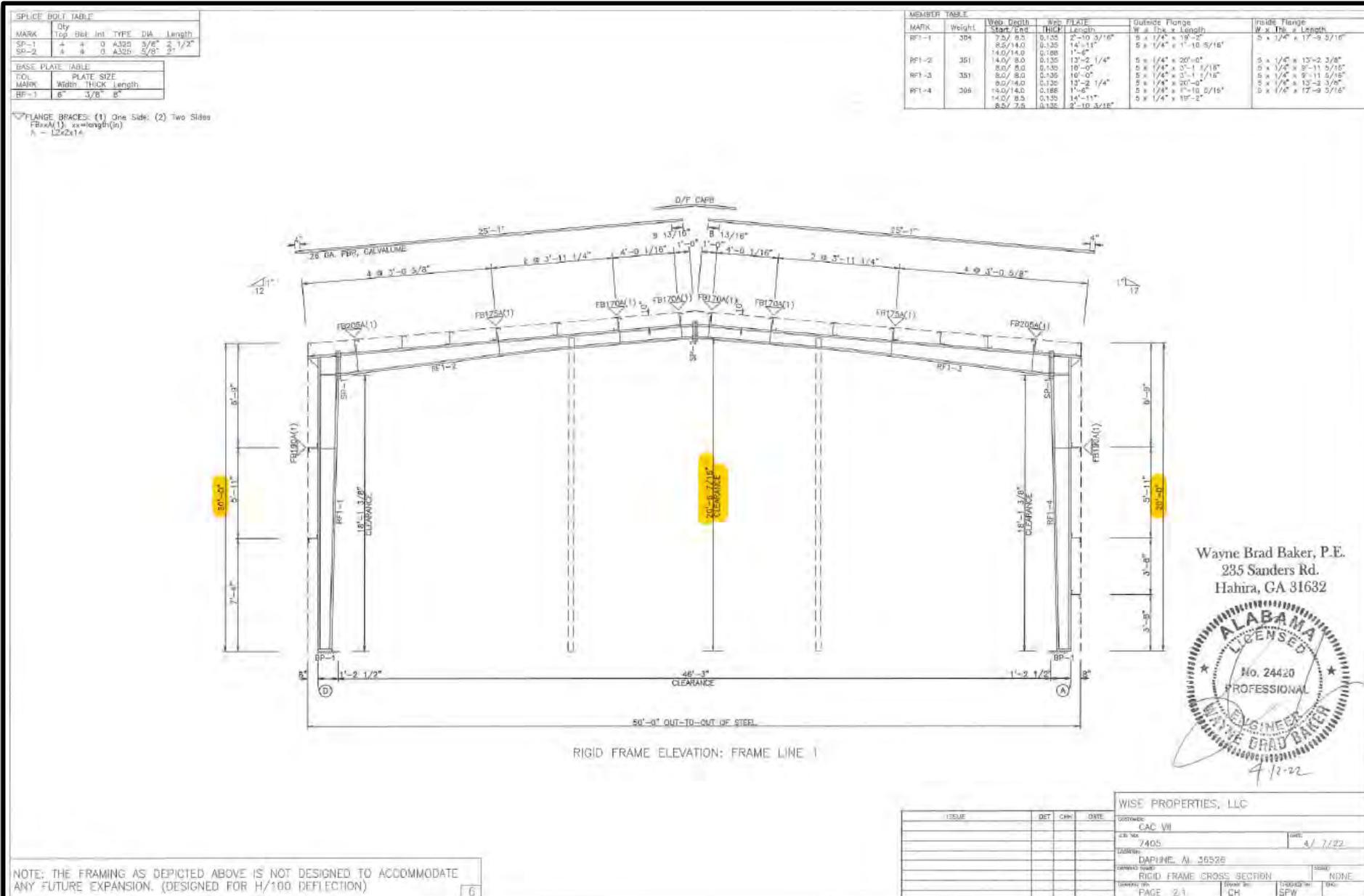
(f) *Design and other requirements.*

1. *Facades.* Facades which are visible from a public right-of-way shall be constructed of masonry, wood or other materials which will present a pleasing appearance and which will be compatible with the surrounding area.
2. The office/showroom component of this use shall comprise up to 25 percent of the total floor area.
3. No single building shall contain more than five (5) office-warehouse units.
4. *Lighting.* The maximum height of exterior lights shall be 20-feet. Light fixtures shall be designed to cast light downward. No light shall be aimed directly toward a property designated residential, which is located within 200-feet of the source of the light.
5. *Exterior display and storage.* There shall be no exterior display or storage of equipment or materials. All equipment and materials shall be housed inside a structure or behind a privacy fence of eight (8) feet minimum height located behind a structure.
6. *Parking and landscaping.* Unless otherwise stated herein, all office-warehouse facilities shall meet the requirements of *Article 15: Parking and Loading Requirements* and *Article 17: Landscaping and Buffers*.

Construction Plans



Building Elevation



Erosion and Sediment Control Plans

MATERIAL	RATE PER ACRE & (PER 1000 SF)	NOTES
STRAW WITH SEED	1 1/2 - 2 TONS (70 LBS/90 LBS)	SPREAD BY HAND OR MACHINE, ANCHOR WHEN SUBJECT TO BLOWING
STRAW ALONE (NO SEED)	2 1/2 - 3 TONS (110 LBS/160 LBS)	SPREAD BY HAND OR MACHINE, ANCHOR WHEN SUBJECT TO BLOWING
WOOD CHIPS	5-8 TONS (220 LBS/270 LBS)	TREAT WITH 12 LBS NITROGEN/TON
BARK	25 CUBIC YARDS (2.5 CUBIC YARDS)	CAN APPLY WITH MULCH BLOWER
PINE STRAW	1-2 TONS (60 LBS/90 LBS)	SPREAD BY HAND OR MACHINE, WILL NOT BLOW LINE
PERNIT HULLS	10-20 TONS (400 LBS/600 LBS)	WALL WASH OFF SLOPES, TREAT WITH 12 LBS NITROGEN/TON

SPECIES	SEEDING RATE/ACRE	NORTH	CENTRAL	SOUTH
MULLET, BROWNTOP OR GERMAN	40 LBS	MAY 1-AUG 1	APR 8-AUG 15	APR 1-AUG 15
RYE	3 BU	SEPT 1-NOV 15	SEPT 15-NOV 15	SEPT 15-NOV 15
RYEGRASS	30 LBS	AUG 1-SEPT 15	SEPT 1-SEPT 15	SEPT 1-SEPT 15
SCORPION-SILCORN-HYBRIDS	40 LBS	MAY 1-AUG 1	APR 15-AUG 1	APR 1-AUG 15
SLUDGRASS	40 LBS	MAY 1-AUG 1	APR 1-AUG 1	APR 1-AUG 15
WHEAT	3 BU	SEPT 1-NOV 1	SEPT 15-NOV 15	SEPT 15-NOV 15
COMMON BERMAUDAGRASS	10 LBS	APR 1-JULY 1	MAR 15-JULY 15	MAR 1-JULY 15
CRIMSON CLOVER	10 LBS	SEPT 1-NOV 1	SEPT 1-NOV 1	SEPT 1-NOV 1

EROSION CONTROL PRACTICES

CODE	PRACTICE
MU	MULCHING
TS	TEMPORARY SEEDING
PS	PERMANENT SEEDING
W	STRAW WATTLES

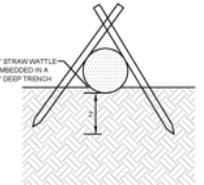
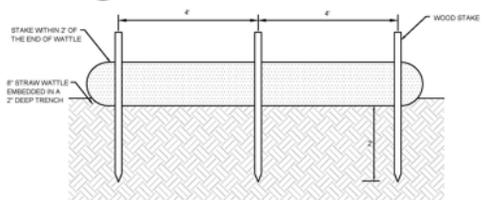
- EROSION CONTROL NOTES**
- THE EXISTING SITE IS DEVELOPED.
 - CONTACT DAVID KING, GQ 261-660-6596
 - AREA TO BE DISTURBED = 0.23 ACRES
 - ALL VEGETATION SHALL BE PLANTED AND MAINTAINED PER THE ALABAMA HANDBOOK FOR EROSION AND SEDIMENT CONTROL AND STORMWATER MANAGEMENT ON CONSTRUCTION SITES AND URBAN AREAS (ALABAMA HANDBOOK)
 - ALL EROSION CONTROL MEASURES SHALL BE PER THE DIRECTION OF THE ENGINEER, SOIL AND WATER CONSERVATION COMMITTEE OFFICER, AND THE FEDERAL E.P.A. GUIDELINES FOR THE NPDES PROGRAM
 - ABSOLUTELY NO SEDIMENT SHALL BE PERMITTED TO LEAVE THE SITE DURING CONSTRUCTION IF HEAVY RAINS OR UNUSUAL SITE CONDITIONS RESULT IN THE EROSION OF SLOPES OR ADJACENT PARCELS THEN THE GRADING CONTRACTOR SHALL CLEAN THE DISTURBED AREAS IMMEDIATELY AND RESTORE THE AREAS TO THE ORIGINAL CONDITION WITHIN 24 HOURS
 - ALL DISTURBED AREAS SHALL BE TEMPORARILY AND PERMANENTLY SEEDING WITH "SOOTHY" TYPE SEEDINGS PER THE ALABAMA HANDBOOK
 - ADDITIONAL EROSION CONTROL MEASURES MAY BE REQUIRED BY THE GOVERNING OFFICIALS. IT IS THE RESPONSIBILITY OF THE GRADING CONTRACTOR TO BE INTIMATE WITH THE LOCAL EROSION CONTROL LAWS AND TO REFLECT THIS KNOWLEDGE IN HISHER ACTIONS AND QUOTATIONS
 - THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH LAND DISTURBING ACTIVITIES
 - ALL EROSION AND SEDIMENT CONTROL MEASURES WILL BE CHECKED DAILY AND ANY DEFICIENCIES NOTIFIED WILL BE CORRECTED BY THE END OF EACH DAY. ADDITIONAL EROSION CONTROL MEASURES WILL BE INSTALLED IF DEEMED NECESSARY AFTER ON SITE INSPECTION BY THE GOVERNING OFFICIAL, OR ENGINEER OF RECORD
 - CONTRACTOR SHALL REMOVE EROSION CONTROL DEVICES AFTER PERMANENT GRASSING IS IN PLACE AND ESTABLISHED
 - DISTURBED AREAS LEFT GLE FOR TEN DAYS OR LONGER ARE TO BE SEEDING AND MULCHED
 - SEDIMENT EROSION CONTROL DEVICES MUST BE CHECKED AFTER EACH STORM EVENT. EACH DEVICE IS TO BE MAINTAINED OR REPLACED IF SEDIMENT ACCUMULATION HAS REACHED 1/3 OF THE CAPACITY OF THE DEVICE
 - MAINTENANCE OF ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES AND PRACTICES, WHETHER TEMPORARY OR PERMANENT, SHALL BE AT ALL TIMES THE RESPONSIBILITY OF THE OWNER'S CONTRACTOR
 - THE CONTRACTOR SHALL PREVENT THE LOSS OF SEDIMENT DUE TO WIND VIA WATERING DRY SOILS. CAUTION SHOULD BE TAKEN TO ENSURE THAT THE SITE IS NOT OVER WATERED
 - THE SITE IS TO BE CLEARED AND GRADED AS TO MINIMIZE THE AMOUNT OF SOIL EXPOSED AT ONE TIME
 - EROSION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE
 - CONTRACTOR IS RESPONSIBLE FOR MONITORING DOWNSTREAM CONDITIONS THROUGHOUT THE CONSTRUCTION PERIOD AND CLEARING ANY DEBRIS AND SEDIMENT CAUSED BY CONSTRUCTION
 - SMPs SHALL BE INSTALLED AS PER THE ALABAMA HANDBOOK STANDARDS
 - SMPs SHALL BE INSTALLED WITH MINIMAL CLEARING ACTIVITY
 - CONTRACTOR TO CLEAN OUT ACCUMULATED SEDIMENT IN THE DETENTION POND AT THE END OF CONSTRUCTION WHEN DISTURBED AREAS HAVE BEEN STABILIZED
 - SEDIMENT STORAGE INDICATORS MUST BE INSTALLED IN SEDIMENT STORAGE STRUCTURES, INDICATING THE 10 FULL VOLUME

MU MULCHING
SCALE: NTS

ZONE 3 - AREAS NOT SUBJECT TO FREQUENT MOWING
REQUIRED POUNDS PER ACRE OF PURE LIVE SEED

DATE OF PLANTING	JAN 1 TO FEB 15	FEB 16 TO AUG 31	SEPT 1 TO NOV 30	DEC 1 TO DEC 31
ANNUAL RYEGRASS	10		10	10
HULLED BERMAUDAGRASS		12	12	
UNHULLED BERMAUDAGRASS	29	18	12	29
TALL FESCUE	29		29	29
WEEPING LOVEGRASS		2	2	
ANNUAL LESPEDEZA (NOBE)		50		
RESEEDING CRIMSON CLOVER	29		29	29
PENSACOLA BAHIAGRASS	29	24	29	29
REQUIRED PERMANENT PLANT			MIXED	

TS TEMPORARY SEEDING
SCALE: NTS



WATTLE INSTALLATION DETAIL
SCALE: NTS



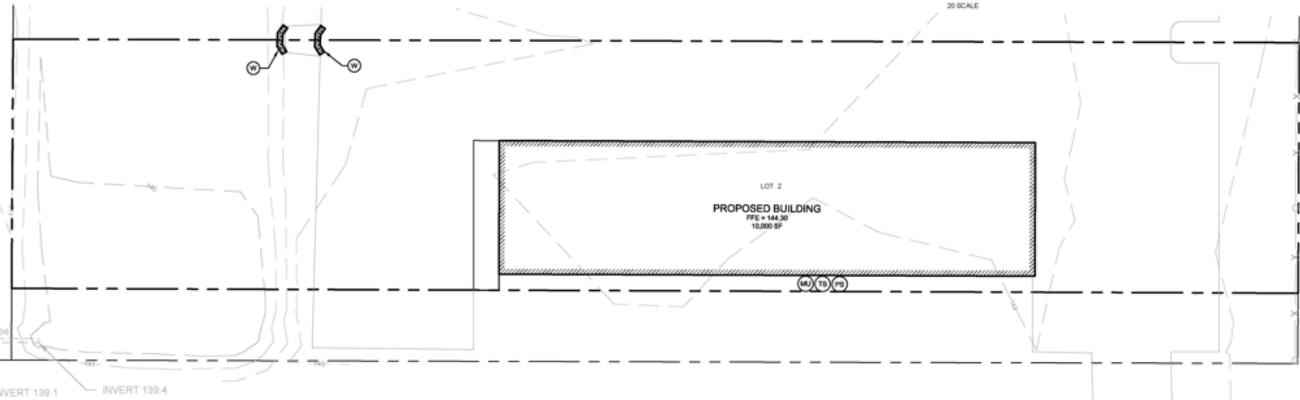
PS PERMANENT SEEDING
SCALE: NTS

LIME RATE
1 TON PER ACRE ON LIGHT TEXTURED SANDY SOILS IF THE COVER WILL BE TALL FESCUE AND CLOVER USE 2 TONS/ACRE
2 TONS PER ACRE ON HEAVY TEXTURED CLAYEY SOILS

FERTILIZER RATE
GRASS/ALONE 400 LBS/ACRE OF 8-24-24
WHEAT/VEGETATION 400 LBS/ACRE OF 8-24-24

FERTILIZER RATE
GRASS/ALONE 400 LBS/ACRE OF 8-24-24
WHEAT/VEGETATION 400 LBS/ACRE OF 8-24-24

MULCH RATE:
PER MULCHING DETAIL



EROSION & SEDIMENT CONTROL PLAN

Consolidated Acres
One Highway 101
Baldwin County, Alabama



JOB No: 20221123 DATE: 08/17/2022
DRAWN: TOS SCALE: 1"=20'
SHEET: C02

ADDITIONAL INFORMATION

- The site is currently covered in gravel.
- Minimal land disturbance will occur to dig the footings.

Plan Approvals



June 21, 2022

Baldwin County Planning & Zoning
Planning Technician
22251 Palmer Street
Robertsdale, AL 36567

Re: Consolidated Acres
SE Civil Project No. 20221122

To Whom it May Concern:

This project was previously built and approved under Land Use Certificate #. At that time all infrastructure was installed and the area of this building, labeled future building on the approved plans, was covered in gravel. That being the case, the only land disturbance that will occur is digging through the gravel for the footings. All landscaping, utilities, asphalt, access, stormwater management, etc was installed under the previous permit.

Below are items requested for the Commission Site Plan approval and our response to each.

Approved Commercial Turnout Permit:

The existing turnout permit was approved and installed in 2009. This timeline is past our requirement for keeping records, therefore we do not have a copy of this permit.

Landscaping Plan:

The landscaping plan was approved and installed with the previous land use certificate. We have visited the site and recorded the existing vegetation on the site plan.

Construction Best Management Practices Plan:

The site is already either paved or covered in gravel. Minimal land disturbance will occur to dig the footings. We have included an erosion control plan to show re-vegetating in possible disturbance created by building construction and the installation of a wattle at the flume to the detention pond.

Utility Plan:

All utility services were installed during the initial site work in 2009.

Approved Stormwater Management Plan:

The stormwater management pond was approved and installed in 2009. See attached approval. The proposed plan does not increase the amount of impervious surface. We have inspected the pond and it is functioning as designed.

Exterior/Parking Lighting Plan:

There is no proposed parking or site lighting. We are just re-stripping the existing parking lots.

9969 Windmill Road

Fairhope, Alabama 36532

251-990-6566

If you have any questions, please let me know.

Sincerely,

A handwritten signature in black ink, appearing to read 'Larry Smith', written over a white background.

Larry Smith, PE
lsmith@secivileng.com

Attachments:
Original Land Use Certificate
Original Drainage Calculations Approval

9969 Windmill Road

Fairhope, Alabama 36532

251-990-6566

Agency Comments

City of Daphne: No Comments

Baldwin County Highway Department, Tyler Mitchell: Drainage was reviewed and approved by Baldwin County with the original site plan approval in 2009. The original plan accommodated storm water from the proposed building then considered a future expansion, and the applicant states that no additional impervious area will be added. ALDOT should be consulted for comment on both stormwater and the existing connection to HWY 181.

Baldwin County Subdivision Department, Mary Booth: No Comments

ADEM, J. Scott Brown: No Comments

ALDOT, Michael Smith:

- Proposing to build 10,000 sq. ft. building.
- Property is just south of Milton Jones Rd.
- Wise property owns quite a few parcels in this area
- Access looks to be an existing internal one to the north
- There is currently an access/stub out to the south off this property, but parking spots are being proposed where that access is so maybe it is being removed
- Site plan shows no work or access on ALDOT ROW

At this time, the Wise property does not appear to be impacting ALDOT ROW and we would not be looking for any permit from them. If plans change and they promote traffic through the 181 frontage, we will take another look at it.

BCC Natural Resources Planner, Ashley Campbell: No Comments

Staff Analysis and Findings

The applicant is requesting Commission Site Plan Approval to allow for an additional 10,000 square foot building for office/warehouse use. The proposed use is a Light Industrial Use as is permitted by right, subject to the Commission Site Plan Approval of the Planning Commission.

This application was submitted as a Land Use Application in September of 2008, with the proposed use of two 10,000 sq ft buildings for office/warehouse use. One of these buildings was constructed immediately, with the second to be built in the future. Because the building permit has expired, a Commission Site Plan Approval is now required. No changes have been made to the previously approved Land Use. All required items have been submitted and all parking requirements have been met. A 10' landscape buffer is required *along the entire width* of the property when abutting a minor arterial road.

The following factors for reviewing Commission Site Plan Approvals are found in Section 18.9 of the *Baldwin County Zoning Ordinance*.

Section 18.9 Commission Site Plan Approval

18.9.1 *Authorization*. The Planning Commission may, under the prescribed standards and procedures contained herein, authorize the construction or initiation of any use that is expressly permitted by the Conditional Use Commission Site Plan Approval process in a particular zoning district; however, the county reserves full authority to deny any request for Site Plan Approval, to impose conditions on the use, or to revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.

Staff Analysis and Findings

Section 18.9 Commission Site Plan Approval

Purpose. The purpose of Commission site plan approval is to allow the proper integration of uses into a community and zoning district. The Commission site plan approval process recognizes that certain uses, though technically permitted by zoning, are only suitable under certain conditions and at appropriate locations. Certain uses require special consideration so that the use may be properly located with respect to the objectives of this chapter and their effect on surrounding properties.

18.9.1 Authorization. The Planning Commission may, under the prescribed standards and procedures contained herein, authorize the construction or initiation of any use that is expressly permitted by the Conditional Use Commission Site Plan Approval process in a particular zoning district; however, the county reserves full authority to deny any request for Site Plan Approval, to impose conditions on the use, or to revoke approval at any time, upon finding that the permitted use will or has become unsuitable and incompatible in its location as a result of any nuisance or activity generated by the use.

18.9.2 Applicable Uses. In addition to the uses specified for the individual zoning designations as Conditional Uses, a Commission Site Plan Approval is required for all development which meets the following criteria:

- (a) All multiple unit developments;
- (b) Non-residential projects involving a combined total building square footage of 5,000 square feet or more, unless the expansion is for an accessory structure that will not increase the intensity of the use;
- (c) Non-residential development within 200 feet of property that is either zoned or used as residential;
- (d) Non-residential development where more than 30% of the lot (excluding the building) is impervious;
- (e) All changes to existing structures, other than single family residences, that increase the gross floor area by thirty percent (30%) or more;
- (f) All changes of use on non-residential properties, unless proposed use would be permitted with an administrative approval.

Staff Analysis and Findings

(a) The proposed use and accompanying site plan conform to the requirements of the Zoning Ordinance.

The proposed office/warehouse building does conform to the requirements of the Zoning Ordinance and the submitted site plan meets the requirements for M-1 zoning setbacks. All required documents have been provided for the proposed building.

(b) The proposed use shall be in harmony with the general purpose, goals, objectives and standards of the Baldwin County Master Plan, these ordinances, or any other official plan, program, map or ordinance of Baldwin County.

The Baldwin County Master Plan – 2013 indicates a future land use designation of industrial for the subject property. This category provides for manufacturers of both durable and non-durable goods, institutional uses, commercial uses, recreational uses and transportation, communication and utility uses, as permitted in the Zoning Ordinance. The proposed use is consistent with the Master Plan and the requirements of the zoning ordinance.

Staff Analysis and Findings

(c) The proposed use shall be consistent with the community welfare and not detract from the public's convenience at the specific location.

The use should not detract from the public's convenience as the current use is commercial and there is currently commercial uses adjacent to this property. The proposed addition is allowed by right in the M-1 zoning.

(d) The proposed use shall not unduly decrease the value of neighboring property.

The current use of the property is commercial, and the proposed building will also be commercial. Staff feels this should not decrease the value of neighboring property.

(e) The use shall be compatible with the surrounding area and not impose an excessive burden or have substantial negative impact on surrounding or adjacent uses or on community facilities or services.

The adjacent uses are commercial and agriculture. The proposed addition should not impose an excessive burden or have substantial negative impact on surrounding or adjacent uses.

Staff Analysis and Findings

18.9.6 *Conditions and restrictions on approval.* In approving a site plan, the Planning Commission may impose conditions and restrictions upon the property benefited by the site plan approval as may be necessary to comply with the standards set out above, to reduce or minimize any potentially injurious effect of such site plan approval upon the property in the neighborhood, and to carry out the general purpose and intent of the ordinances. These conditions may include but are not limited to increasing the required lot size or yard dimensions; controlling the location and number of vehicle access points; increasing the number of off-street parking and loading spaces required; limiting the number, size and location of signs; and required fencing, screening, lighting, landscaping or other facilities to protect adjacent or nearby property.

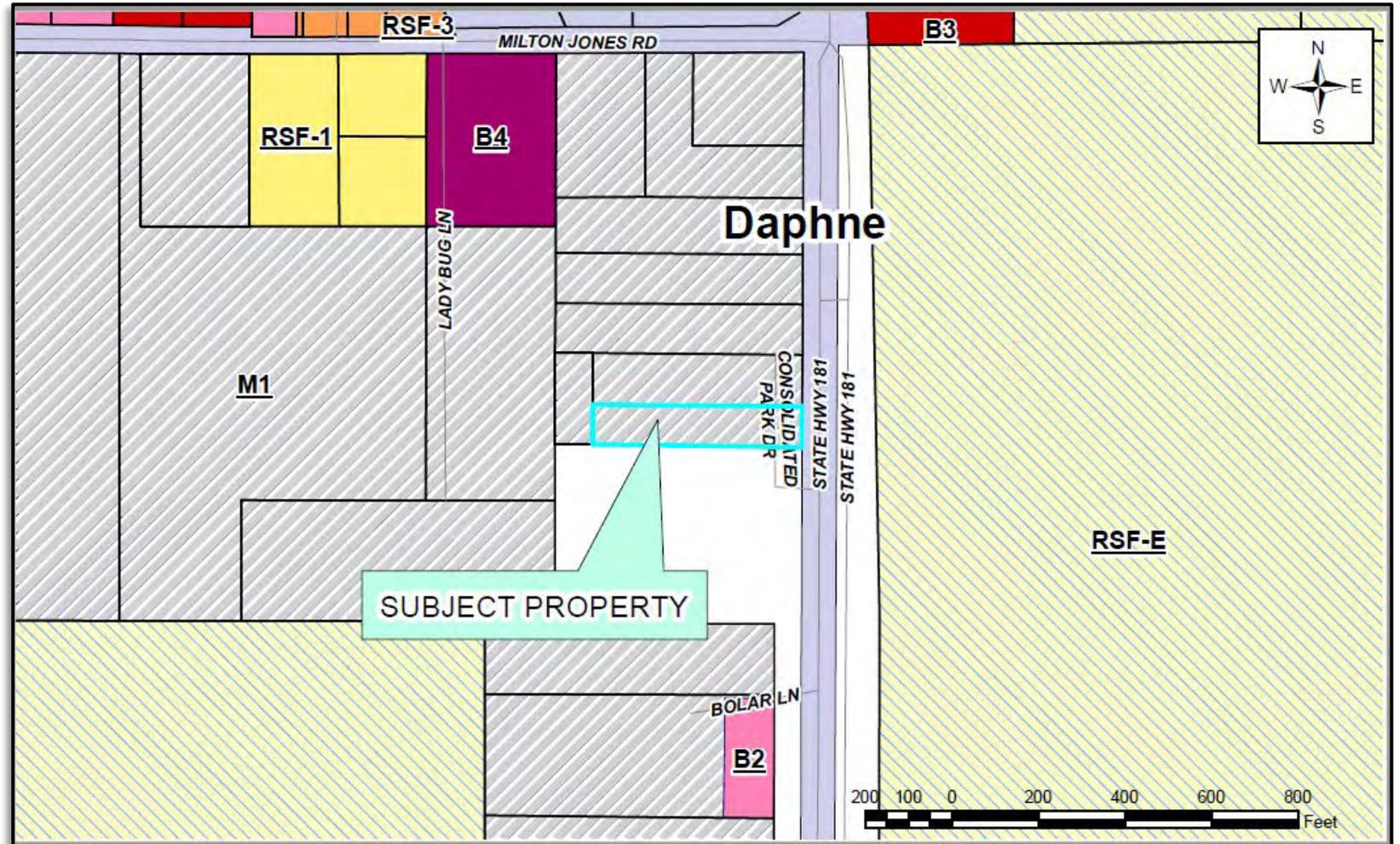
In approving any site plan, the Planning Commission may specify a period of time different than the 180-day default time period from Section 18.2.4 for the commencement (issuance of a building permit) of the proposed use. Failure to comply with any such condition or restriction imposed by the Planning Commission shall constitute a violation of these ordinances. Those site plans which the Planning Commission approves subject to conditions shall have thirty (30) calendar days to submit an amended site plan incorporating the required conditions, unless a longer time frame is specified by the Planning Commission.

CSP22-15 WISE PROPERTIES, LLC

COMMISSION SITE PLAN APPROVAL

Staff's Summary and Comments:

The subject property is currently zoned M-1, Light Industrial District. The adjacent properties include M-1, Light Industrial District and RSF-E, Residential Single Family Estate District. The Commission Site Plan Approval being requested is to allow for an additional 10,000 sq ft building for office/warehouse use.





BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

RE-ZONING REQUEST

Z22-13 FORT MORGAN MARINA

AUGUST 4, 2022

PRESENTED BY: CELENA BOYKIN, SENIOR PLANNER

8.c)Z22-13 FORT MORGAN MARINA PROPERTY

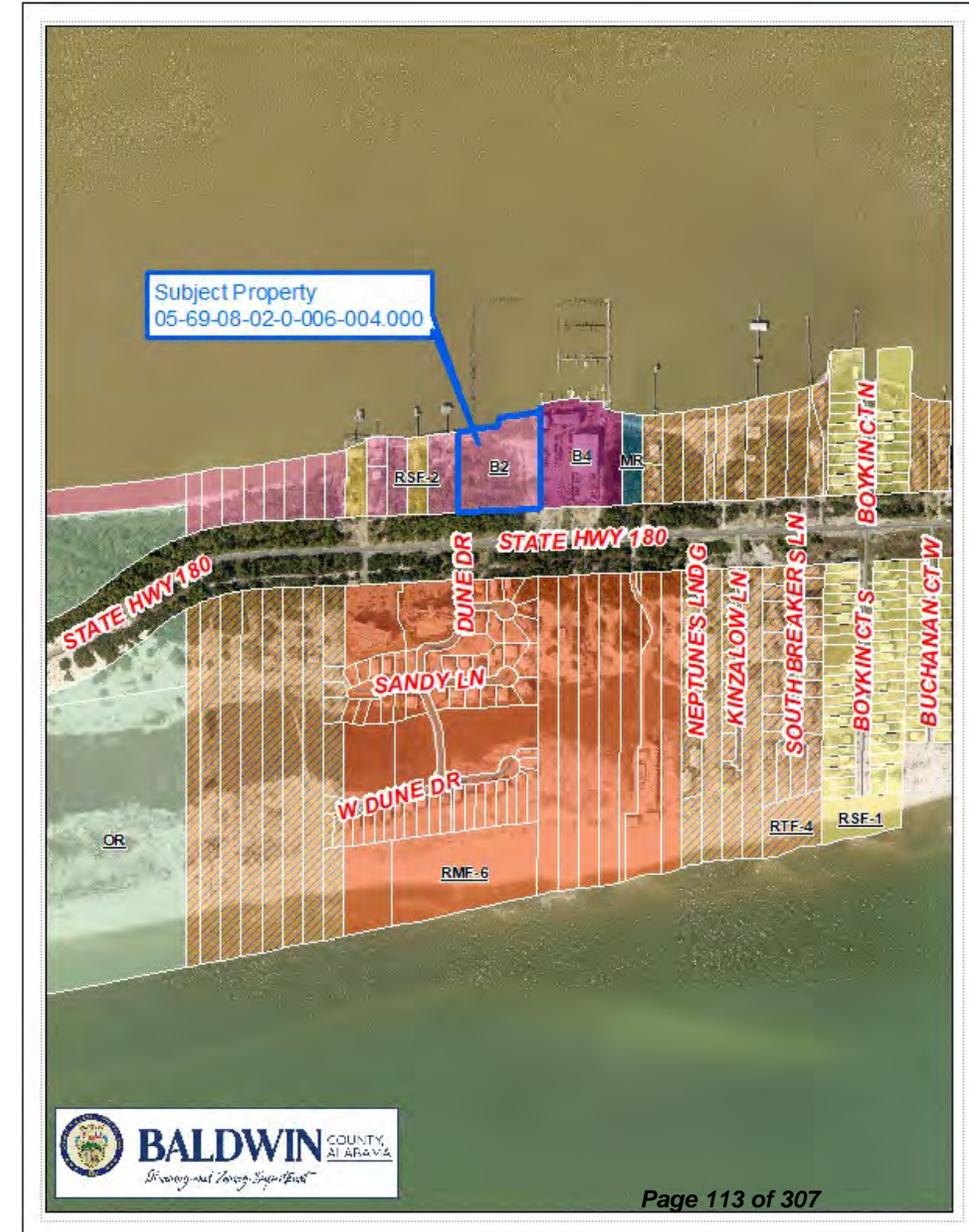
Lead Staff: Celena Boykin, Senior Planner

Request before Planning Commission:

Rezone 4+/- acres From B2 to B4

To view maps/plats in higher resolution please visit the "Upcoming Items" Planning and Zoning webpage:

<https://www.baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Z22-13 FORT MORGAN MARINA PROPERTY

Lead Staff: Celena Boykin, Senior Planner

Planning District: 25

Zoned: B2, Neighborhood Business District

Location: Subject property is located on the north side of State Highway 181 (Lots 66-69, Gulf Beach Subdivision "A")

Current Use: Vacant

Acreage: 4 +/- acres

Physical Address: 1577 State Highway 180, Gulf Shores, AL

Applicant: Fort Morgan Marina, LLC

Owner: Fort Morgan Marina, LLC

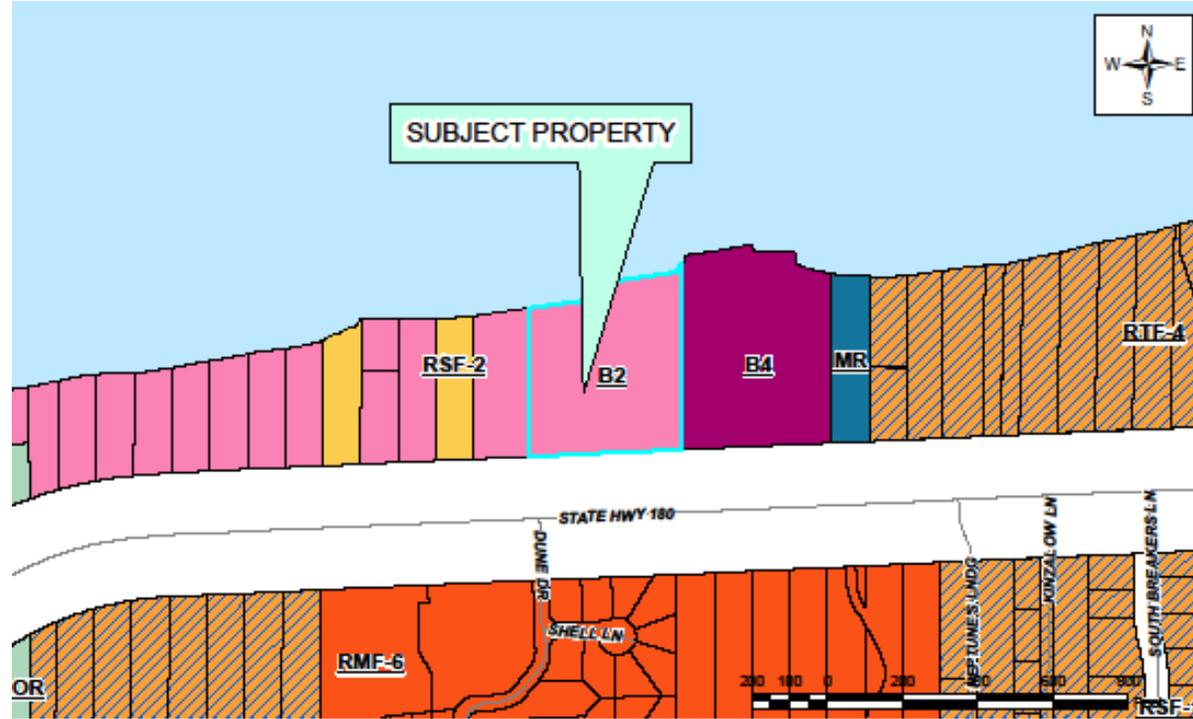
Proposed Zoning: B4, Major Commercial District

Proposed Use: Commercial

Applicant's Request: Make all 8 lots the same zoning and a future 24 pad, class "A" motor coach resort

Online Case File Number: The official case number for this application is Z22-13, however, when searching online CitizenServe database, please use Z22-000013.

Locator Map



Site Map



Adjacent Zoning

North	N/A
South	St Hwy 180 and RMF-6, Multi Family
East	B4, Major Commercial
West	B2, Neighborhood Business

Adjacent Land Use

North	Mobile Bay
South	Road & Multi Family
East	Commercial (Tacky Jack's and Marina)
West	Residential

Property Images



Current Zoning Requirements

Section 5.2 B-2, Neighborhood Business District

5.2.1 *Purpose and intent.* The purpose and intent of the B-2 Neighborhood Business District is to provide a limited commercial convenience facility, servicing nearby residential neighborhoods, planned and developed as an integral unit.

5.2.2 *Permitted uses.* The following uses are permitted as of right, or as uses accessory to permitted uses in the B-2, Neighborhood Business District, conditioned on the Commission Site Plan Approval requirements of Section 18.9:

- | | |
|--|--|
| (a) All uses permitted by right under the B-1 zoning designation | (t) Drug store (not to exceed 8,000 square feet) |
| (b) Antique store | (u) Fixture sales |
| (c) Apparel and accessory store | (v) Floor covering sales or service |
| (d) Appliance store including repair | (w) Florist |
| (e) Art gallery or museum | (x) Fraternity or sorority house |
| (f) Art supplies | (y) Fruit and produce store |
| (g) Bait store | (z) Gift shop |
| (h) Bakery retail | (aa) Hardware store, retail |
| (i) Bed and breakfast or tourist home | (bb) Ice cream parlor |
| (j) Bicycle sales and service | (cc) Interior decorating shop |
| (k) Boarding, rooming or lodging house, dormitory | (dd) Laundry, self service |
| (l) Book store | (ee) Lawnmower sales and service |
| (m) Café | (ff) Locksmith |
| (n) Camera and photo shop | (gg) Music store |
| (o) Candy store | (hh) Neighborhood convenience store |
| (p) Catering shop or service | (ii) News stand |
| (q) Copy shop | (jj) Paint and wallpaper store |
| (r) Delicatessen | (kk) Picture framing and/or mirror silvering |
| (s) Discount/variety store (not to exceed 8,000 square feet) | (ll) Restaurant |

- | | |
|---------------------------|--------------------|
| (mm) Shoe repair shop | (qq) Tailor shop |
| (nn) Shoe store | (rr) Tobacco store |
| (oo) Sign shop | (ss) Toy store |
| (pp) Sporting goods store | |

5.2.3 *Conditional Use Commission Site Plan Approval.* The following uses are permissible as Commission Site Plan Approval uses in the B-2, Neighborhood Business District, subject to the standards and procedures established in Section 18.9: *Commission Site Plan Approval:*

- | | |
|--|---|
| (a) Air conditioning sales and service | (q) Park or playground |
| (b) Amusement arcade | (r) Pawn shop |
| (c) Animal clinic/kennels | (s) Pet shop |
| (d) Arboretum | (t) Plumbing shop |
| (e) Ball field | (u) Restaurant sales and supplies |
| (f) Business machine sales and service | (v) Riding academy |
| (g) Car wash | (w) Rug and/or drapery cleaning service |
| (h) Country club | (x) Seafood store |
| (i) Discount/variety store (exceeding 8,000 square feet) | (y) Swimming pool (outdoor) |
| (j) Drug store (exceeding 8,000 square feet) | (z) Tennis court (outdoor) |
| (k) Exterminator service office | (aa) Water storage tank |
| (l) Golf course | (bb) Wildlife sanctuary |
| (m) Liquor store | (cc) Wireless telecommunication facility |
| (n) Mini warehouse | (dd) Dwellings, in combination with commercial uses, subject to the standards listed under Section 5.2.4: <i>Mixed uses</i> |
| (o) Night club, bar, tavern | |
| (p) Office equipment and supplies sales | |

5.2.4 *Mixed uses.* Mixed residential and commercial uses may be permissible as Commission Site Plan in the B-2 Neighborhood Business District, subject to the standards

Current Zoning Requirements

and procedures established in *Section 18.9: Commission Site Plan Approval*, and subject to the following criteria:

- (a) The commercial uses in the development may be limited in hours of operation, size of delivery trucks and type of equipment.
- (b) The residential uses shall be designed so that they are compatible with the commercial uses.
- (c) Residential and commercial uses shall not occupy the same floor of a building.
- (d) Residential and commercial uses shall not share the same entrances.
- (e) The number of residential dwelling units shall be controlled by the dimensional standards of the B-2 district. A dwelling unit density of .5 (1/2) dwelling units per 1,000 square feet of the gross floor area devoted to commercial uses, may be allowed (structures with less than 2,000 square feet devoted to commercial uses shall be allowed one dwelling unit). In no case, however, shall the overall dwelling unit density for a mixed use project exceed 4 dwelling units per acre.
- (f) Building height shall not exceed three stories.
- (g) A minimum of 30 percent of the mixed-use development shall be maintained as open space. The following may be used to satisfy the open space requirements: areas used to satisfy water management requirements, landscaped areas, recreation areas, or setback areas not covered with impervious surface or used for parking (parking lot islands may not be used unless existing native vegetation is maintained).
- (h) The mixed commercial/residential structure shall be designed to enhance compatibility of the commercial and residential uses through such measures as, but not limited to, minimizing noise associated with commercial uses; directing commercial lighting away from residential units; and separating pedestrian and vehicular access ways and parking areas from residential units, to the greatest extent possible.

- (i) Off-street parking spaces for the mixed residential and commercial uses shall be the sum total of the residential and commercial uses computed separately (See *Article 15: Parking and Loading Requirements*).

5.2.5 *Area and dimensional ordinances.*

Maximum Height of Structure in Feet	35
Maximum Height of Structure in Habitable Stories	2 1/2
Minimum Front Yard	30-Feet
Minimum Rear Yard	25-Feet
Minimum Side Yards	15-Feet
Minimum Lot Area	20,000 Square Feet
Maximum Impervious Surface Ratio	.60
Minimum Lot Width at Building Line	80-Feet
Minimum Lot Width at Street Line	60-Feet

5.2.6 *Lighting standards.* The maximum height of exterior lights shall be 25-feet. The intensity, location, and design of lighting shall be such that not more than one foot candle of light is cast upon adjacent property or public rights-of-way. Light fixtures shall be designed to cast light downward. Where necessary, cut-off devices shall be used to minimize glare off premises. No light shall be aimed directly toward a property designated residential, which is located within 200-feet of the source of the light.

5.2.7 *Distance between structures.* If there is a separation between any two principal structures on the same parcel, said separation shall be a minimum of 15-feet or a distance equal to one-half the sum of their heights, whichever is the greater.

5.2.8 *Landscaping and buffering.* All B-2, Neighborhood Business District, uses shall meet the requirements of *Article 17: Landscaping and Buffers*.

Proposed Zoning Requirements

Section 5.4 B-4, Major Commercial District

5.4.1 *Purpose and intent.* The B-4, Major Commercial District, is intended for business uses which require a location with access to an arterial or major collector road (as defined by the Functional Classification System attached as Appendix) or which have close proximity to major intersections. Due to the nature of the businesses permitted within the B-4 district, this zoning designation should be limited to property fronting on principal arterials, major arterials, or minor arterials. Ingress and egress to a roadway should promote safe and smooth traffic flow for the general traveling public. It is also the intent of this district to provide areas for businesses which, because of their intensity, outside storage areas, or large volumes of traffic, would have significant negative impacts on adjoining properties. These uses often have an actual or potential negative impact on surrounding properties due to late hours of operation, noise, and or light.

5.4.2 *Permitted uses.* The following uses are permitted as of right, or as uses accessory to permitted uses in the B-4, Major Commercial District, conditioned on the Commission Site Plan Approval requirements of Section 18.9.:

- | | |
|--|--|
| (a) All uses permitted by right under the B-3 zoning designation | (l) Flea market |
| (b) Amusement Park | (m) Home improvement center |
| (c) Auto convenience market | (n) Hotel or motel |
| (d) Automobile parts sales | (o) Manufactured housing sales, service and repair |
| (e) Automobile repair (mechanical and body) | (p) Marina |
| (f) Automobile sales | (q) Motorcycle sales service and repair |
| (g) Automobile service station | (r) Movie theatre |
| (h) Automobile storage (parking lot, parking garage) | (s) Recreational vehicle park |
| (i) Boat sales and service | (t) Recreational vehicle sales, service and repair |
| (j) Building materials | (u) Restaurant, drive-in |
| (k) Farm implements | (v) Restaurant, fast food |

5.4.3 *Conditional Use Commission Site Plan Approval.* The following uses are permissible as Commission Site Plan Approval uses in the B-4, Major Commercial District, subject to the standards and procedures established in Section 18.9: *Commission Site Plan Approval.*

- | | |
|-----------------------------------|--|
| (a) Airport | (f) Broadcasting station |
| (b) Ambulance/EMS service | (g) Bus and railroad terminal facility |
| (c) Armory | (h) College or university |
| (d) Auditorium, stadium, coliseum | (i) Convalescent or nursing home |
| (e) Barge docking | (j) Correctional or penal institution |

- (k) Dog pound
- (l) Electric power substations
- (m) Freight depot, rail or truck
- (n) Hospital
- (o) Landfill
- (p) Maintenance facility/storage yard for schools, government agencies, and telephone and cable companies
- (q) Racetrack
- (r) Radio and television station and transmitting tower
- (s) Railroad facility
- (t) Sewage treatment plant
- (u) Taxi dispatching station
- (v) Taxi terminal
- (w) Telephone exchange
- (x) Water or sewage pumping station
- (y) Water storage tank
- (z) Wireless telecommunication facility
- (aa) Zoo

5.4.4 Area and dimensional ordinances.

Maximum Height of Structure in Feet	40
Maximum Height of Structure in Habitable Stories	3
Minimum Front Yard	40-Foot
Minimum Rear Yard	25-Foot
Minimum Side Yards	15-Foot
Minimum Lot Area	20,000 Square Feet
Maximum Impervious Surface Ratio	.70
Minimum Lot Width at Building Line	80-Foot
Minimum Lot Width at Street Line	60-Foot

5.4.5 *Lighting standards.* The maximum height of exterior lights shall be 25-feet. The intensity, location, and design of lighting shall be such that not more than one foot candle of light is cast upon adjacent property or public rights-of-way. Light fixtures shall be designed to cast light downward. Where necessary, cut-off devices shall be used to minimize glare off premises. No light shall be aimed directly toward a property designated residential, which is located within 200-feet of the source of the light.

5.4.6 *Distance between structures.* If there is a separation between any two principal structures on the same parcel, said separation shall be a minimum of 15-feet or a distance equal to one-half the sum of their heights, whichever is the greater.

5.4.7 *Landscaping and buffering.* All B-4, Major Commercial District, uses shall meet the requirements of Article 17, *Landscaping and Buffers.*

1.) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?

The subject property is currently vacant. The property adjoins State Highway 180 to the south. The adjoining properties are residential and commercial. Adjoining property to the east, which is zoned B-4, Major Commercial District, is the location of a marina and Tacky Jacks. Property to the west, which is zoned B-2, Neighborhood Business District, is the location for two single family dwellings which were constructed prior to the adoption of zoning in Planning District 25.

2.) Has there been a change in the conditions upon which the original zoning designation was based? Have land uses or conditions changed since the zoning was established?

The zoning for Planning District 25 was approved by the Baldwin County Commission on November 16, 1993. At that time, the subject property was zoned B-1. Currently, B-1 is a Professional Business designation which is primarily oriented towards offices. The original B-1 as found in Planning District 25, however, was described as a General Business District. It allowed uses which are more consistent with the current B-2 and B-3 designations. A full-service marina was also allowed. In 1999, the consolidated zoning ordinance was adopted, and the designation for the subject property was changed to B-2. This was done in an effort to bring about consistency between all zoned Planning Districts, as well as consistency with the commercial designations as they were then written. The change in zoning designation was not a rezoning. One difference with B-2 versus the original B-1 was that marinas were not permitted uses.

On August 8, 2005, the subject property and the adjacent marina property were annexed into the City of Gulf Shores. The marina property had been rezoned to B-4 earlier in 2005. Upon de-annexation, the subject property was returned to its B-2 designation and the marina property was returned to its B-4 designation. These parcels were not rezoned following the de-annexation.

3.) Does the proposed zoning better conform to the Master Plan?

The Baldwin County Master Plan, 2013, provides a future land use designation of commercial for the subject property. Approval of this request will not necessitate a change to the future land use designation.

4.) Will the proposed change conflict with existing or planned public improvements?

Staff is unaware of any planned public improvements.

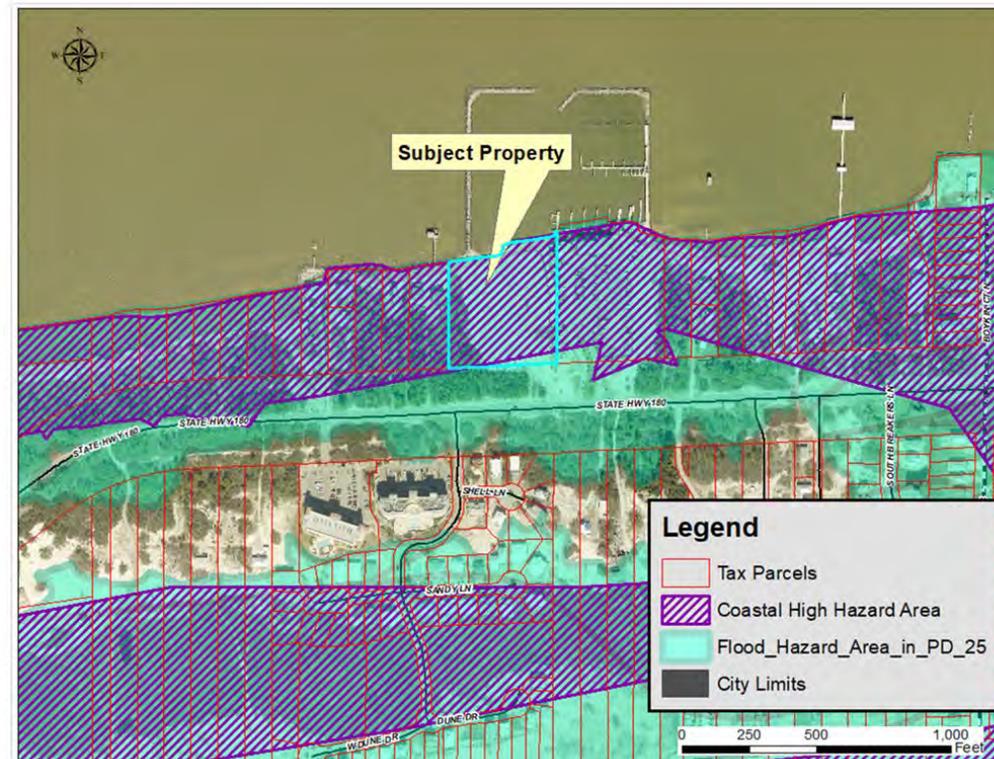
5.) Will the proposed change adversely affect traffic patterns or congestion?

Per the Federal Highway Administration, the functional classification of Hwy 180 is major collector. Access to this site would require approval from the Alabama Department of Transportation (ALDOT). Since definite plans have not been proposed for the subject property, it is hard to say if the proposed change will adversely affect traffic patterns or congestion.

Staff Analysis and Findings

6.) Is the proposed amendment consistent with the development patterns in the area and appropriate for orderly development of the community? The cost of land or other economic considerations pertaining to the applicant shall not be a consideration in reviewing the request.

There are a variety of development patterns in this area ranging from single family to multi family and commercial. Staff feels this is not consistent with development patterns because Planning District 25 prohibits increase in intensity when located in Coastal High Hazard and Flood Hazard Areas. The subject property is located in the Coastal High Hazard Area of Fort Morgan and in the Flood Hazard Area. Planning District 25 local provisions states the purpose, objectives, and considerations when a parcel falls in these two areas in Fort Morgan (this text was added to the local provisions for 25 in October 2019). See next slides for text.



Staff Analysis and Findings

(g) Planning and Zoning Considerations in the Coastal High Hazard Area and Flood Hazard Areas in Planning District 25 (Fort Morgan).

1. Purpose:

A. Fort Morgan contains areas of significant natural beauty, history and unique wildlife. With such assets comes unique vulnerabilities. These vulnerabilities include, but are not limited to, tropical storm damage, flooding, wetland habitat, protected or endangered species, Native American archeological sites, and National Historic Landmarks. Further, Act 2015-411, which amends Act 91-719, requires "In performing its functions related to planning and zoning, the Baldwin County Planning and Zoning Commission and the Baldwin County Commission shall specifically consider the historical nature of existing development within the Fort Morgan District, the historical and environmental character of the district, and the unique needs of the district related to hurricane safety and infrastructure for potential evacuation."

B. The most imminent threat is to property and lives subject to tropical storm events. The Coastal High Hazard Area (CHHA) is an area particularly vulnerable to the effects of damage from tropical storm events. The CHHA contains the most vulnerable areas of Fort Morgan and thus protection and oversight is needed and justified to protect future populations and property.

2. Objectives of these considerations in the Coastal High Hazard Area (CHHA) and Flood Hazard Area (FHA) are to:

A. Limit the amount of infrastructure, both private and public in the Coastal High Hazard Area (CHHA)

B. Limit the magnitude of public loss and mitigation of private loss and investment

C. Increase the degree of protection to private property and lives of residents and visitors in storm events

D. Reduce the risk and exposure of lives and property during storm events

3. Coastal High-Hazard Area Defined:

The Coastal High-Hazard Area (CHHA) of Baldwin County is: "the area below the elevation of the Category 1 Storm Surge Line as established by a Sea, Lake, and Overland Surges from Hurricane (SLOSH) computerized storm surge model." Baldwin County will use the CHHA Map, provided by National Oceanic and Atmospheric Administration (NOAA), as the delineation of the CHHA and will use the most current SLOSH model to maintain the map. Additionally, in the interest of public safety regarding ingress and egress from and through said hazard areas, any "enclaves" which are not located in either the flood zone or Category 1 storm surge areas, but are surrounded by such hazard areas, will be considered as part of the Coastal Hazard Area. The CHHA Map is attached herein as attachment "A". Because the boundaries of the CHHA are subject to change, site design and building typology in the CHHA will be based on the CHHA line in effect at the time of development. In addition to the CHHA, areas subject to this consideration also are V-Zones¹ and Coastal Barrier Resources System² (CBRS) areas as indicated on the FEMA Flood Maps.

<http://noaa.maps.arcgis.com/apps/MapSeries/index.html?appid=d9ed7904dbec441a9c4dd7b277935fad&entry=1>

<https://alabamaflood.com/map>

4. Rezoning Considerations in the Coastal High Hazard Area of Fort Morgan:

¹ According to FEMA and the National Flood Insurance Program, any building located in an A or V zone is considered to be in a Special Flood Hazard Area, and is lower than the Base Flood Elevation. V zones are the most hazardous of the Special Flood Hazard Areas. V zones generally include the first row of beachfront properties. The hazards in these areas are increased because of wave velocity - hence the V designation. Flood insurance is mandatory in V zone areas.

² The Coastal Barrier Resources Act (CBRA) of 1982 established the John H. Chafee Coastal Barrier Resources System (CBRS), a defined set of coastal barrier units located along the Atlantic, Gulf of Mexico, Great Lakes, Puerto Rico, and U.S. Virgin Island coasts. These areas are delineated on a set of maps that are enacted into law by Congress and maintained by the Department of the Interior through the U.S. Fish and Wildlife Service (Service). Most new Federal expenditures and financial assistance are prohibited within the CBRS. The prohibition that is most significant to homeowners and insurance agents is the denial of Federal flood insurance through the National Flood Insurance Program (NFIP) for new or substantially improved structures within the CBRS. CBRA does not prevent development, and it imposes no restrictions on development conducted with non-Federal funds. Congress enacted CBRA to minimize the loss of human life, wasteful Federal expenditures, and the damage to natural resources associated with coastal barriers.

Staff Analysis and Findings

Increases in density and intensity through rezoning or similar land use changes in the Coastal High Hazard Area (CHHA) in Fort Morgan are prohibited.

5. Rezoning Considerations in Flood Hazard Areas of Fort Morgan:

Increases in density and intensity through rezoning or similar land use changes in the Flood Hazard Areas (FHA) in Fort Morgan should be limited to low density single family uses.

<https://alabamaflood.com/map>

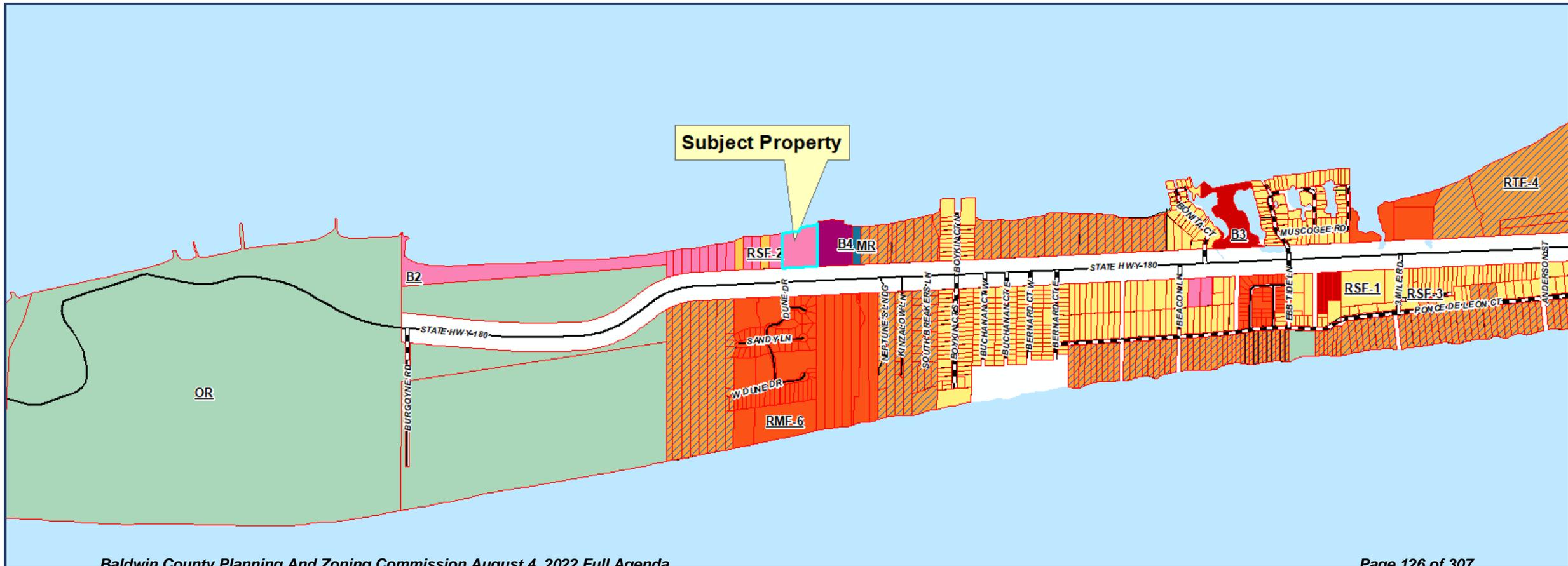
6. Development Exemptions and Clustering

Lots of record, as defined by the Baldwin County Subdivision Regulations, may be developed in accordance with subdivision regulations. When properties contain either CHHA or FHA areas, clustering of development through Planned developments, away from areas of highest hazard exposure is strongly encouraged. Lands outside the clustered development should be set aside through conservation easements or similar methods of preservation.

Staff Analysis and Findings

7.) Is the proposed amendment the logical expansion of adjacent zoning districts?

This area of Planning District 25 consists of a variety of zoning districts. Adjacent properties to the west are zoned B2 but there are two single family homes the property. The property to the east is zoned B4.



Staff Analysis and Findings

8.) Is the timing of the request appropriate given the development trends in the area?

Staff believes that timing is not an issue.

9.) Will the proposed change adversely impact the environmental conditions of the vicinity or the historic resources of the County?

Staff is unaware of any historic resources that would be adversely impacted by this request. Please refer to question 11 and comments from Scott Brown with ADEM.

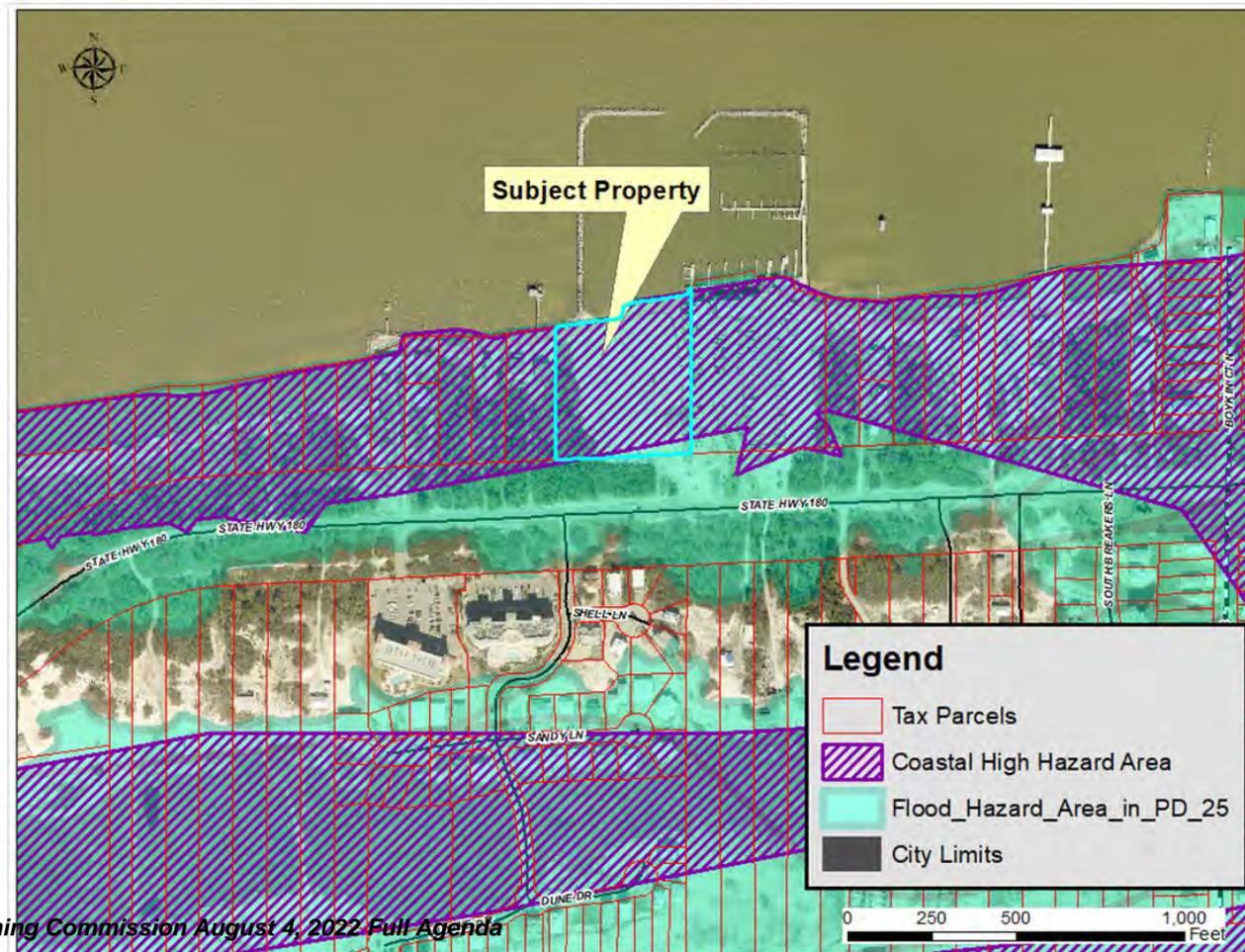
10.) Will the proposed change adversely affect the health, safety and welfare of the County and the vicinity?

Staff anticipates no adverse impacts. Access to this site would require approval from ALDOT.

Staff Analysis and Findings

11.) Other matters which may be appropriate.

The subject property is located in the Coastal High Hazard Area of Fort Morgan and in the Flood Hazard Area. Planning District 25 local provisions states the purpose, objectives, and considerations when a parcel falls in these two areas in Fort Morgan (this text was added to the local provisions for 25 in October 2019). See next slide for text.



Agency Comments

ALDOT, Michael Smith:

- Proposing to build an RV resort
- Property is next to Tacky Jacks in Fort Morgan
- 400' of frontage so a single access will be allowed
- There is an existing drive to the east for this property
- Currently vacant with no buildings
- Site plan doesn't give me any information, just shows what is currently out there

Not knowing this size of the RV resort makes it a bit tricky, depending on the size they may need a TIS, but there would definitely be an access permit required to install the RV resort. Once we get the site plan sent to us we can determine the full impact and requirements.

ADEM, Scott Brown: This parcel is located in the defined coastal area of Alabama (ADEM Admin. Code r. 335-8-1-.02([k])) and is therefore subject to all the enforceable policies of the Alabama Coastal Area Management Program. A desktop review indicates the proliferation of wetlands on the parcel. Coastal wetlands are highly regulated coastal resources. It is the applicant's responsibility to verify the presence/absence of coastal wetlands on the parcel and to avoid any impacts to those resources. In no case may those areas delineated as wetlands be impacted by any development activity on the parcel without prior review and pre-approval by this office.

The parcel size is described as 4+/- acres. Any new development which is or will be greater than 5 acres requires an individual ADEM Coastal Program permit pursuant to ADEM Admin. Code r. 335-8-1-.11 and 335-8-2-.11.

Baldwin County Subdivision– Mary Booth: No Comments

Agency Comments

Baldwin County Highway Department:

Proposed development of a future RV park will need to follow the County subdivision process, including analysis of drainage and traffic impacts. ALDOT maintains State Hwy 180 and will need to be consulted regarding connection.

Fort Morgan Planning and Zoning Advisory Committee, Chuck Scott:

The panel voted 2-1 to recommend approval of this request

The member opposing this approval is opposed to development in West Fort Morgan of any type and believes the additional traffic, specifically up to 24 Motor Homes could create an emergency evacuation issue.

I strongly support this variance being granted

I met with 2 of the principals including the operating partner at length onsite

This prime area will be developed further and the proposed RV park for Class A Motor Homes will actually add less traffic than any other type of new development I can envision

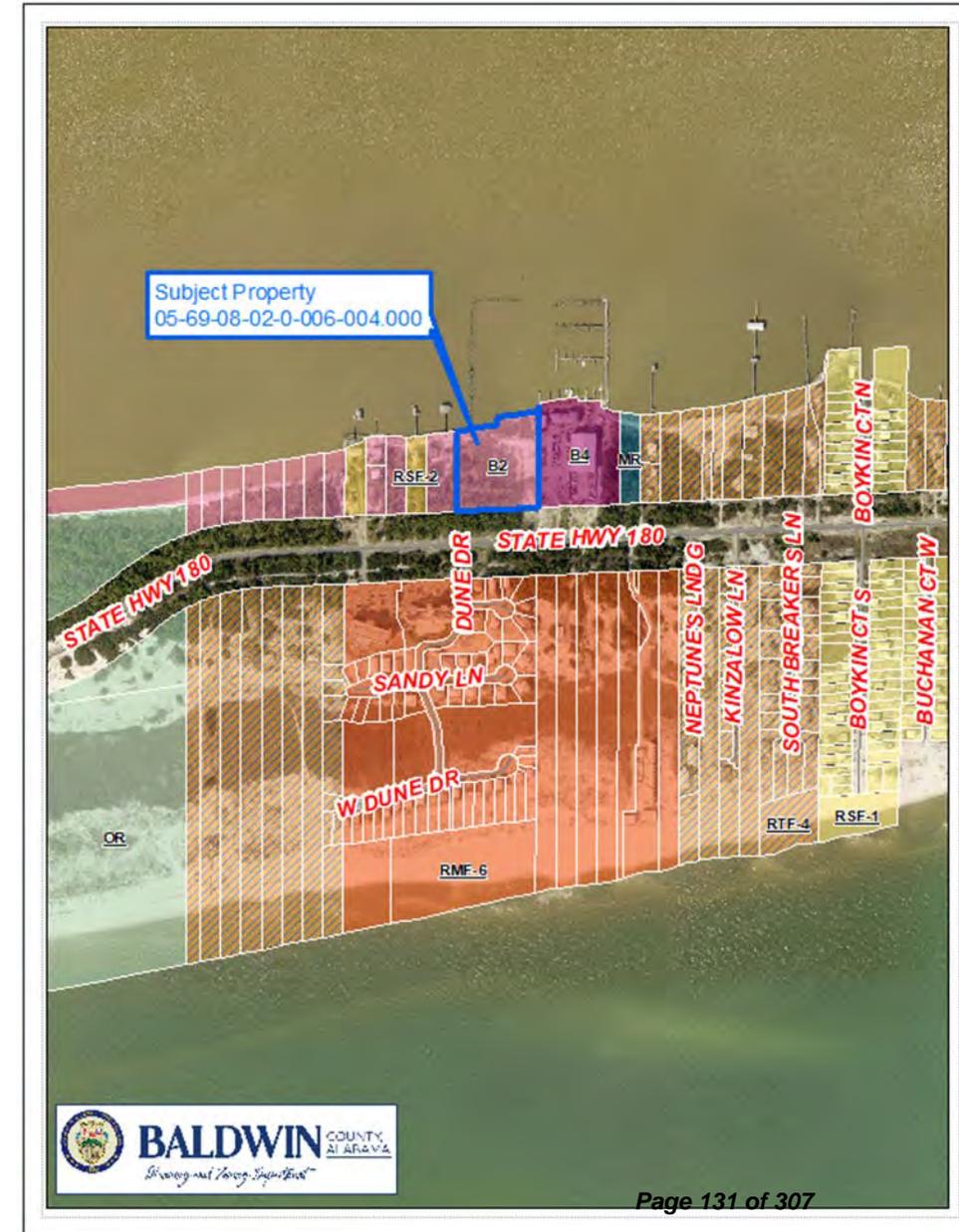
I believe the continued development on this site is possibly the best and highest use for the property

Z22-13 FORT MORGAN MARINA PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

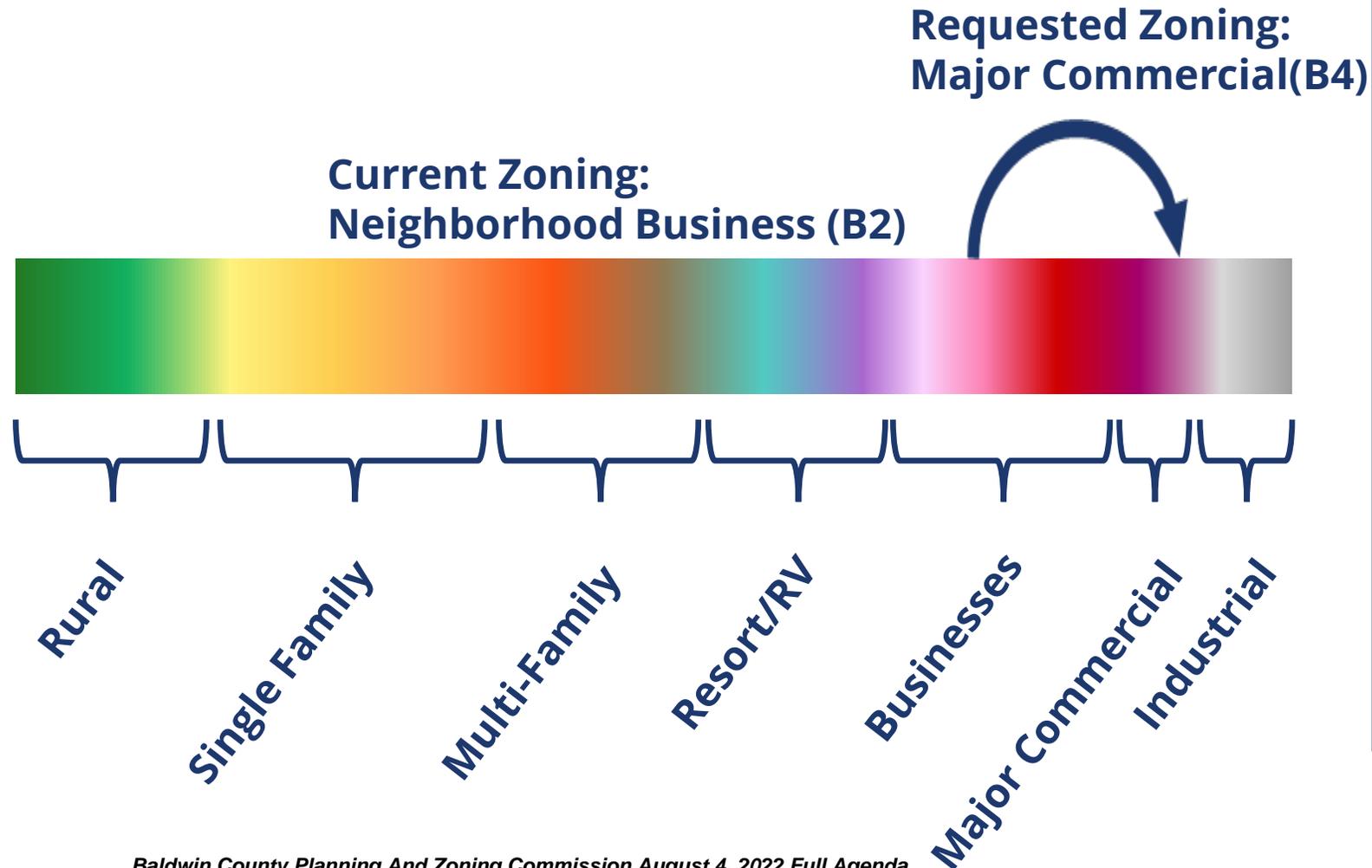
Staff's Summary and Comments:

As stated previously, the subject property is currently zoned B2, Neighborhood Business District, and consists of approximately 4 acres. The designation of B-4, Major Commercial District, has been requested in order to match the adjacent zoning for the marina and the other commercial uses on the adjacent property. The applicant would also like to develop a 24 pad class "A" motor coach resort in the future. A low density RV park is allowed in B2 zoning with Commission Site Plan approval. The subject property is also located in the Coastal High Hazard Area of Fort Morgan and in the Flood Hazard Area. The considerations for rezonings in this area are: increase in intensity through rezoning are prohibited and be limited to low density single family uses.



Z22-13 FORT MORGAN MARINA PROPERTY

Lead Staff: Celena Boykin,
Senior Planner



Staff's Recommendation:

Unless information to the contrary is revealed at the public hearing, staff feels this rezoning application should be recommended for **Denial**.*

**On rezoning applications, the Planning Commission will be making a recommendation to the County Commission.*

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BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

RE-ZONING REQUEST

Z22-14, LAZZARI PROPERTY

AUGUST 4, 2022

PRESENTED BY: CORY RHODES, PLANNER

Z22-14 LAZZARI PROPERTY

Lead Staff: Cory Rhodes, Planner

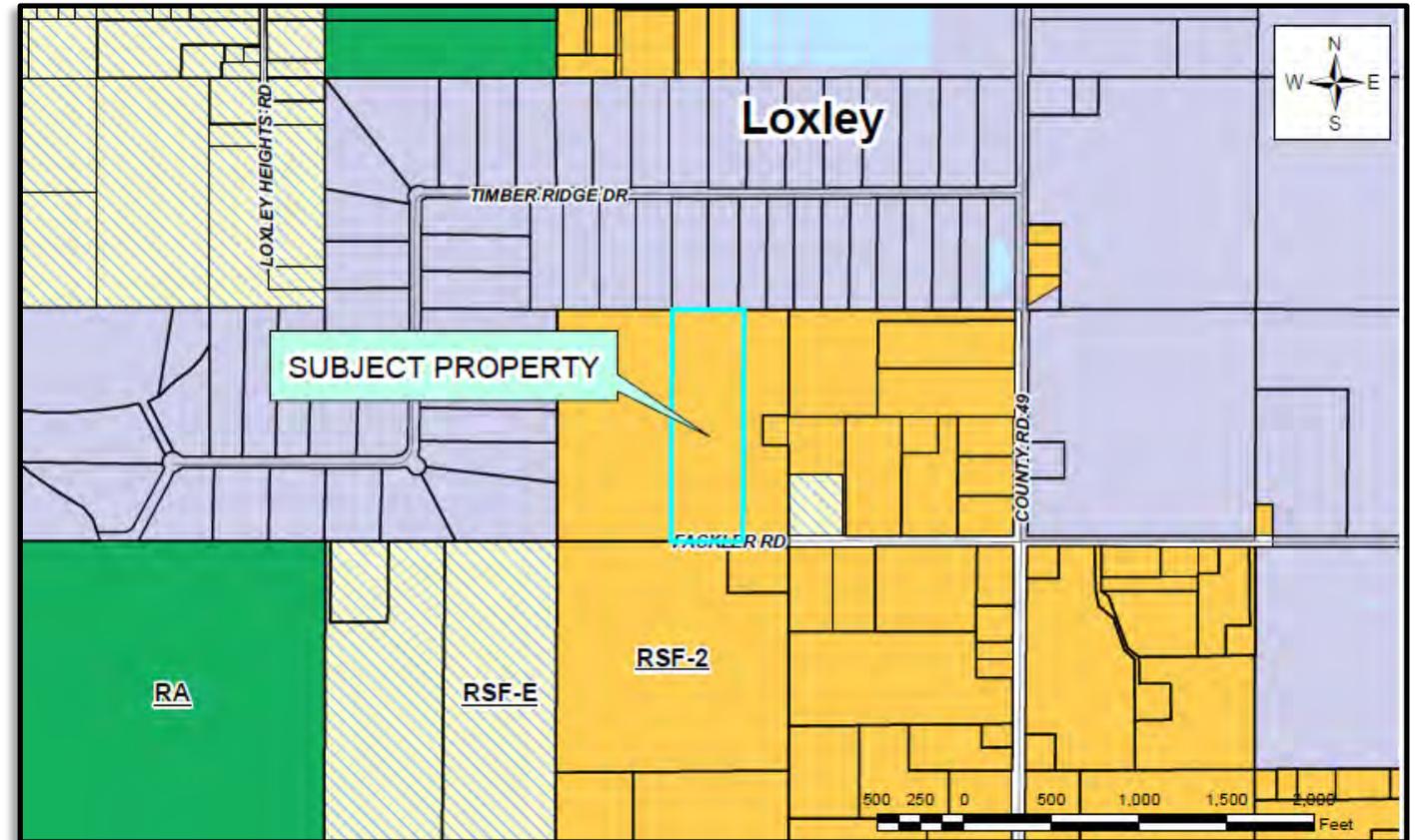
Request before Planning
Commission:

Rezone 12.00 acres From
RSF-2 to RA

Parcel# 05-42-05-15-0-000-
033.000

To view maps/plats in higher resolution
please visit the "Upcoming Items" Planning
and Zoning webpage:

[https://baldwincountyal.gov/departments/
planning-zoning/meeting-agenda](https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda)

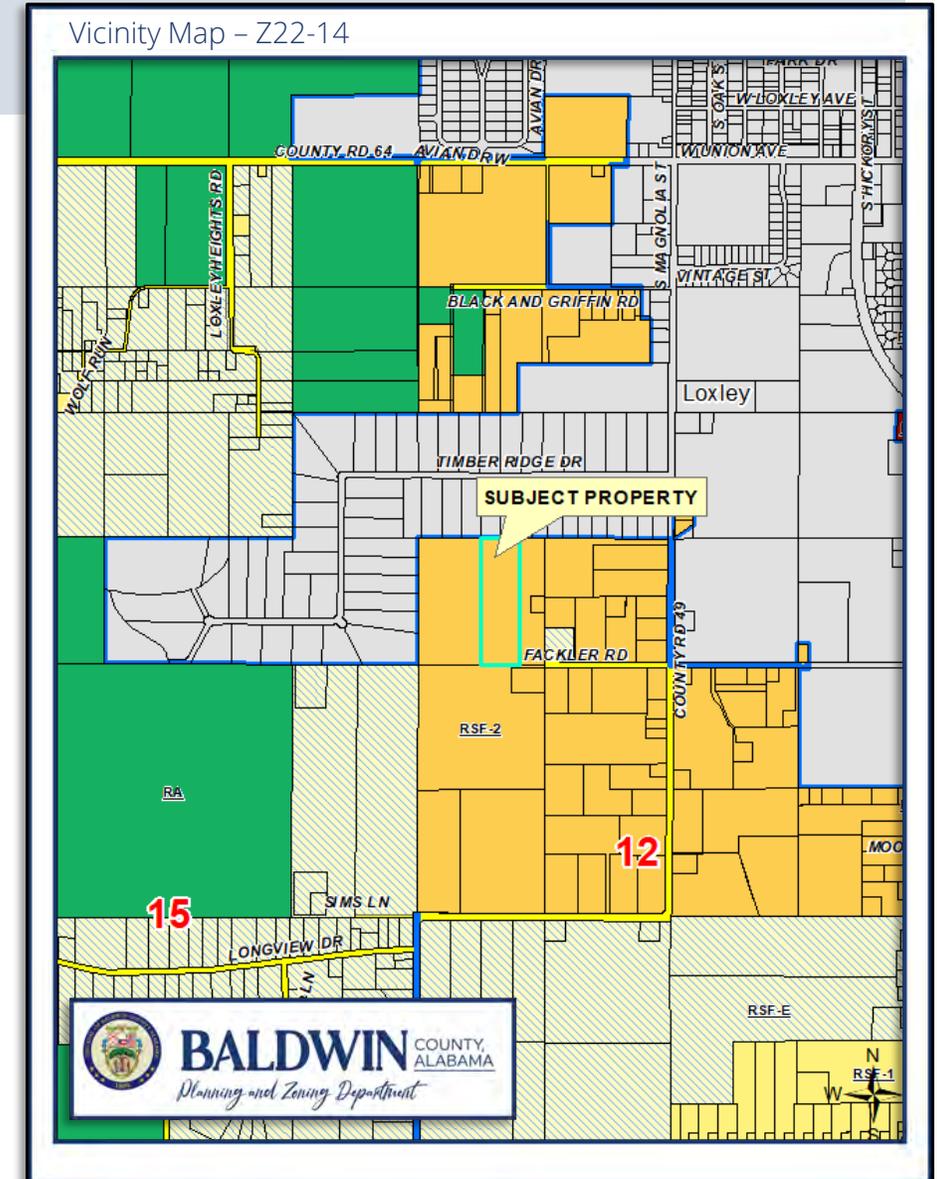


Z22-14 LAZZARI PROPERTY

Lead Staff: Cory Rhodes, Planner

RE-ZONING REQUEST FROM RSF-2 TO RA

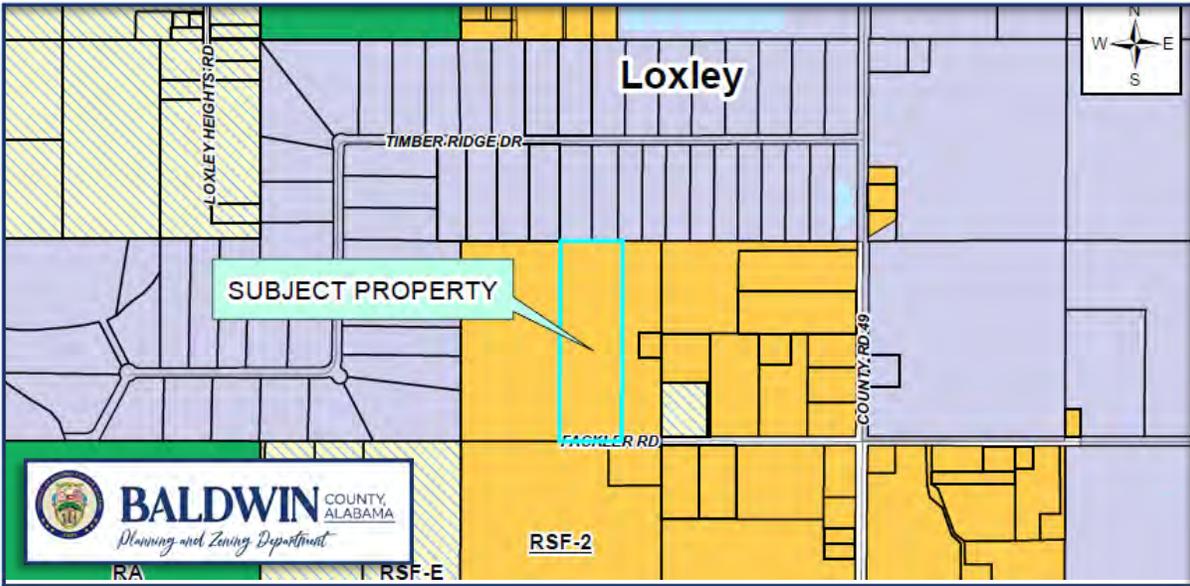
- **Planning District:** 12 **Zoned:** RSF-2
- **Location:** Subject property is located west of CR 49 and south of Timber Ridge Drive in Loxley
- **Current Use:** Vacant
- **Acreage:** 12
- **Physical Address:** 15163 Fackler Road
- **Applicant:** Timothy Lazzari
- **Owner:** Timothy Lazzari



Locator Map

Site Map

Vicinity Map – Z22-14



Vicinity Map – Z22-14



Adjacent Zoning

Adjacent Land Use

North

N/A

Residential

South

RSF-2, Single Family District

Vacant

East

RSF-2, Single Family District

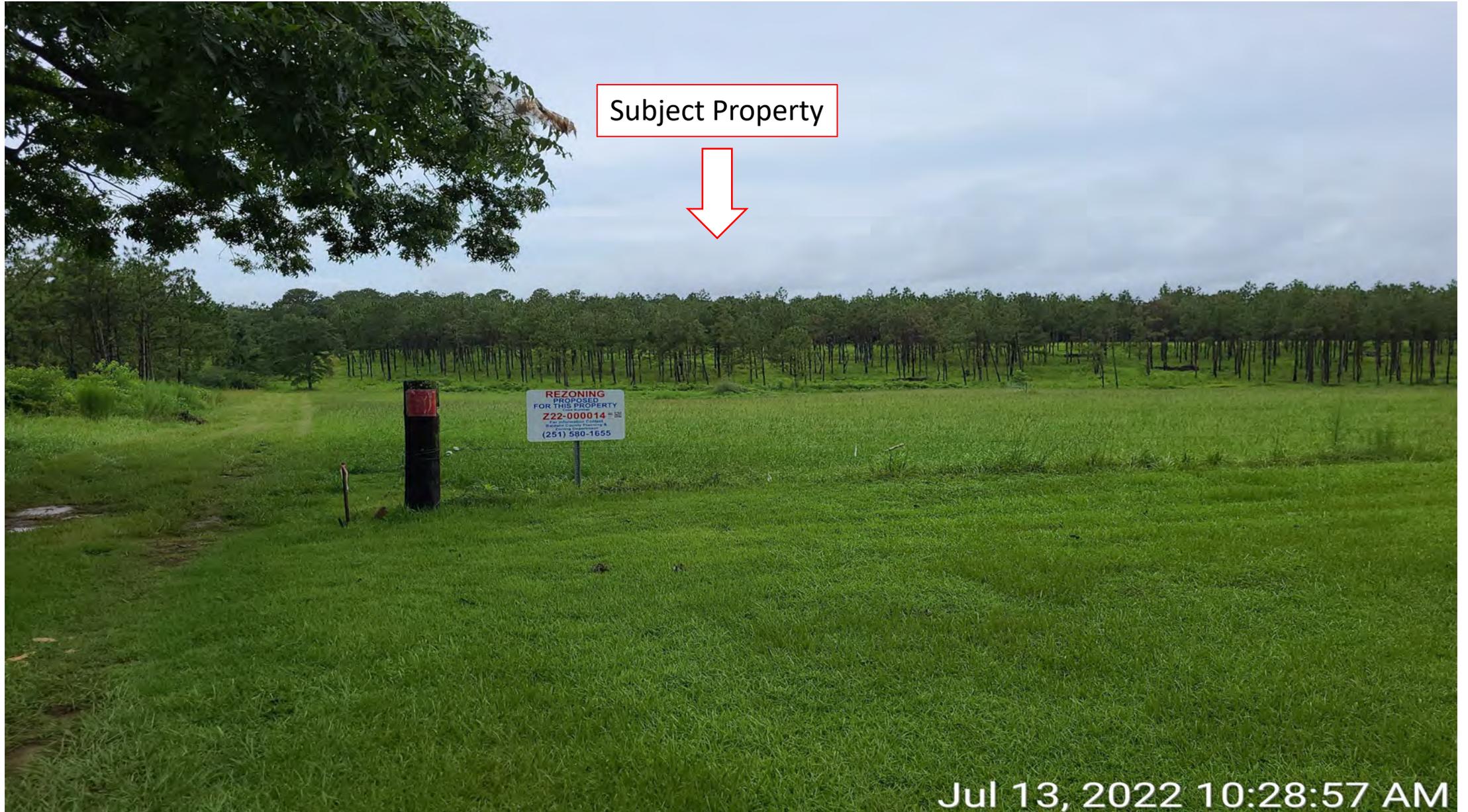
Residential

West

RSF-2, Single Family District

Timberland/Wooded

Property Images



Property Images



Property Images



Jul 13, 2022 10:32:14 AM

Property Images



Property Images



Current Zoning Requirements

Section 4.3 RSF-2, Single Family District

4.3.1 *Generally.* This zoning district is provided to afford the opportunity for the choice of a moderate density residential environment consisting of single family homes.

4.3.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) The following transportation, communication, and utility uses: water well (public or private).
- (c) The following agricultural uses: Silviculture.
- (d) Single family dwellings including manufactured housing and mobile homes.
- (e) Accessory structures and uses.
- (f) The following institutional use: church or similar religious facility.

4.3.3 *Conditional Use Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by the site plan approval process:

- (a) Outdoor recreation uses.
- (b) The following institutional uses: day care home; fire station; school (public or private).
- (c) The following general commercial uses: country club.
- (d) The following local commercial use: bed and breakfast or tourist home (see *Section 13.10: Bed and Breakfast Establishments*).

4.3.4 *Special exception.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following use and structures designed for such use may be allowed as a special exception: Not Applicable

4.3.5 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35-Feet
Maximum Height in Habitable Stories	2 1/2
Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet
Minimum Side Yards	10-Feet
Minimum Lot Area	15,000 Square Feet
Minimum Lot Width at Building Line	80-Feet
Minimum Lot Width at Street Line	40-Feet
Maximum Ground Coverage Ratio	.35

Proposed Zoning Requirements

Section 3.2 RA Rural Agricultural District

3.2.1 *Generally.* This zoning district provides for large, open, unsubdivided land that is vacant or is being used for agricultural, forest or other rural purposes.

3.2.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) The following transportation, communication, and utility uses: water well (public or private).
- (c) Outdoor recreation uses.
- (d) The following general commercial uses: animal clinic and/or kennel; farm implement sales; farmers market/truck crops; nursery; landscape sales; country club.
- (e) The following local commercial uses: fruit and produce store.
- (f) The following institutional uses: church or similar religious facility; school (public or private).
- (g) Agricultural uses.
- (h) Single family dwellings including manufactured housing and mobile homes.
- (i) Accessory structures and uses.

3.2.3 *Special exceptions.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed as special exceptions: Not Applicable

3.2.4 *Conditional Use Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by the site plan approval process:

- (a) Transportation, communication, and utility uses not permitted by right.
- (b) Institutional uses not permitted by right.
- (c) The following general commercial uses: low density recreational vehicle park (see *Section 13.9: Recreational Vehicle Parks*).

(d) The following local commercial uses: bed and breakfast or tourist home (see *Section 13.10: Bed and Breakfast Establishments*).

3.2.5 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35
Minimum Front Yard	40-Feet
Minimum Rear Yard	40-Feet
Minimum Side Yards	15-Feet
Minimum Lot Area	3 Acres
Minimum Lot Width at Building Line	210-Feet
Minimum Lot Width at Street Line	210-Feet

3.2.6 *Area and dimensional modifications.* Within the RA district, area and dimensional requirements may be reduced, as set forth below, where property is divided among the following legally related family members: spouse, children, siblings, parents, grandparents, grandchildren, or step-related individuals of the same status.

Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet
Minimum Side Yards	10-Feet
Minimum Lot Area	40,000 Square Feet
Minimum Lot Width at Building Line	120-Feet
Minimum Lot Width at Street Line	120-Feet

Staff Analysis and Findings

1.) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?

The subject property is currently zoned RSF-2, Single Family District. Surrounding parcels in the immediate area are zoned RSF-2. The adjacent uses are residential and vacant/timberland. *Staff feels that the requested change is compatible with the surrounding uses.*

2.) Has there been a change in the conditions upon which the original zoning designation was based? Have land uses or conditions changed since the zoning was established?

Planning District 12 came into effect on November 7, 2006. It appears that the subject parcel was zoned RSF-2 at the time Planning District 12 came into effect in 2006 with no rezonings in the area since the original zoning designation was established.

3.) Does the proposed zoning better conform to the Master Plan?

The Baldwin County Master Plan, 2013, provides future land use designations for properties located within the zoned areas of the County. These categories represent the recommendations for the physical development of the unincorporated areas of the County. They are intended for planning purposes only and do not represent the adoption of zoning designations for areas which have not voted their desire to come under the zoning authority of the Baldwin County Commission. Although not legally binding, the future land use designations are evaluated in conjunction with criteria found in the Baldwin County Zoning Ordinance (Zoning Ordinance), the Baldwin County Subdivision Regulations, the Baldwin County Flood Damage Prevention Ordinance and any other ordinances and regulations which the County Commission may adopt.

Staff Analysis and Findings

A future land use designation of *residential* has been provided for the subject property. Single family dwellings, two family (duplex) dwellings, multiple family dwellings, manufactured homes, manufactured housing parks and Planned Residential Developments. Institutional uses, recreational uses and limited neighborhood commercial uses may be included subject to the provisions of the Zoning Ordinance. To the greatest extent possible, residential areas should be accessible to major thoroughfares connecting with work areas, shopping areas and recreational areas. Zoning designations may include RR, RA, CR, RSF-E, RSF-1, RSF-2, RSF-3, RSF-4, RSF-6, RTF-4, RTF-6, RMF-6, RMH and PRO. Approval of the rezoning will result in an amendment to the Future Land Use map to *agricultural*.

4.) Will the proposed change conflict with existing or planned public improvements?

Staff is unaware of any planned public improvements.

5.) Will the proposed change adversely affect traffic patterns or congestion?

Staff is unaware of any adverse affects of traffic patterns or congestion as a result of this proposed change.

6.) Is the proposed amendment consistent with the development patterns in the area and appropriate for orderly development of the community? The cost of land or other economic considerations pertaining to the applicant shall not be a consideration in reviewing the request.

The surrounding land uses are residential and vacant/timberland. The owner would like to be rezoned to RA to allow farm-related structures to reside on the property (metal carport to store tractor), which is not allowed in the current zoning category. Eventually a small garden and home will be constructed.

Staff Analysis and Findings

7.) Is the proposed amendment the logical expansion of adjacent zoning districts?

The surrounding land uses are residential and vacant/timberland. *Staff feels the proposed amendment is consistent with the area.*

8.) Is the timing of the request appropriate given the development trends in the area?

Staff perceives no time factor with this request.

9.) Will the proposed change adversely impact the environmental conditions of the vicinity or the historic resources of the County?

Staff does not anticipate any adverse impacts on environmental conditions of the vicinity or the historic resources of the County.

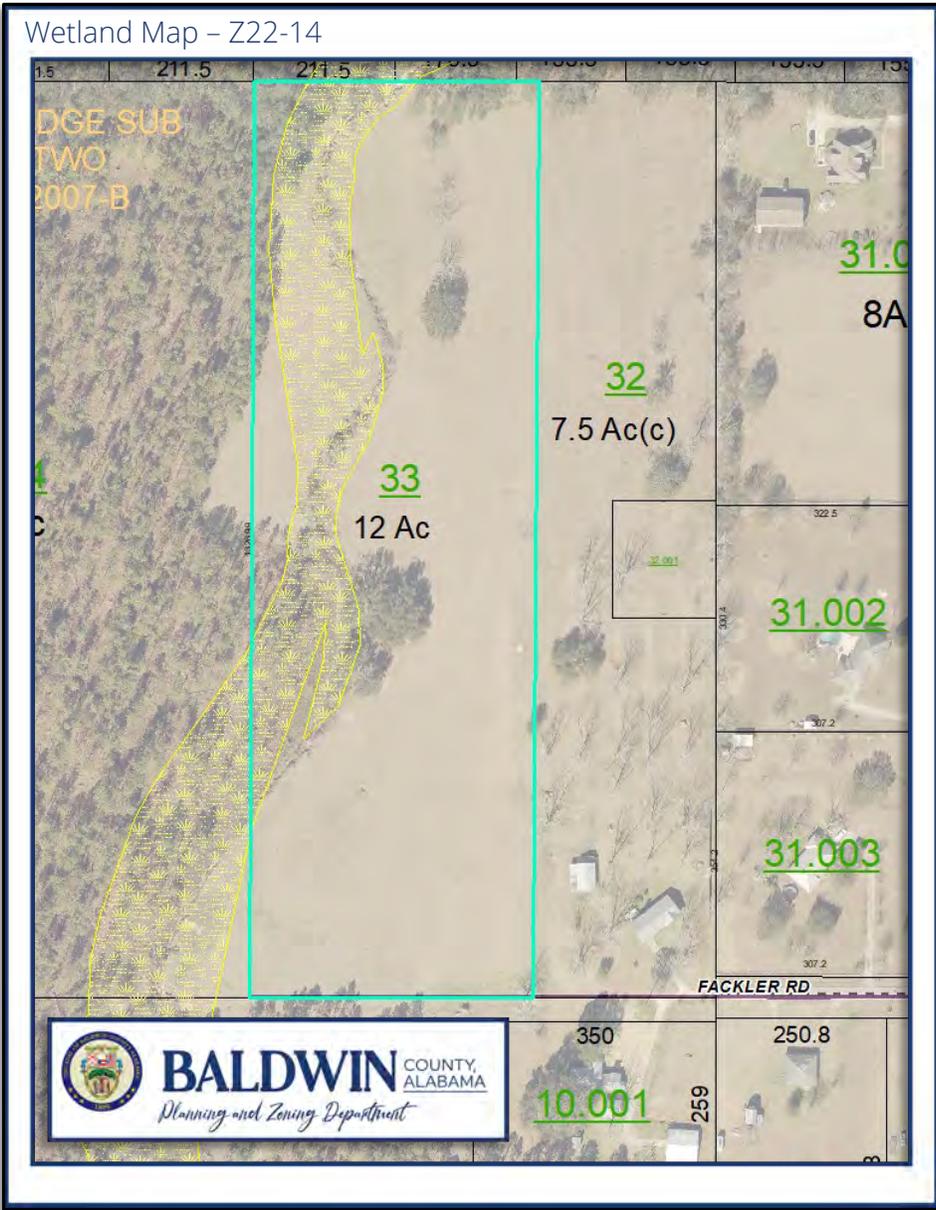
10.) Will the proposed change adversely affect the health, safety and welfare of the County and the vicinity?

Staff does not anticipate any adverse impacts to the health, safety and welfare of the County and the vicinity.

11.) Other matters which may be appropriate.

There appear to be potential wetlands on the subject property. A wetland delineation may be required in order to verify there is no disturbance within a 30' wetland buffer.

Wetland Map



Agency Comments

- **Baldwin County Highway Department, Tyler Mitchell**: No Comments
- **Subdivision Coordinator, Mary Booth**: No Comments
- **ADEM, Scott Brown**: No Comments
- **Corp of Engineers, James E. Buckelew**: No Comments

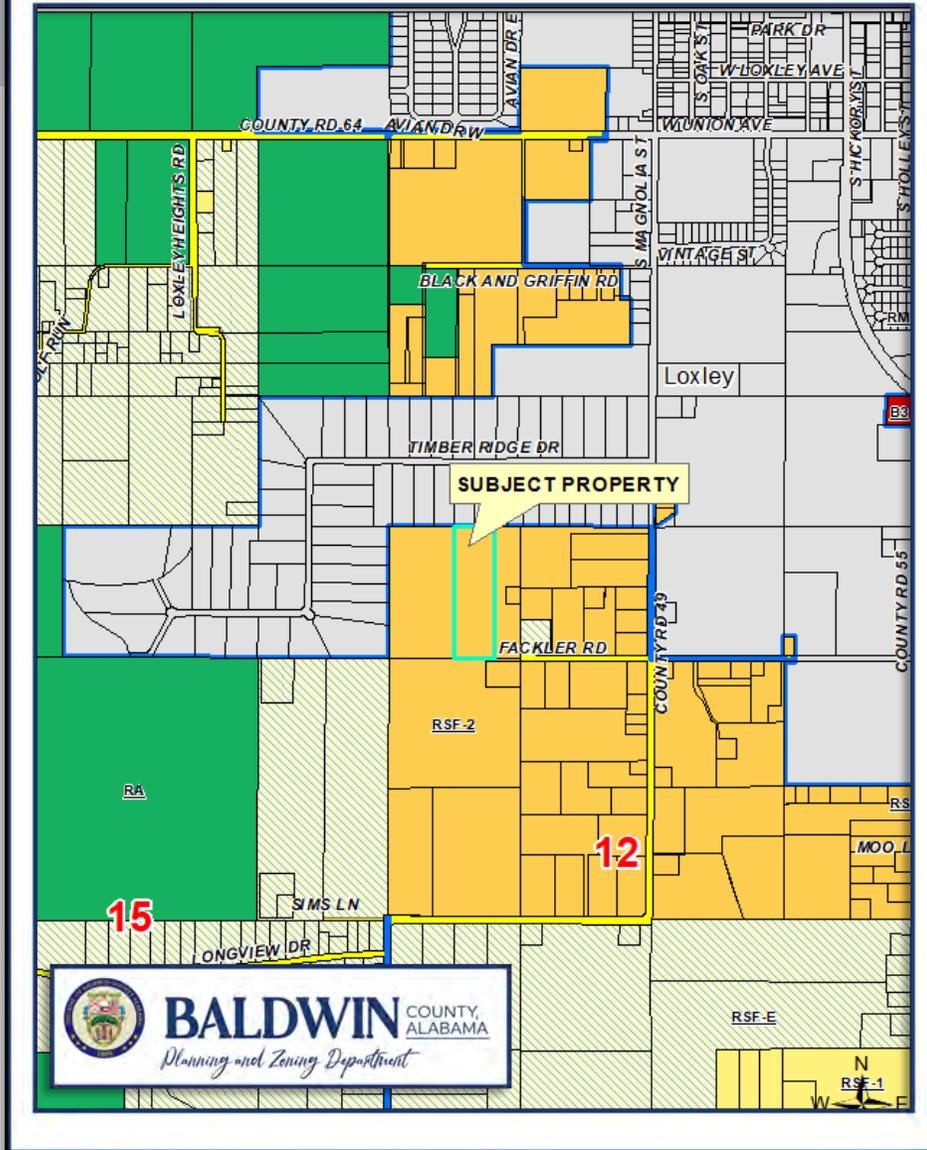
Z22-14 LAZZARI PROPERTY

Lead Staff: Cory Rhodes, Planner

REZONING REQUEST FROM RSF-2 TO RA

- **Proposed Zoning:** RA, Rural Agricultural
- **Proposed Use:** Agricultural
- **Applicant's Request:** The owner would like to be rezoned to rural agricultural to allow farm-related structures to reside on the property (metal carport to store tractor), which is not allowed in the current zoning category. Eventually a small garden and home will be constructed.

Vicinity Map – Z22-14



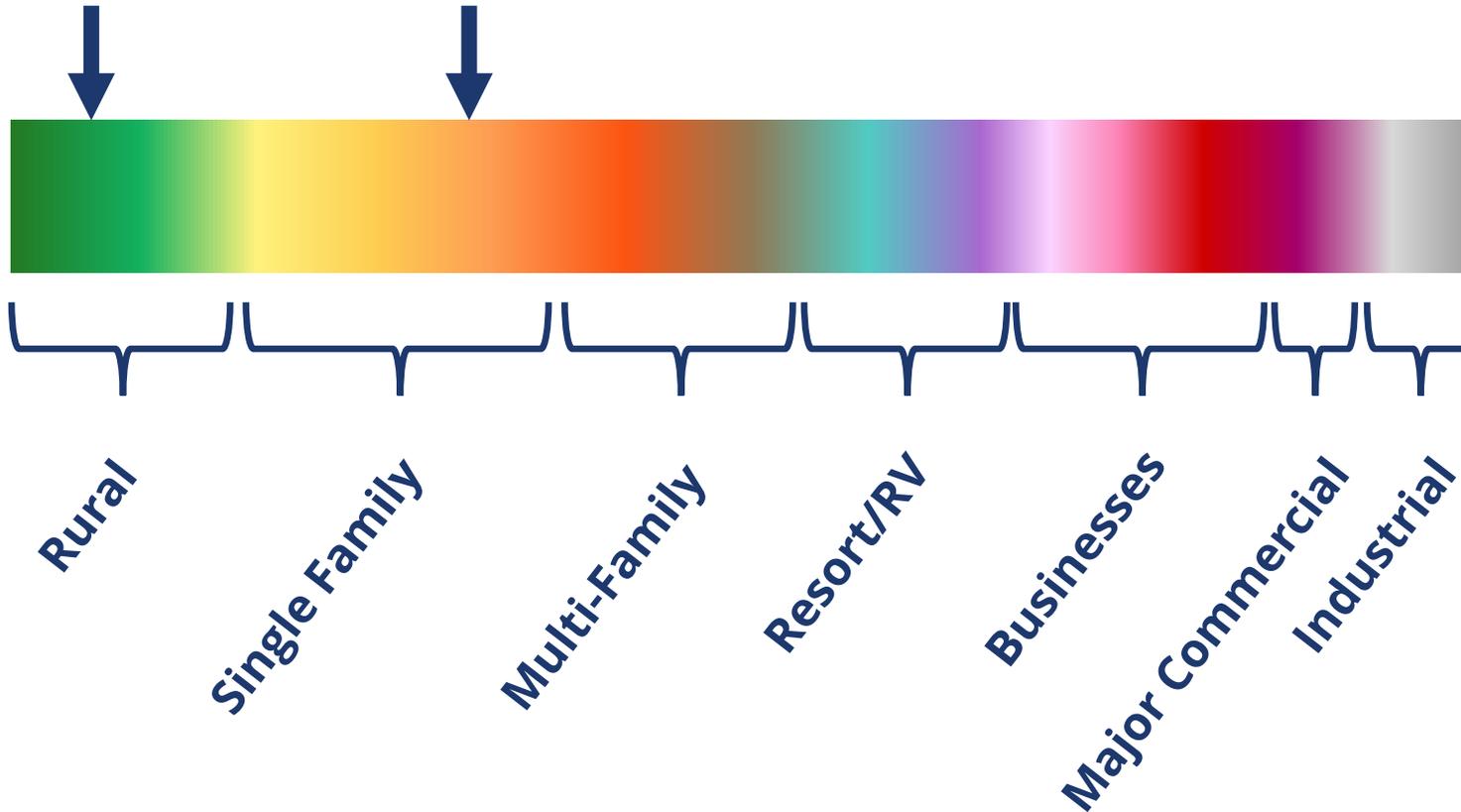
Z22-14 LAZZARI PROPERTY

Lead Staff: Cory Rhodes, Planner

REZONING REQUEST FROM RSF-2 TO RA

Proposed
Zoning: Rural
Agricultural (RA)

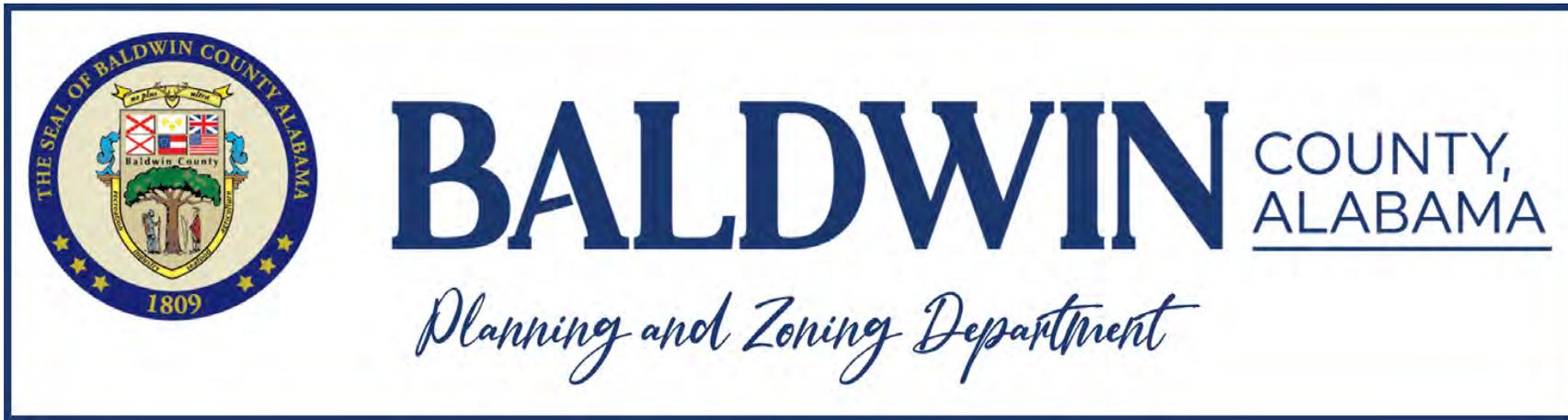
Current Zoning:
Residential Single-
Family (RSF-2)



Staff's Recommendation:

Unless information to the contrary is revealed at the public hearing, staff feels the application should be recommended for **Approval**.*

**On rezoning applications, the Planning Commission will be making a recommendation to the County Commission.*



RE-ZONING REQUEST
Z22-15, GOD IS BIDDEN PROPERTY
AUGUST 4, 2022

PRESENTED BY: CELENA BOYKIN, SENIOR PLANNER

8.E)Z22-15 GOD IS BIDDEN PROPERTY

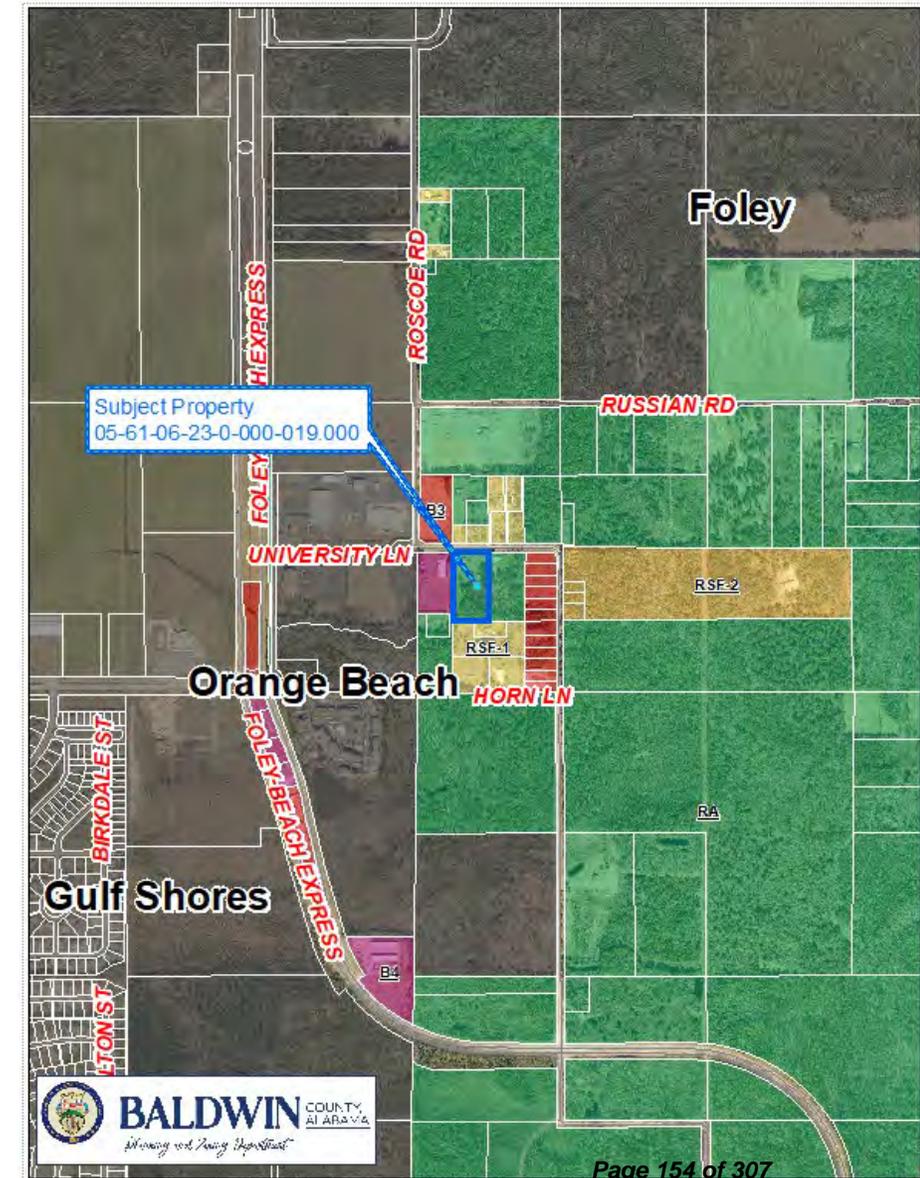
Lead Staff: Celena Boykin, Senior Planner

Request before Planning Commission:

Rezone 4.6+/- acres From RA to HDR

To view maps/plats in higher resolution please visit the "Upcoming Items" Planning and Zoning webpage:

<https://www.baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Planning District: 30

Zoned: RA, Rural Agriculture District

Location: Subject property is located east of the Beach Express and South of Roscoe Rd.

Current Use: Residential

Acreage: 4.6 +/- acres

Physical Address: NA

Applicant: Development Design Studio

Owner: Chartre Consulting

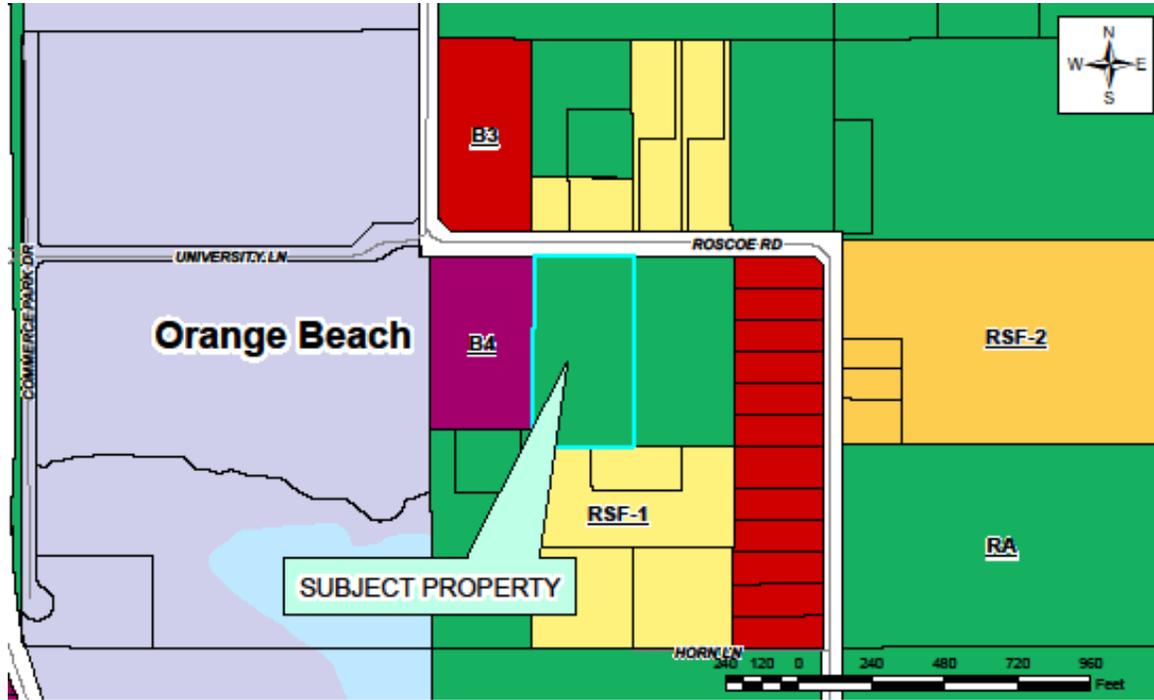
Proposed Zoning: HDR, High Density Residential District

Proposed Use: Townhouses

Applicant's Request: We are requesting a rezoning to HDR rather than RMF-6 in order to build townhouses at a density slightly above 6 DU/Acre.

Online Case File Number: The official case number for this application is Z22-15, however, when searching online CitizenServe database, please use Z22-000015.

Locator Map



Site Map



Adjacent Zoning

North	Roscoe Rd & RSF-1, Single Family District
South	RSF-1, Single Family District
East	RA, Rural Agriculture
West	B4, Major Commercial

Adjacent Land Use

Residential
Residential
Residential
Commercial (Symbol Clinic)

Property Images



Current Zoning Requirements



Current Zoning Requirements

Section 3.2 RA Rural Agricultural District

3.2.1 *Generally.* This zoning district provides for large, open, unsubdivided land that is vacant or is being used for agricultural, forest or other rural purposes.

3.2.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) The following general industrial uses: extraction or removal of natural resources on or under land.
- (b) The following transportation, communication, and utility uses: water well (public or private).
- (c) Outdoor recreation uses.
- (d) The following general commercial uses: animal clinic and/or kennel; farm implement sales; farmers market/truck crops; nursery; landscape sales; country club.
- (e) The following local commercial uses: fruit and produce store.
- (f) The following institutional uses: church or similar religious facility; school (public or private).
- (g) Agricultural uses.
- (h) Single family dwellings including manufactured housing and mobile homes.
- (i) Accessory structures and uses.

3.2.3 *Special exceptions.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed as special exceptions: Not Applicable

3.2.4 *Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by the site plan approval process:

- (a) Transportation, communication, and utility uses not permitted by right.
- (b) Institutional uses not permitted by right.

(c) The following general commercial uses: recreational vehicle park (see *Section 13.9: Recreational Vehicle Parks*).

(d) The following local commercial uses: bed and breakfast or tourist home (see *Section 13.11: Bed and Breakfast Establishments*).

3.2.5 *Area and dimensional ordinances.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35
Minimum Front Yard	40-Feet
Minimum Rear Yard	40-Feet
Minimum Side Yards	15-Feet
Minimum Lot Area	3 Acres
Minimum Lot Width at Building Line	210-Feet
Minimum Lot Width at Street Line	210-Feet

3.2.6 *Area and dimensional modifications.* Within the RA district, area and dimensional requirements may be reduced, as set forth below, where property is divided among the following legally related family members: spouse, children, siblings, parents, grandparents, grandchildren, or step-related individuals of the same status.

Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet
Minimum Side Yards	10-Feet
Minimum Lot Area	40,000 Square Feet
Minimum Lot Width at Building Line	120-Feet
Minimum Lot Width at Street Line	120-Feet

Proposed Zoning Requirements

Section 4.10 HDR, High Density Residential District

4.10.1 *Generally.* The intent of this zoning designation is to provide the opportunity for multiple family residential development, including apartments, condominiums, duplexes and townhouses, in a high density setting.

4.10.2 *Permitted uses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses shall be permitted:

- (a) Extraction or removal of natural resources on or under land.
- (b) Water well (public or private).
- (c) Silviculture.
- (d) Multiple family dwellings (apartments and condominiums).
- (e) Two family dwellings.
- (f) Townhouses.
- (g) Single Family Dwellings.
- (h) Accessory structures and uses.
- (i) Church or similar religious facility.

4.10.3 *Conditional Use Commission Site Plan Approval.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, the following uses and structures designed for such uses may be allowed by site plan approval process:

- (a) Outdoor recreation uses.
- (b) The following institutional uses: day care home; fire station; school (public or private).
- (c) Country club.

4.10.4 *Area and dimensional ordinances (single family and two family).* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35
Maximum Height in Habitable Stories	2 1/2
Minimum Front Yard	30-Feet
Minimum Rear Yard	30-Feet

Minimum Side Yards	10-Feet
Maximum Density	12 Dwelling Units per Acre
Minimum Lot Area/Dwelling Unit	6,500 Square Feet
Minimum Lot Width at Building Line	60-Feet
Minimum Lot Width at Street Line	30-Feet
Maximum Ground Coverage Ratio	.35

4.10.5 *Area and dimensional ordinances (multiple family).* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	50
Maximum Height in Habitable Stories	4
Minimum Front Yard	25-Feet
Minimum Rear Yard	25-Feet
Minimum Side Yards	25-Feet
Maximum Density	12 Dwelling Units per Acre
Minimum Lot Area	22,000 Square Feet
Minimum Lot Width at Building Line	100-Feet
Minimum Lot Width at Street Line	50-Feet
Maximum Ground Coverage Ratio	.80

4.10.6 *Townhouses.* Except as provided by *Section 2.3: Establishment of Zoning in Planning Districts*, *Section 12.4: Height Modifications*, *Section 12.5: Yard Requirements*, *Section 12.6: Coastal Areas*, *Section 12.8: Highway Construction Setbacks*, *Section 18.4 Variances*, and *Article 20: Nonconformities*, the area and dimensional ordinances set forth below shall be observed.

Maximum Height of Structure in Feet	35
Maximum Height in Habitable Stories	2 1/2
Minimum Front Yard	25-Feet
Minimum Rear Yard	25-Feet
Minimum Side Yards	10-Feet (exterior wall side yards)
Maximum Density	12 Dwelling Units per Acre
Minimum Lot Area/Dwelling Unit	2,500 Square Feet
Minimum Lot Width at Building Line	25-Feet
Minimum Lot Width at Street Line	25-Feet
Maximum Ground Coverage Ratio	.80

4.10.7 *Open space requirement.* A minimum of 10% of the gross land area developed under the HDR designation shall be set aside as permanent open space to include amenities, common areas and recreation facilities.

4.10.8 *Lighting standards.* The maximum height of exterior lights shall be 25-feet. The intensity, location, and design of lighting shall be such that not more than one-foot candle of light is cast upon adjacent property or public rights-of-way. Light fixtures shall be designed to cast light downward. Where necessary, cut-off devices shall be used to minimize glare off premises. No

light shall be aimed directly toward properties designated single family residential, which are located within 200-feet of the source of the light.

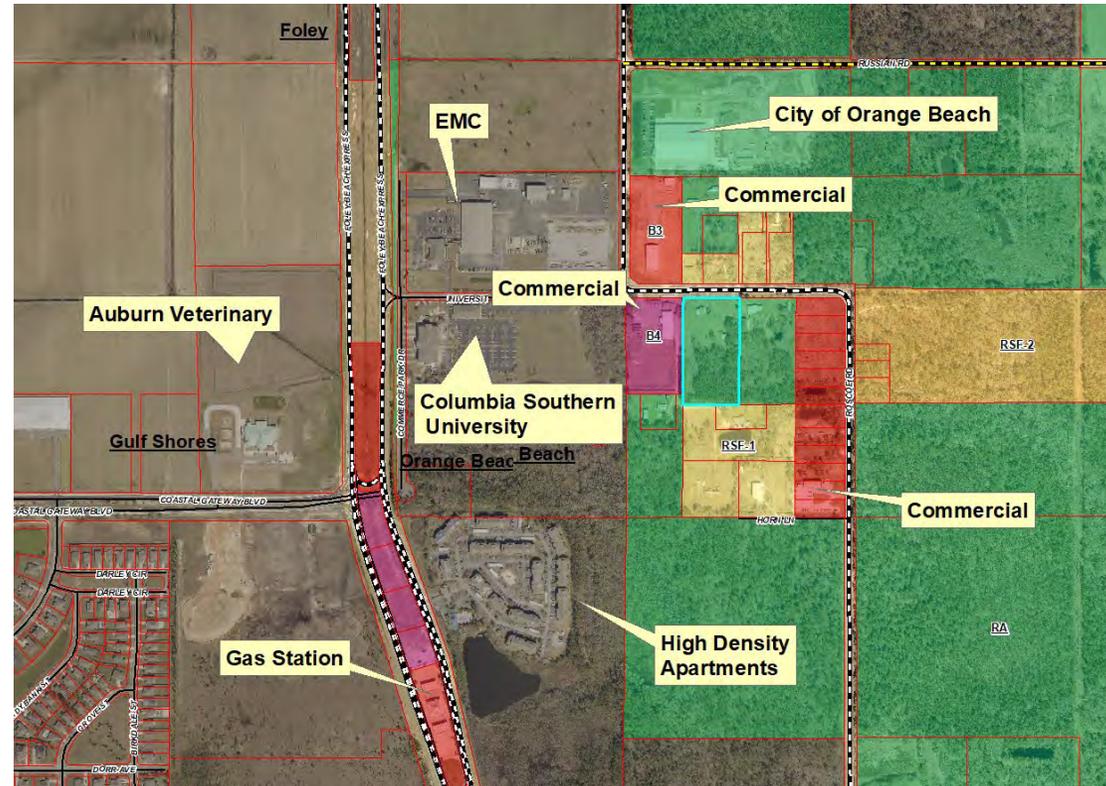
4.10.9 *Landscaping and buffering.* All HDR, High Density Residential District, properties shall meet the requirements of *Article 17: Landscaping and Buffers*.

4.10.10 HDR, High Density Residential District, shall not be available in Planning District 25.

Staff Analysis and Findings

1.) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?

The subject property is currently residential. The property is to the south of Roscoe Rd and east of the Foley Beach Express. The adjoining properties are residential, forested timberland, and commercial. The property to the west was rezoned from RA to B-4, Major Commercial District in 2017 (case Z-17006). The properties to the west along the Beach Express are in the city of Orange Beach and are commercial.



Staff Analysis and Findings

2.) Has there been a change in the conditions upon which the original zoning designation was based? Have land uses or conditions changed since the zoning was established?

Planning District 30 zoning map was adopted in February 1995. There have been several parcels that have been annexed into the city of Orange Beach. The adjacent property to the west was rezoned from RA to B4 in 2017. The B3 to the north was rezoned from RA in 2019.

3.) Does the proposed zoning better conform to the Master Plan?

A future land use designation of Agricultural has been provided for the subject property. Agriculture, forestry and similar activities are included with this future land use category. Single family dwellings, institutional uses, recreational uses, limited commercial uses which are intended to serve a rural area and transportation, communication and utility uses are also included subject to the requirements found within the Zoning Ordinance. This category is designed to protect the essential open character of rural areas until it is timely to reclassify the land to appropriate residential, commercial or industrial categories. Zoning designations may include RR, CR, RA and RSF-E. Approval of the rezoning will result in an amendment of the Future Land Use Map to residential.

4.) Will the proposed change conflict with existing or planned public improvements?

Staff is unaware of any planned public improvements.

Staff Analysis and Findings

5.) Will the proposed change adversely affect traffic patterns or congestion?

Per the Federal Highway Administration the functional classification of Roscoe Road is local. Locally classified roads account for the largest percentage of all roadways in terms of mileage. They are not intended for use in long distance travel, except at the origin or destination end of the trip, due to their provision of direct access to abutting land. Bus routes generally do not run on Local Roads. They are often designed to discourage through traffic. As public roads, they should be accessible for public use throughout the year. Local Roads are often classified by default. In other words, once all Arterial and Collector roadways have been identified, all remaining roadways are classified as Local Roads. The traffic going to and from the townhomes could have an impact on traffic patterns or congestion. Access to this site would require approval from Baldwin County Highway Department.

6.) Is the proposed amendment consistent with the development patterns in the area and appropriate for orderly development of the community? The cost of land or other economic considerations pertaining to the applicant shall not be a consideration in reviewing the request.

As stated previously the adjoining properties are residential, forested timberland, and commercial. The property to the west was rezoned from RA to B-4, Major Commercial District in 2017 (case Z-17006). The properties to the west along the Beach Express are in the city of Orange Beach and are commercial.

7.) Is the proposed amendment the logical expansion of adjacent zoning districts?

This area consists of commercial, residential, and agriculture zoning. The parcels along the Foley Beach Express are annexed into the City of Orange Beach or Gulf Shores. Refer back to the map in question 1.

Staff Analysis and Findings

8.) Is the timing of the request appropriate given the development trends in the area?

Staff believes that timing is not an issue.

9.) Will the proposed change adversely impact the environmental conditions of the vicinity or the historic resources of the County?

Staff is unaware of any historic resources that would be adversely impacted by this request.

10.) Will the proposed change adversely affect the health, safety and welfare of the County and the vicinity?

Although there will be an increase in traffic, if the rezoning is approved and the property is developed, the impact should not be significant. Access to this site would require approval from Baldwin County Highway Department. Development of the property will be considered as a major project. Prior to the issuance of a Site Plan approval, staff will evaluate all submitted materials, including building plans, drainage plans, landscaping plans and site plans in order to ensure complete compliance with the requirements of the zoning ordinance. Required landscaped buffers will help to mitigate the potential for adverse impacts.

11.) Other matters which may be appropriate.

Agency Comments

ALDOT, Michael Smith: No Comments

ADEM, Scott Brown: No Comments

Baldwin County Subdivision– Mary Booth: No Comments

Baldwin County Highway Department:

The provided site plan shows proposed development of townhomes which will need to follow the County subdivision process, including analysis of drainage and traffic impacts. Roscoe Rd is County maintained and will require permitting through the Highway Department for any new or changed connections for the subject property.

Information Provided By Applicant



- a) Is the requested change compatible with the existing development pattern and the zoning of nearby properties?
- a. *University Lane and Coastal Gateway Blvd across Foley Beach Express seem to be a burgeoning node of development and activity. As the first few catalyst lots begin to develop, typically land uses around those lots want to step up in intensity and with complimentary or similar uses. We feel that based on the zoning and land uses around our property an increase in intensity for this lot and others is reasonable to consider.*
- b) Has there been a change in the conditions upon which the original zoning designation was based? Has land uses or conditions changed since the zoning was established?
- a. *The directly property to the West is zoned B-4. While we're not sure when the zoning was given, it has recently been built on to a business use.*
- b. *The property across the NW corner of our property is zoned B3. I cannot ascertain when this zoning was applied but I suspect it was since the zoning for the area was established.*
- c. *The properties to the East along Roscoe Rd. after it turns to N/S direction are all zoned B-4. Again, I cannot ascertain when this zoning was applied but I suspect it was since the zoning for the area was established.*
- d. *If these above zonings were original when the zoning was first established, we would still suggest it makes sense to see greater intensity allowed at this location and those lots around us.*
- c) Does proposed zoning better conform to the Master Plan?
- a. *We believe it does. At this location in district 30, this area is designated as a node of a mix of commercial and residential. It seems clear that this area is intended to build up and develop in intensity. The Master Plan is not fined grained so as to comment on intensity within those uses. We speak to that in other answers to these question.*
- d) Will the proposed change conflict with existing or planned public improvements?



- a. *Not that we can see. Based on the activity and increased intensity at this section of Roscoe Rd. we think this makes sense to allow further intensity to occur here.*
- b. *Coastal Gateway Blvd. is a major connector between the expressway and 59. It seems logical that development should occur along and at the terminations of Coastal Gateway.*
- e) Will the proposed change adversely affect traffic patterns or congestion?
- a. *We do not believe so. We are within 1/3 of a mile of the Expressway and therefore traffic will not likely affect the neighborhood further in. Besides, at a max density of 55 units we don't think this would have a noticeable effect at all on traffic.*
- f) Is the proposed amendment consistent with the development patterns in the area and appropriate for orderly development of the community? An original zoning designation that was assigned based on a use that existed when the Planning District was formed, and that does not otherwise generally conform with the zoning designations in the vicinity, does not necessarily indicate the existence of a development pattern under this factor. The cost of land or other economic considerations pertaining to the applicant shall not be a consideration in reviewing the request.
- a. *We believe that it is consistent with the development patterns in the area. As noted above, they are burgeoning, but we see the beginnings of node of development at this point along the expressway. A higher density residential use at this property would make sense in our opinion as a transition from commercial uses closer to the expressway and lower density residential further along Roscoe Rd.*
- g) Is the proposed amendment the logical expansion of adjacent zoning designations? When an adjacent zoning district received its original zoning designation based on a use that existed when the Planning District was originally formed, and that original zoning designation does not otherwise generally conform with the zoning designations in the vicinity, this original zoning designation should not support the allowance of more intense zonings on adjacent parcels, without the presence a development pattern in the community that supports an increase in intensity.

DEVELOP
design studio
architecture + design

a. *Again, we see the beginnings of a development pattern that makes this a logical application. While it is not an expansion of adjacent zonings / uses, we see it as complimentary. We see this "moment" along the expressway as the beginnings of a node of activity. We believe a mix of uses and densities can strengthen this burgeoning pattern and lead to a node of mixed uses that can be complimentary to each other.*

h) Is the timing of the request appropriate given the development trends in the area?

a. *We believe it to be appropriate per our answers to the questions above.*

i) Will the proposed change adversely impact the environmental conditions of the vicinity or the historic resources of the County?

a. *We do not believe it will. It is a single lot surrounded by relatively recent development activity. It is not near any major waterways and is currently a mostly clear lot and so therefor we will not see a large number of trees removed.*

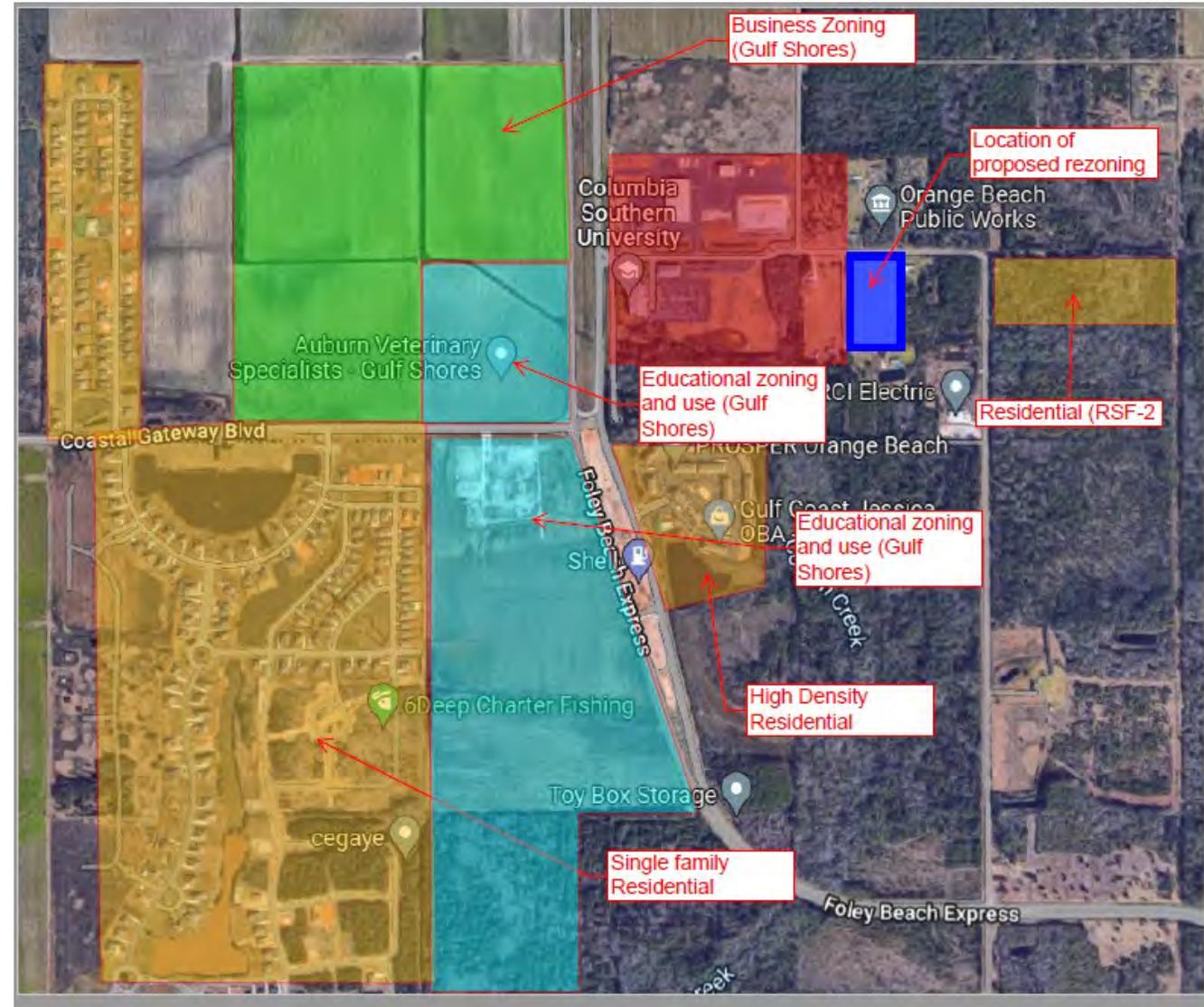
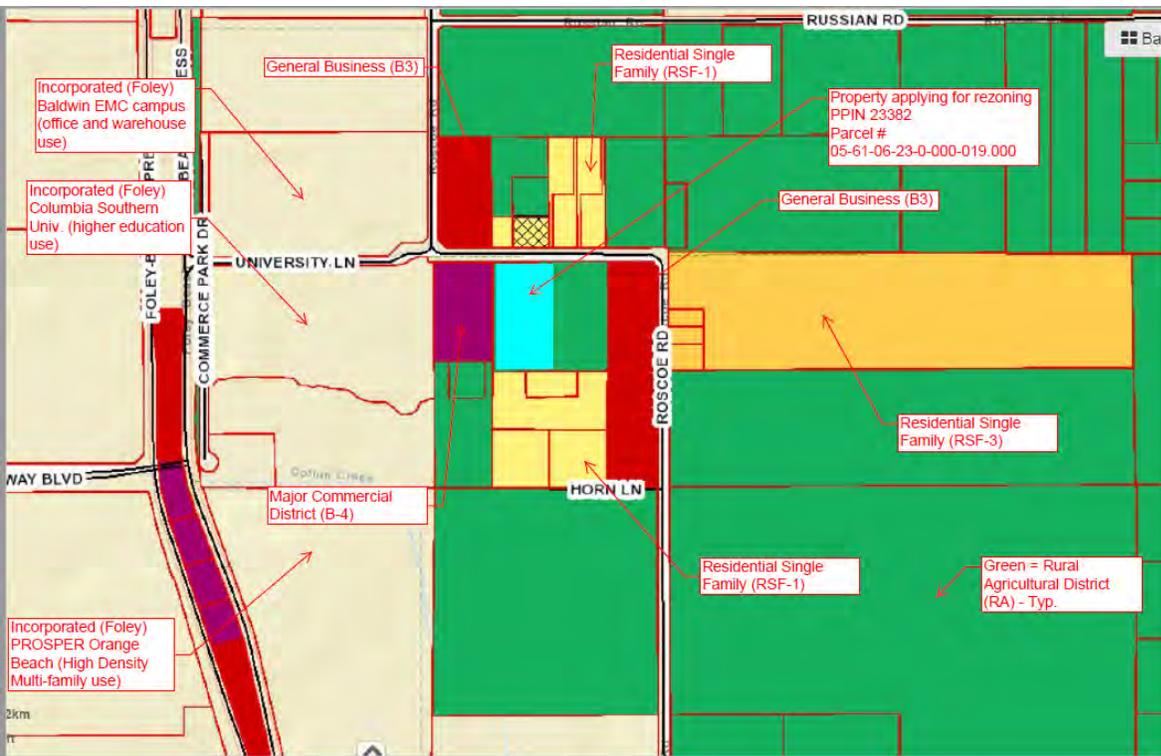
j) Will the proposed change adversely affect the health, safety and welfare of the County and the vicinity?

a. *We do not believe it will. In fact, we believe that encouraging development patterns with a mix of uses and intensities at nodes like this can lead to less traffic and a better standard of living for residents.*

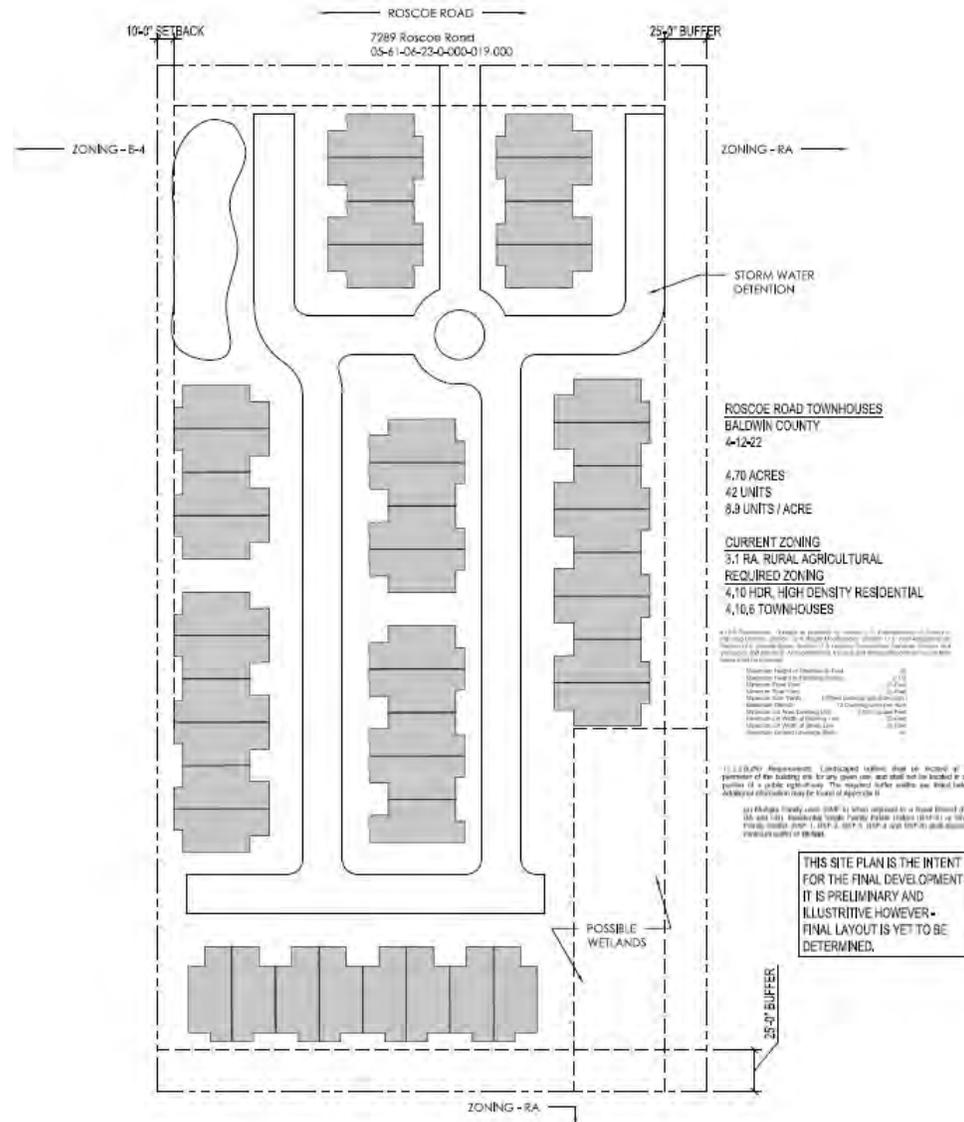
k) Other matters which may be appropriate.

a. *None*

Information Provided By Applicant



Information Provided By Applicant



ROSCOE ROAD TOWNHOUSES
BALDWIN COUNTY
4-12-22

4.70 ACRES
42 UNITS
8.9 UNITS / ACRE

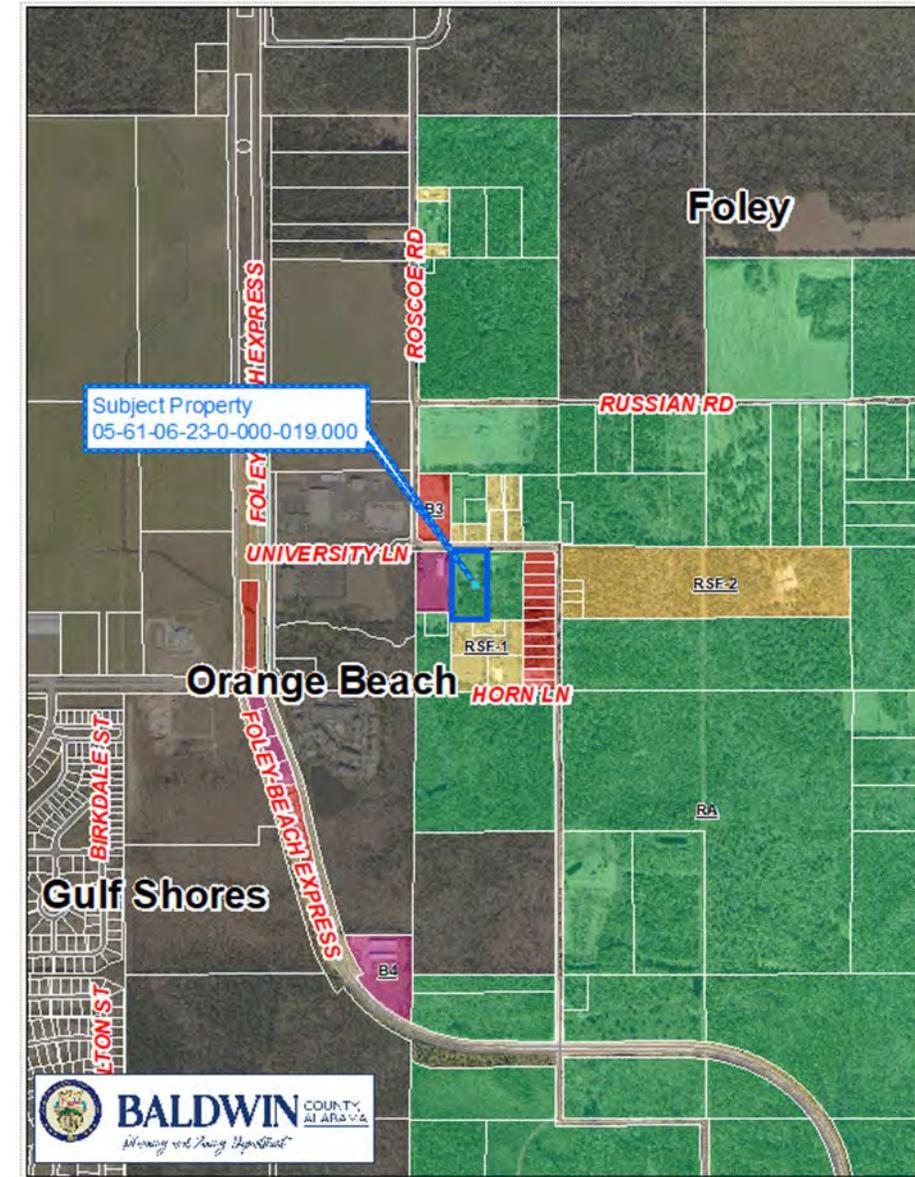
CURRENT ZONING
3.1 RA, RURAL AGRICULTURAL
REQUIRED ZONING
4.10 HDR, HIGH DENSITY RESIDENTIAL
4.10.6 TOWNHOUSES

Z22-15 GOD IS BIDDEN PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

Staff's Summary and Comments:

As stated previously, the subject property is currently zoned RA, Rural Agriculture District, and consists of approximately 4.6 acres. The designation of HDR, High Density Residential District, has been requested in order to build townhouses at a density slightly above 6 DU/Acre. With the surrounding land uses and location to the Foley Beach Express staff feels this is compatible with the area.

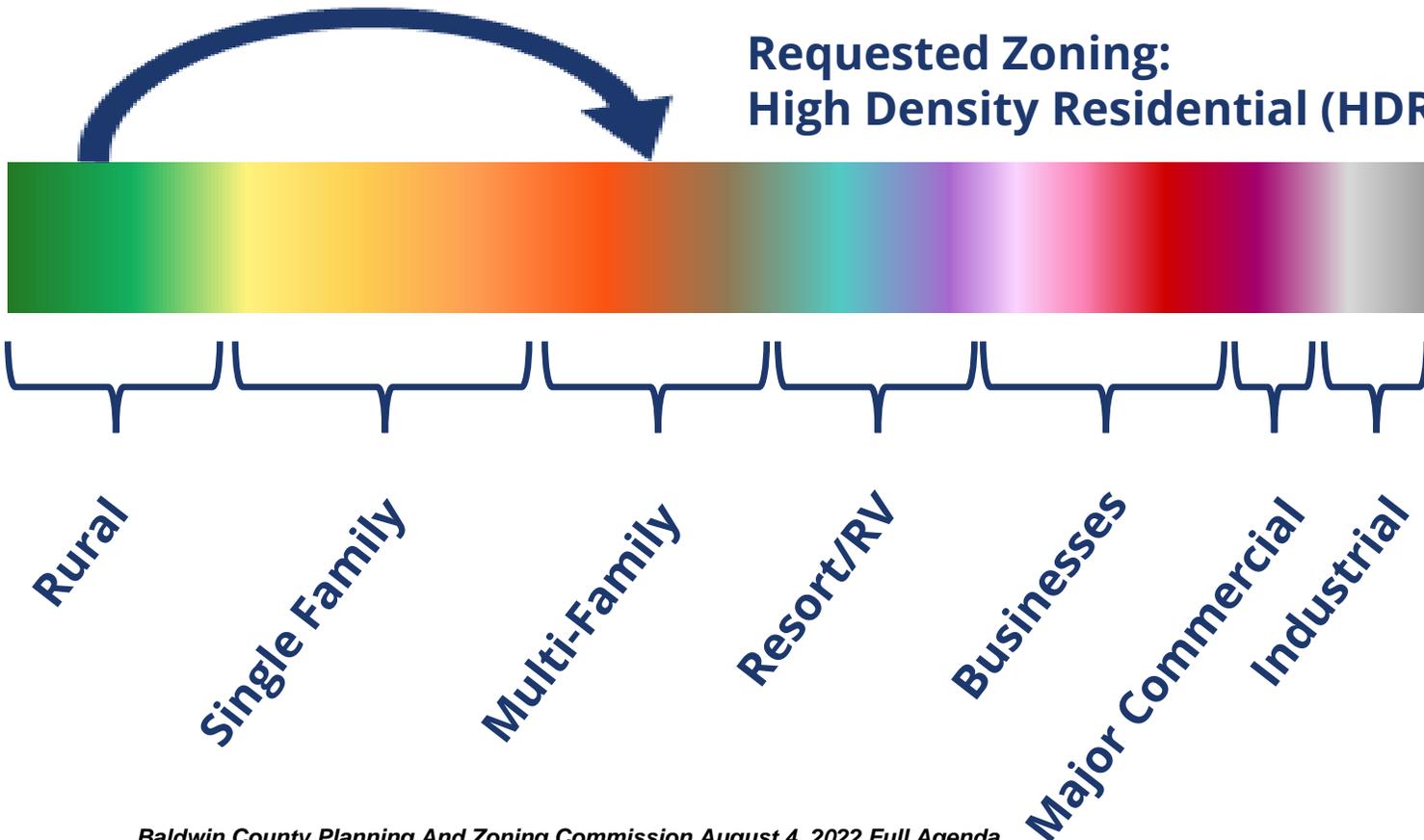


Z22-15 GOD IS BIDDEN PROPERTY

Lead Staff: Celena Boykin,
Senior Planner

Current Zoning:
Rural Agriculture (RA)

Requested Zoning:
High Density Residential (HDR)



Staff's Recommendation:

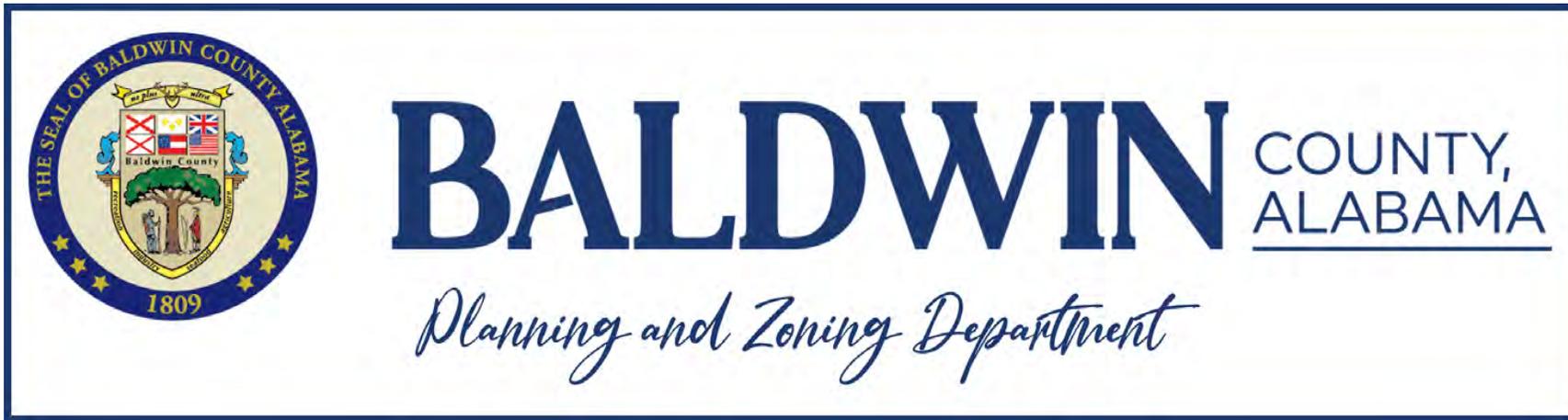
Unless information to the contrary is revealed at the public hearing, staff feels this rezoning application should be recommended for **Approval**.*

**On rezoning applications, the Planning Commission will be making a recommendation to the County Commission.*

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SUBDIVISION PRELIMINARY PLAT REQUEST

PUD22-8 WANDERING SPIRITS RV PARK

AUGUST 4, 2022

PRESENTED BY: SHAWN MITCHELL, DEVELOPMENT REVIEW PLANNER

9.a)PUD22-8 WANDERING SPIRITS RV PARK

June 2, 2022

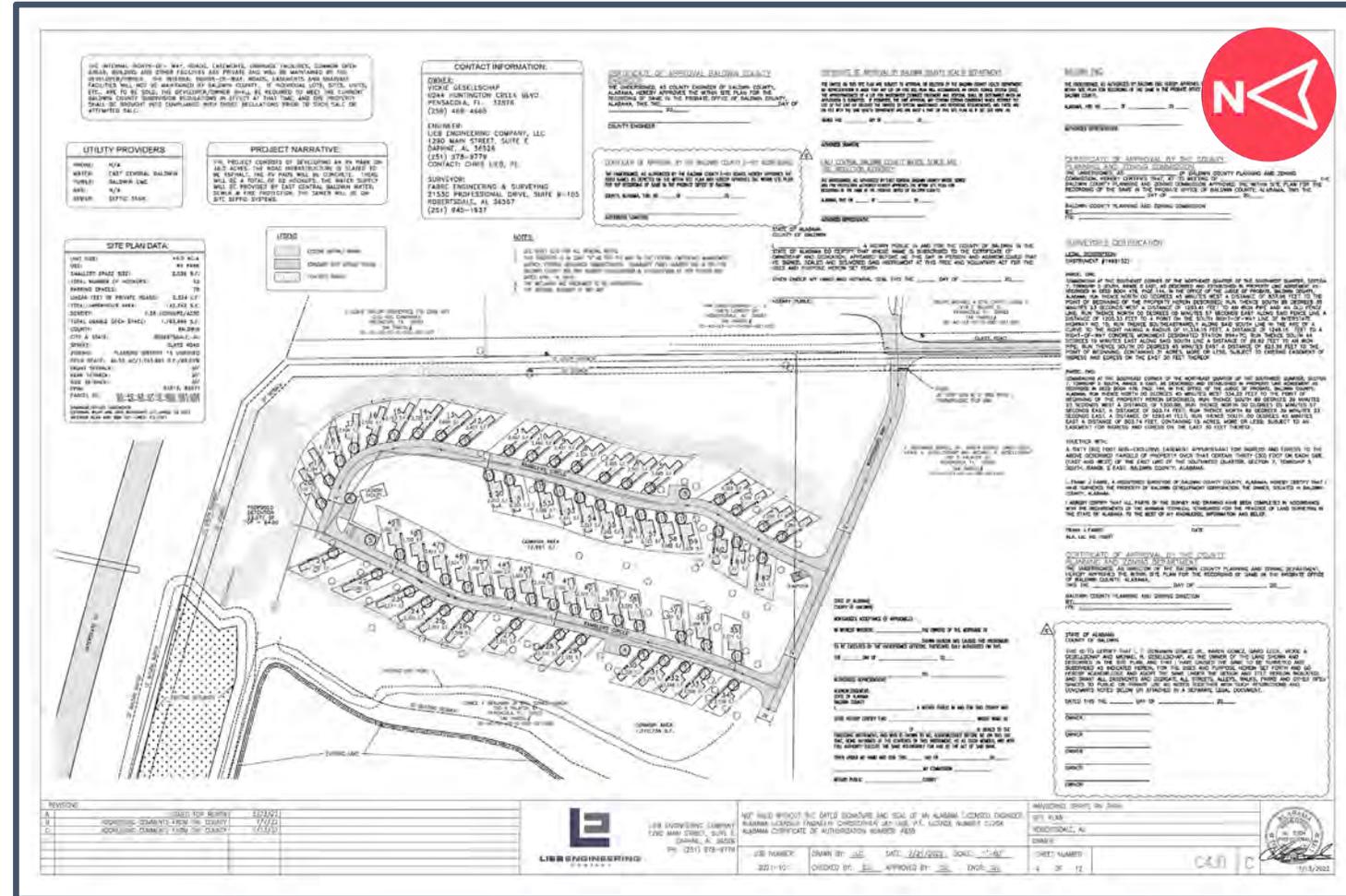
Request before the Planning Commission:

PUD Site Plan approval for Wandering Spirits RV Park, a **62-unit** recreational vehicle park

Staff Recommendation: **APPROVAL**

To view public comments as well as maps/plats in higher resolution please visit the "Upcoming Items" Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located at the end of Glass Rd., south of Interstate 10 and east of Wilcox Road.

Planning District: 13

Zoning: The citizens of Planning District 13 **have not implemented zoning**

Total Property Area: 46 acres

Total # of Lots requested: **62 Units**

- Setbacks: 30' around the perimeter, as required by subdivision regulations

Streets / Roads: 2,324 LF, which will not be accepted by the County for maintenance and shall remain **private**

Surveyor of Record: Frank Fabre, *Fabre Engineering & Surveying*
21530 Professional Drive, B-105, Robertsdale, AL 36567

Engineer of Record: Christopher Lieb, *Lieb Engineering Company, LLC*
1290 Main Street, Suite E, Daphne, AL 36526

Owners / Developers: Vickie Gesellschaft, Michael Gesellschaft,
Benjamin Gomez Jr., Karen Gomez, David Cecil.

Online Case File Number: The official case number for this application is PUD22-8, however, when searching online CitizenServe database, please use PUD22-000008.

Parcel: 05- 40-03-07-0-000-021.008
05-40-03-07-0-000-021.001

PIN: 84571, 82512

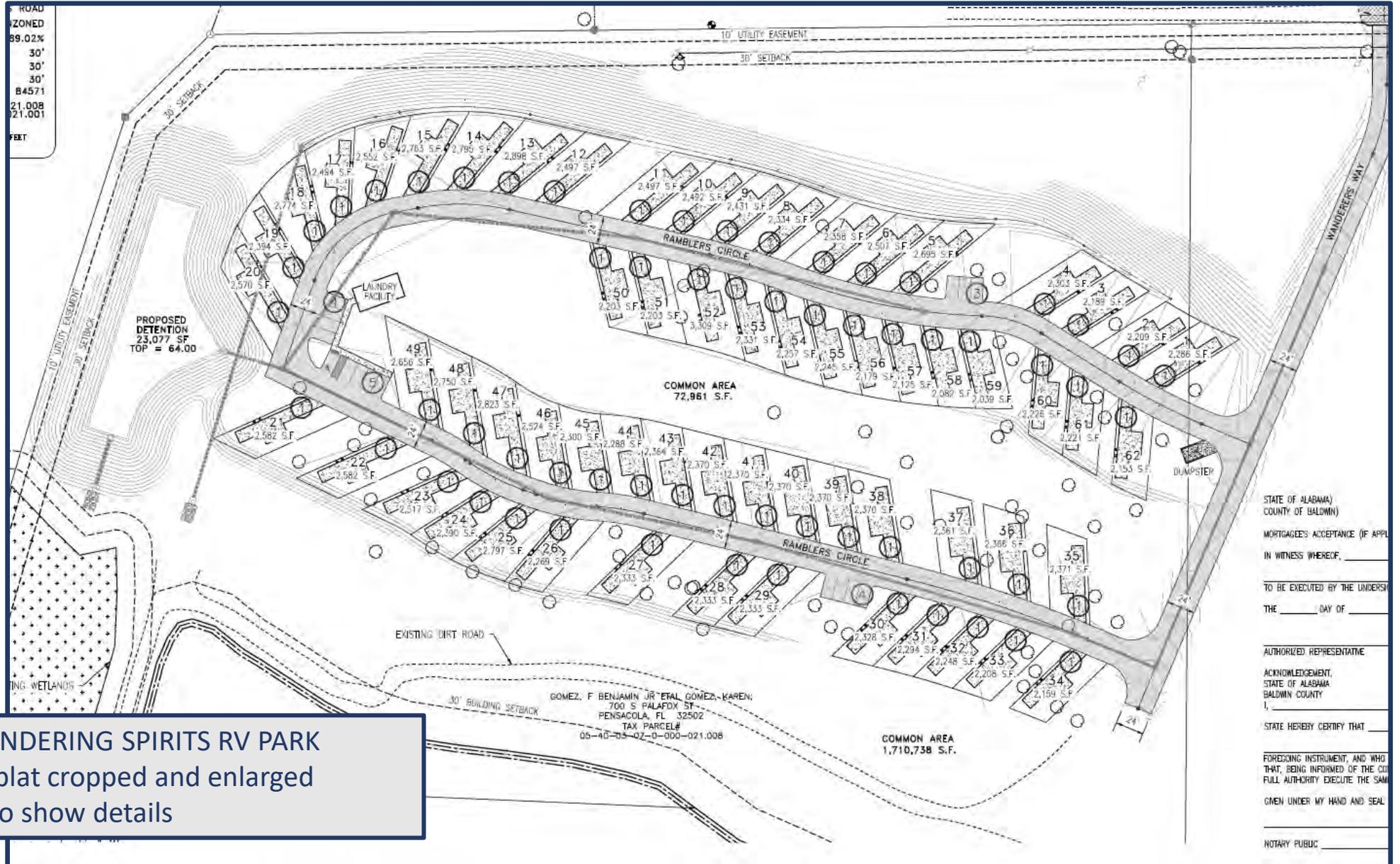
Traffic Study: Prepared by Shane Michael Bergin, of *Neel-Schaffer*, and accepted by Baldwin County Highway Department

Drainage Improvements: A drainage narrative was prepared and stamped by Christopher Lieb, PE, of Lieb Engineering.

Wetlands: A wetland delineation was performed Lewis Cassidey of EcoSolutions, Inc.

Utility Providers:

- Domestic Water: East Central Baldwin
- Sewer: Septic
- Electrical: Baldwin EMC



PUD22-8 WANDERING SPIRITS RV PARK
Preliminary plat cropped and enlarged
to show details

Subject Property
05-40-03-07-0-000-021.008
05-40-03-07-0-000-021.001
PIN 84571, 82512

Wilcox Rd.

Glass Rd.

Patterson Rd.

Interstate 10

PUD22-8 WANDERING SPIRITS RV PARK
VICINITY MAP



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

Subject Property
05-40-03-07-0-000-021.008
05-40-03-07-0-000-021.001
PIN 84571, 82512



Wilcox Rd.

Glass Rd.

Patterson Rd.

Interstate 10

PUD22-8 WANDERING SPIRITS RV PARK
AERIAL MAP



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department



January 24, 2022

Lieb Engineering
Mary Kate O'Connell
1290 Main Street, Suite E.
Daphne, AL 36526

Re: 27325 Glass Road, PINs 84571 and 82512

Dear Mary Kate O'Connell:

This letter is to confirm that the referenced development is in Baldwin County territory. Baldwin EMC has the ability and is willing to service the development if the necessary easements are granted using our standard easement documents and fees are finalized in advance. Baldwin EMC will provide proper notice and planning time with respect to required system upgrades (line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions wanting under

There is a dedicated herewith a 10 foot utility easement on all lot lines adjacent to the right-of-ways and a 10 foot utility easement on easement and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please contact me at 251-989-0151.

Sincerely,

Brian Seals
Manager of Engineering

BS/ss#

**EAST CENTRAL BALDWIN COUNTY
WATER, SEWER AND FIRE PROTECTION AUTHORITY**
22844 County Road 87
Robertsdale, AL 36567

Phone 251-942-1242 E-mail: Office@eastcentralbaldwinwater.com

February 2, 2022

Lieb Engineering Inc.
1290 Main Street
Suite E
Daphne, AL 36526

RE: Proposed RV-Park
27325 Glass Rd
Robertsdale, AL 36567
PIN: 40465 & 82512

Dear Sir/Madam:

Please accept this letter as to describe East Central Baldwin Water Authority's willingness to service the proposed 64 pad RV park at 27325 Glass road Robertsdale, AL 36567 AL. The estimated domestic peak water usage of 160gpm will be supplied by the line located along the Glass Road right of way.

System impact fees and tap fees will be computed at the time of construction.

If have any other question, please let me know.

Respectfully,

RYAN FROLIK
General Manager



SCOTT HARRIS, M.D., M.P.H. • STATE HEALTH OFFICER

BALDWIN COUNTY HEALTH DEPARTMENT

05/16/22

Michael Gesellschap
940 Aquamarine Drive
Gulf Breeze FL 32563

Dear Gesellschap:

Enclosed for your information is the Development Phase 1 key discussion points summary from the Baldwin County Health Department for:

Name of Development: **Wandering Spirits RV Resort**

Proposed soil test sites were selected to insure that final perc test results will be representative of the property.

If you have questions, please do not hesitate to call me.

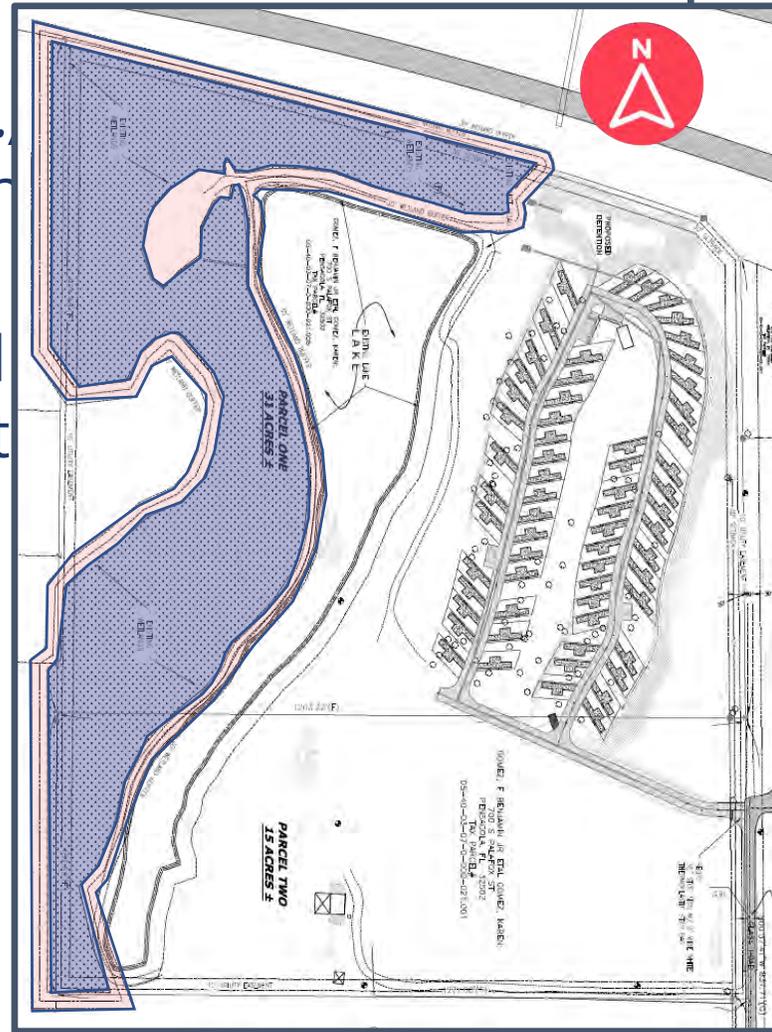
Sincerely,

Loren D. Powers
Public Health Environmentalist
Baldwin County Health Department
251-947-3618

Staff Comments

Lewis Cassidey, *EcoSolutions*, wetland report at right for the subdivision.

- Wetlands were found and 30 ft. wetland building set natural buffer.



February 7, 2022

Mike Gesellschaft
gesellschaft@gmail.com

RE: Wetland Delineation of Gesellschaft Glass Road (PPNs: 82512 & 84571)

Mr. Gesellschaft,

EcoSolutions Inc. was asked to conduct a wetland delineation of the parcels on Glass Road (PPNs 82512 & 84571). The field work was conducted January 29 to February 6, 2022. Portions of the west sides of the parcels have met the definition of a wetland as defined by the U.S. Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual.

The subject area is parcel numbers 05-40-03-07-0-000-021.001 (PPN 82512) & 05-40-03-07-0-000-021.008 (PPN 84571) located in Robertsdale, AL. The parcels are adjacent to one another, located on the west side of Glass Road, and approximately 46 acres in size combined. The western portions of the parcels contain wetlands including a lake and area forested with mature trees (including Slash pine *Pinus elliottii* and Sweetbay magnolia *Magnolia virginiana*) and underbrush (including Buckwheat Tree *Cliftonia monophylla* and Large Gallberry *Ilex coriacea*). The other portions of the parcels are partially developed with a residence, out buildings, and a man-made pond. The soils on the site are Wadley loamy fine sand, Hyde, Bayboro, and Muck soils, Lakeland loamy fine sand, Marlboro very fine sandy loam, Norfolk fine sandy loam, Rains fine sandy loam, Scranton loamy fine sand, and Tifton very fine sandy loam. During our field work in the site we found brown, dark grayish brown, very dark gray and dark grey sand consistent with the mapped soils.

The site was evaluated for jurisdictional wetland areas as defined by the U.S. Army Corps of Engineers (USACE) 1987 Wetland Delineation Manual and all, supplements and amendments thereto. Portions of the western sides of the site met the USACE criteria for wetlands. The man made pond is not presumed to be jurisdictional, but a formal jurisdictional determination from USACE may be required to know for certain. All comments are based on the professional judgment of the inspector and the conditions that existed on the site at the time of the inspection.

Please give us a call (251-621-5006) or email Lewis@EcoSolutionsinc.net if you have any questions or need any additional information.

Best regards,

Lewis Cassidey
Lewis Cassidey
EcoSolutions, Inc.

P.O. Box 361 MONTROSE, AL 36559 251.621.5006
Ecosolutionsinc@bellsouth.net

Staff Comments

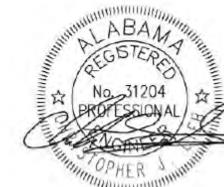
Christopher Lieb, PE of *Lieb Engineering*, prepared the drainage narrative for the proposed subdivision

- The drainage narrative was accepted by the Baldwin County Highway Department
- Drainage improvements were recommended.

Wandering Spirits RV Park

DRAINAGE REPORT

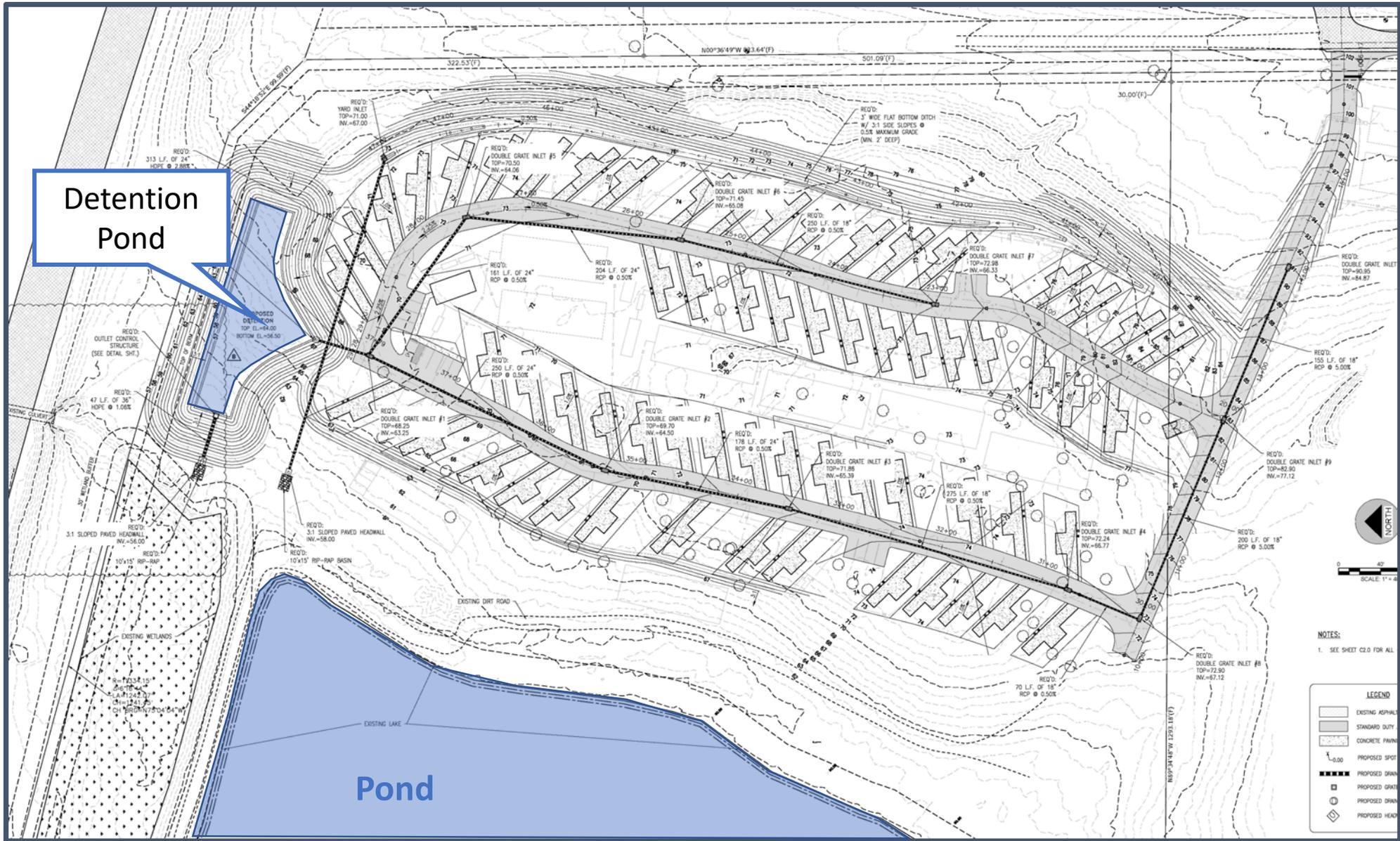
27325 Glass Road
Robertsdale, AL 36567



05/29/2022

Christopher Lieb, P.E.
Civil Engineer

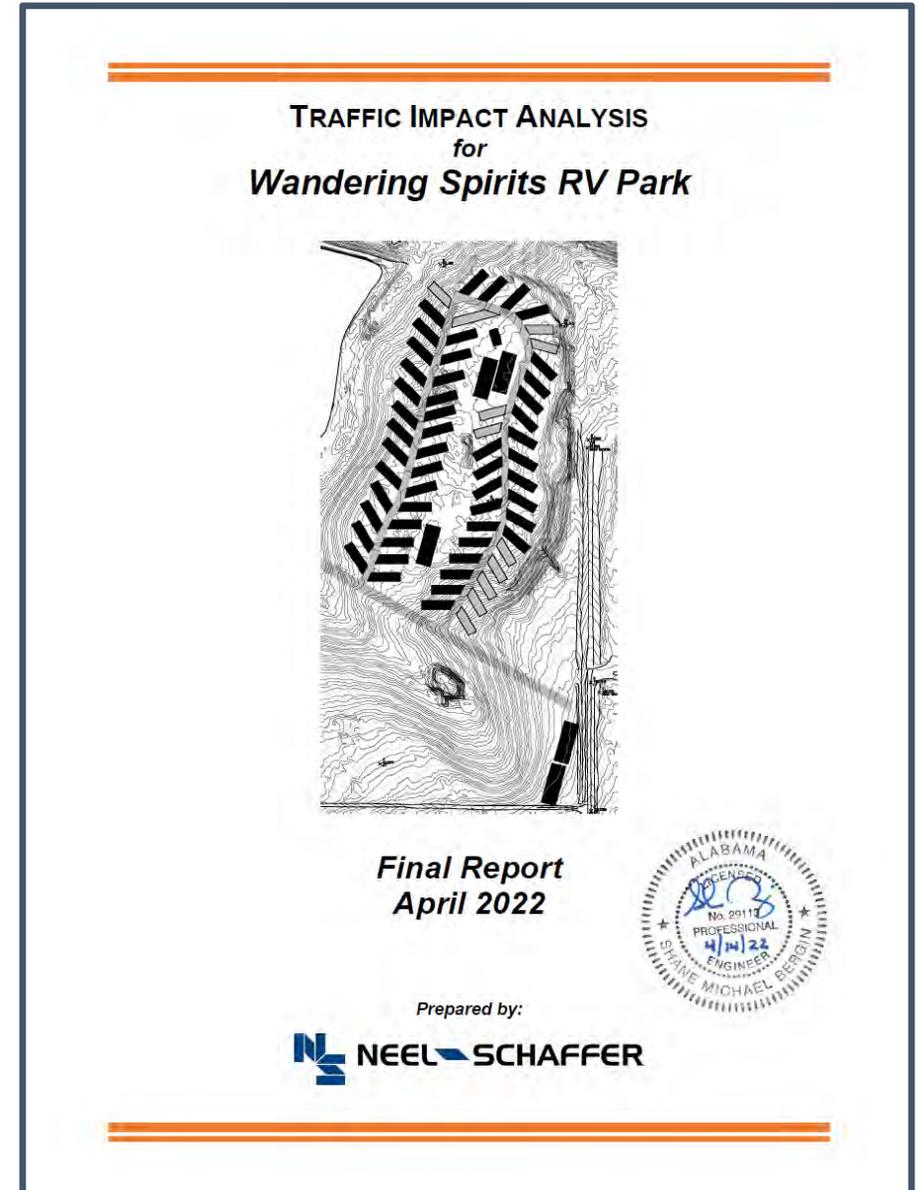
buildout of approximately 62 lots. The existing property is being developed into a new RV park. The post-development runoff will be captured into a proposed open, dry detention pond. The pond has been designed to detain the runoff to



Staff Comments

Shane Michael Bergin, PE of *Neel-Schaffer* prepared the Traffic Impact Study (TIS) for the proposed subdivision.

- The TIS was accepted by the Baldwin County Highway Department
- Subdivision regulations will require the widening of Glass Rd. to 24 feet within 300 feet of the entrance to the RV Park (Section 5.16(b))



Staff recommends that the Final Site Plan for Case No. PUD 22-8, Wandering Spirits RV Park, be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations.



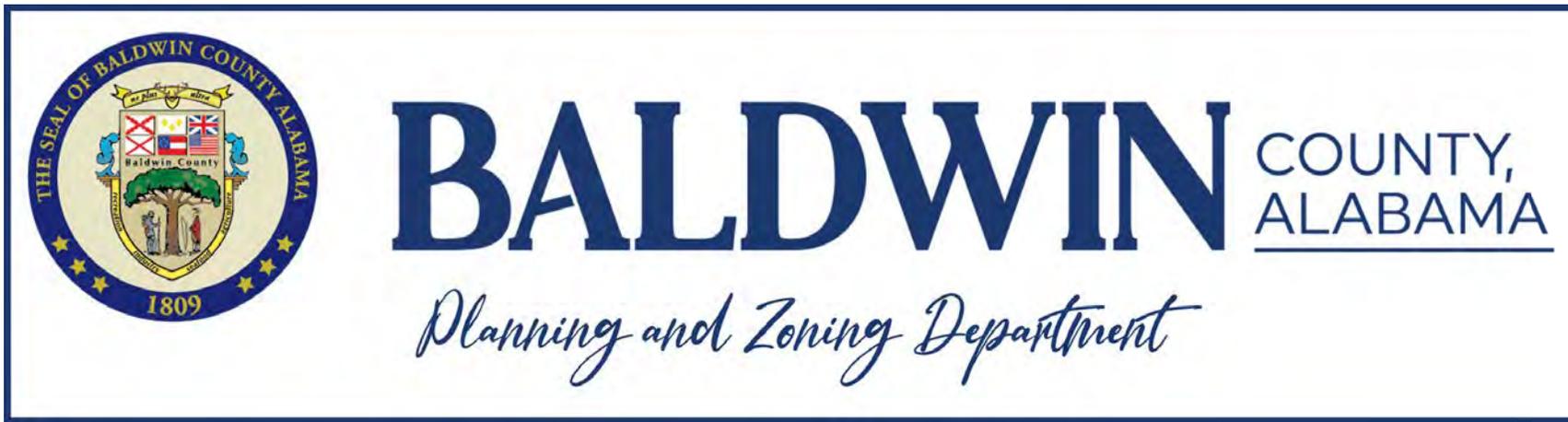
BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

NEXT REGULAR MEETING
SEPTEMBER 1, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



CONCURRENT SUBDIVISION REQUEST

CASE # SC22-17 SPRING CREEK SUBDIVISION

AGENDA ITEM # TBD

AUGUST 4, 2022

PRESENTED BY: JOHN B. (BUFORD) KING, DEPUTY DIRECTOR

9.b) SC22-17 SPRING CREEK SUBDIVISION

Staff Report Prepared by:
J. Buford King, Deputy Director

August 4, 2022

Request before the Planning Commission:

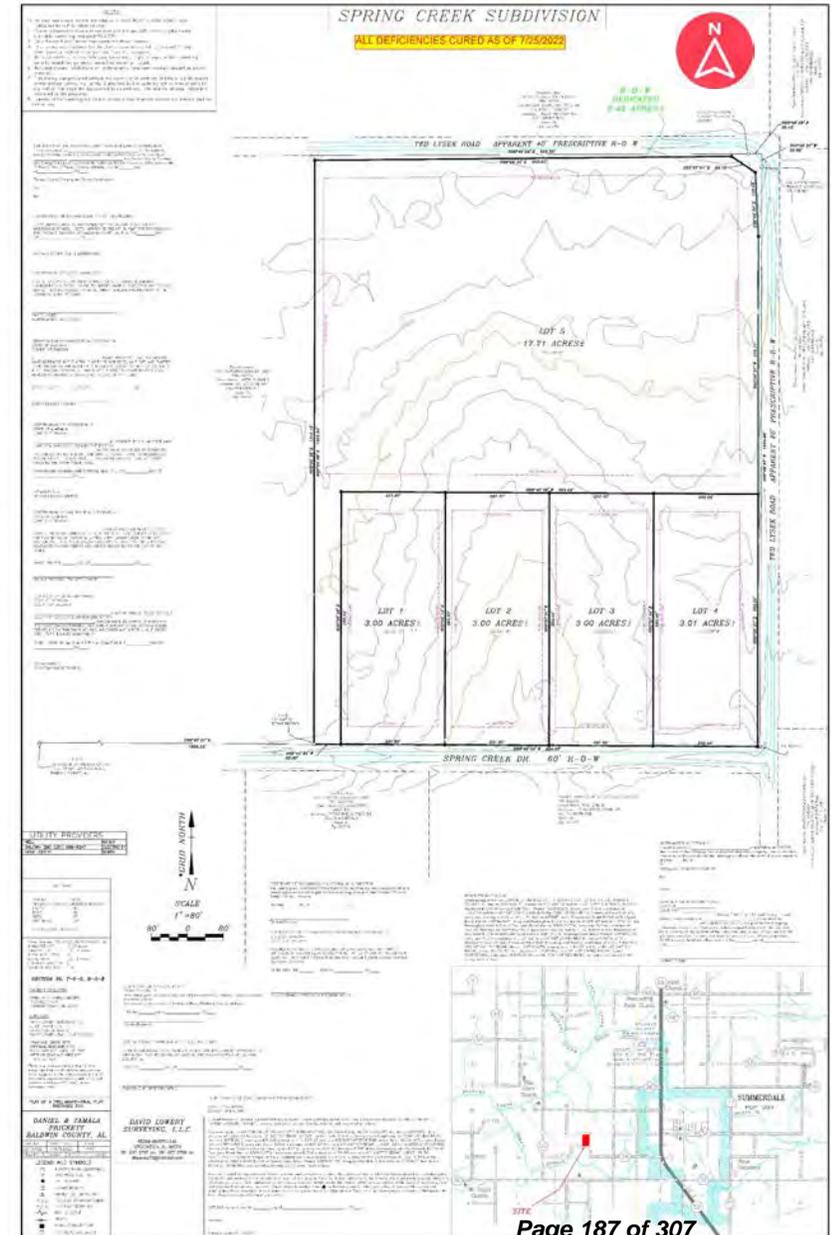
Preliminary Plat approval of *Spring Creek Subdivision*, a **5-lot** regulatory subdivision

Staff Recommendation: **APPROVAL**

(there are no contingencies or conditions of approval)

To view public comments, supporting documents, and maps/plats in higher resolution please visit the “Upcoming Items” Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



“Rule Books” Administered by the Planning & Zoning Department

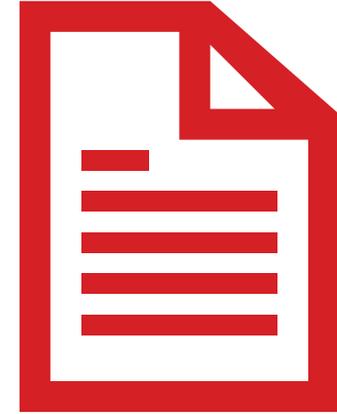


Zoning Ordinance



Subdivision Regulations

*SPRING CREEK
SUBDIVISION*



Unzoned Land
Disturbance Ordinance



Highway Construction
Setback



Architectural Review
Board Standards



Billboard Ordinance

Location: Subject property is located at the northwest corner of Ted Lysek Road and Spring Creek Drive approximately $\frac{3}{4}$ miles west of the Town of Summerdale

Planning District: 18

Zoning: The Citizens of Planning District 18 have **not implemented** zoning

Total Property Area: 30.14 acres

Total # of Lots requested: 5 Lots

Lot 1: 3.0 acres +/- Lot 2: 3.0 acres +/- Lot 3: 3.00 acres +/-

Lot 4: 3.01 acres +/- Lot 5: 17.71 acres +/-

- Setbacks: 40' Front, 40' Rear 15' Side, 40' street side (or as shown)

Streets / Roads: **no new public streets**, sidewalks, or curb and gutter to be installed (these improvements are not required for the requested lot sizes per section 5.1.1)

- Existing Spring Creek Drive frontage utilized for access for all lots

Surveyor of Record: David Lowery, PLS, *David Lowery Surveying, LLC*

Engineer of Record: J.E. Hamlin, PE, *J.E. Hamlin, LLC*

Owner / Developer: *Daniel and Tamala Prickett* P.O Box 1424 Orange Beach, AL 36561

Online Case File Number: The official case number for this application is SC22-17, however, when searching online CitizenServe database, please use SC22-000017.

Parcel: 05-47-07-35-0-000-001.001 **PIN:** 286741

Traffic Study: Not required by section 5.5.14 when less than 50 lots are requested and not otherwise required by the County Engineer

Drainage Improvements: A drainage narrative was prepared by J.E. Hamlin, PE, of J.E. Hamlin, LLC and was accepted by the Baldwin County Highway Department. **No drainage improvements** are required for the subdivision.

Wetlands: No potential wetlands are indicated on the Baldwin County Generalized Wetland Map and thus a wetland delineation was not required for subject property

Utility Providers:

- Domestic Water: Private Well
- Sewer: On-Site Septic
- Electrical: Baldwin EMC
- Broadband: **Not required** for the subdivision due to lot sizes exceeding 20,000sf for which new roads are not constructed per table 5.1.1



SPRING CREEK SUBDIVISION

ALL DEFICIENCIES CURED AS OF 7/25/2022

- As shown on this plan, the area within the R-O-W (Right-of-Way) lines is dedicated to the use of:
- Surface improvements such as streets, sidewalks, and utility easements shall be constructed within the R-O-W.
- Construction of utility easements shall be in accordance with the applicable codes of Baldwin County.
- The utility easements for the utility companies shall be used for the purpose of providing utility services to the public.
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THE CITY OF BALDWIN COUNTY HAS REVIEWED THIS PLAN AND HAS DETERMINED THAT IT IS IN ACCORDANCE WITH THE ZONING ORDINANCE OF BALDWIN COUNTY, ALABAMA.

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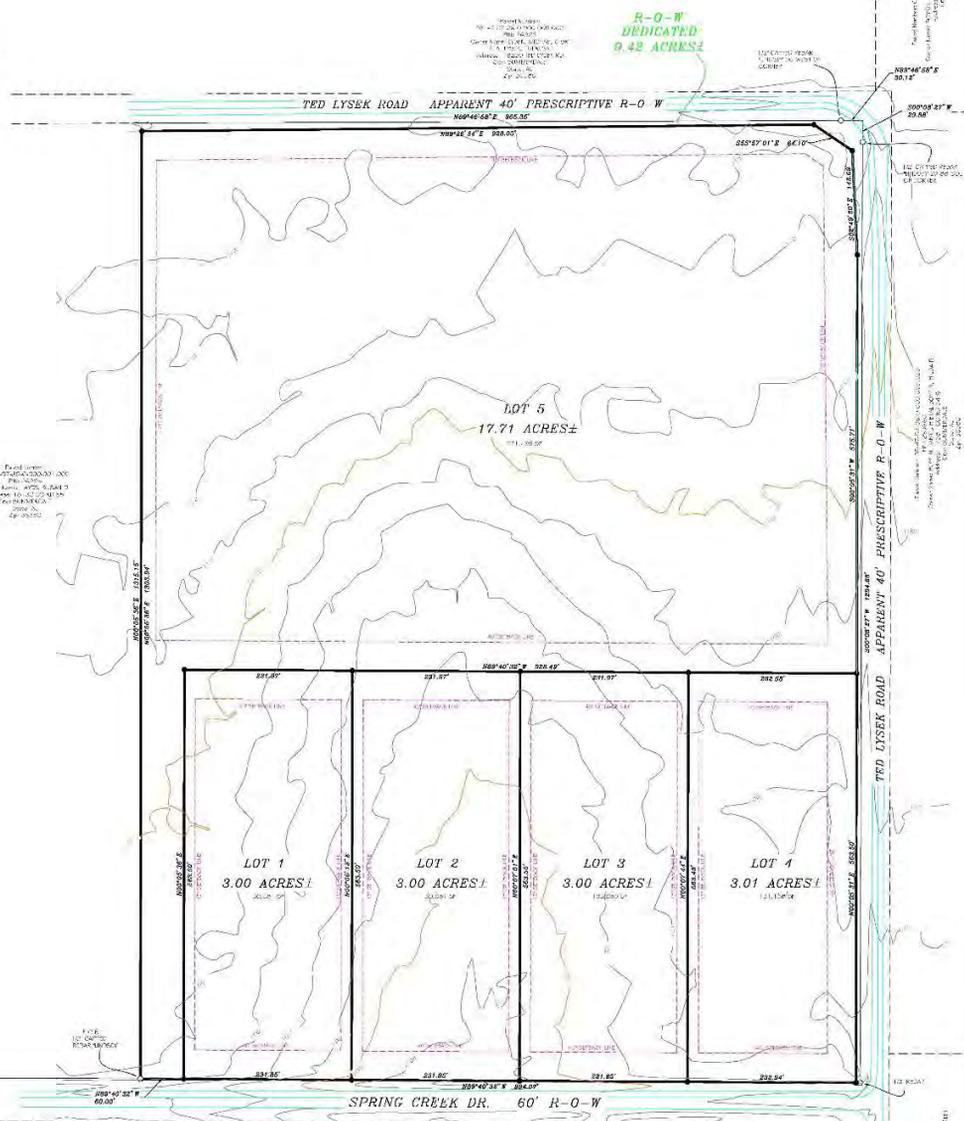
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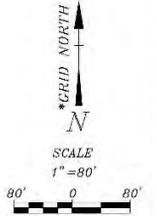
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UTILITY PROVIDERS	TYPE	LOCATION
WATER	UNDERGROUND	ALONG SPRING CREEK DR.
SEWER	UNDERGROUND	ALONG SPRING CREEK DR.
ELECTRIC	UNDERGROUND	ALONG SPRING CREEK DR.
TELEPHONE	UNDERGROUND	ALONG SPRING CREEK DR.



SECTION 36, 7-6-S, R-3-E

OWNER: DANIEL & TAMARA PRICKETT

PREPARED BY: DAVID LOWERY SURVEYING, L.L.C.

DAVID LOWERY SURVEYING, L.L.C.
 25 EAST 20TH ST. SUITE 200
 DUNWOODY, GA 30338
 (770) 400-1111
 dlowery@dlsurvey.com

DANIEL & TAMARA PRICKETT
 BALDWIN COUNTY, AL

25 EAST 20TH ST. SUITE 200
 DUNWOODY, GA 30338
 (770) 400-1111
 dlowery@dlsurvey.com

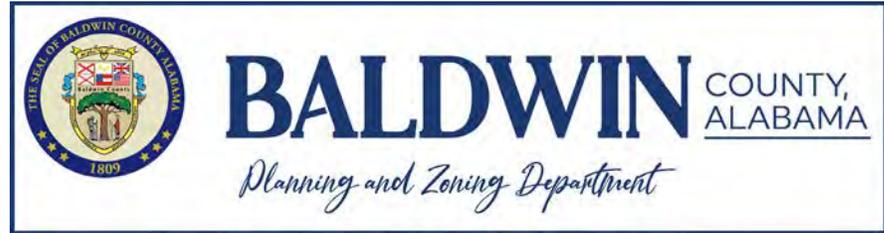
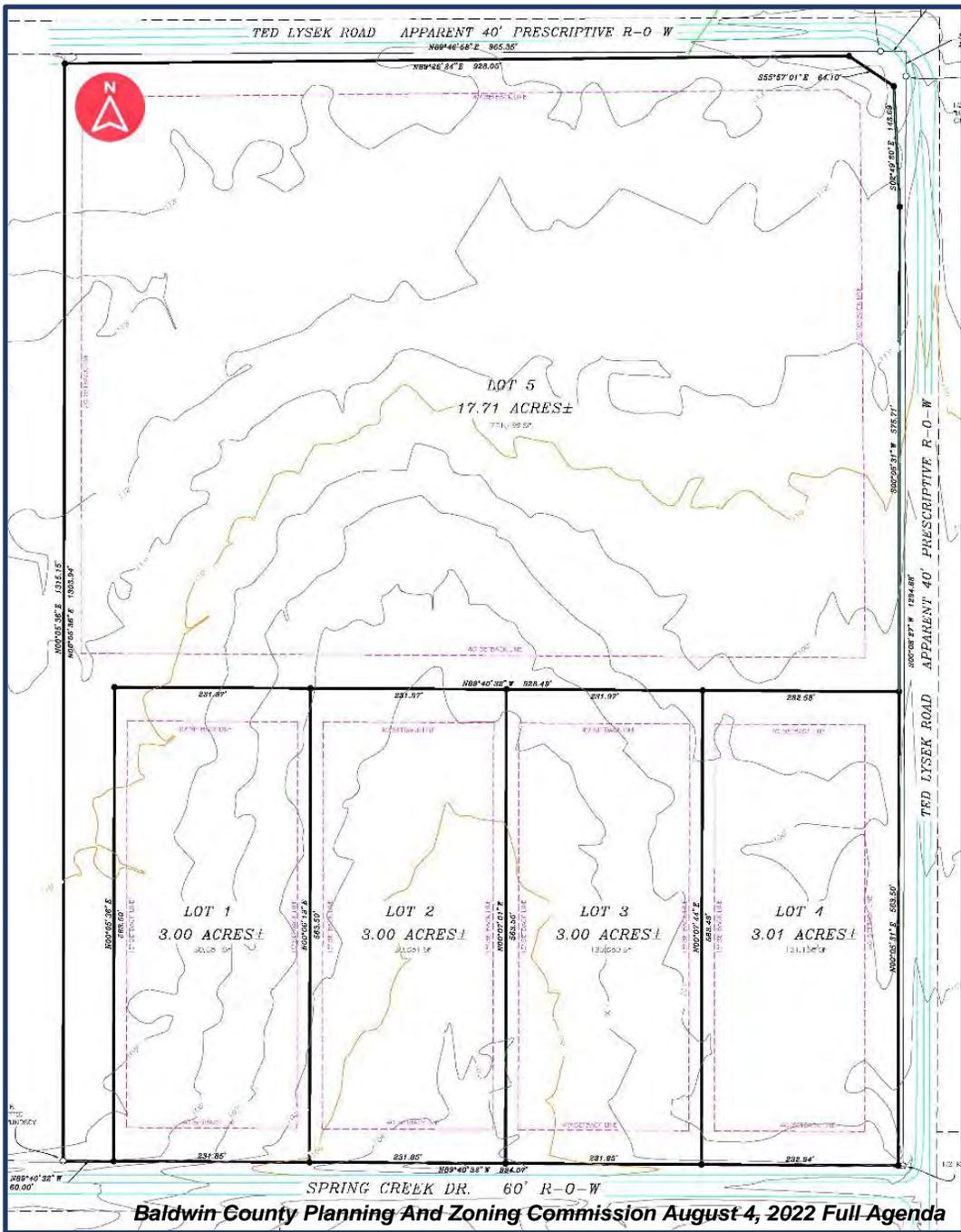
DAVID LOWERY SURVEYING, L.L.C.
 25 EAST 20TH ST. SUITE 200
 DUNWOODY, GA 30338
 (770) 400-1111
 dlowery@dlsurvey.com

ADJACENT PARCELS: [List of adjacent parcels and owners]

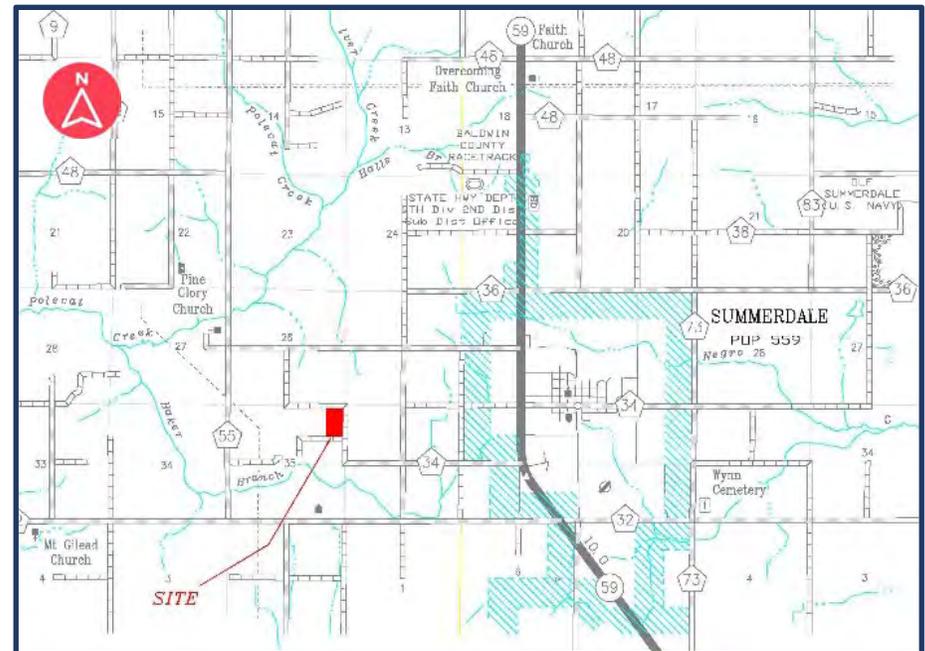
ADJACENT UTILITIES: [List of utility easements]

ADJACENT ROADS: [List of roads]





SC22-17 SPRING CREEK SUBDIVISION
PRELIMINARY PLAT AND VICINTY MAP
CROPPED AND ENLARGED TO SHOW DETAILS



SC22-17 SPRING CREEK SUBDIVISION VICINITY MAP



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

Subject Property
05-52-05-21-0-000-009.000
PIN 6966

CR55

CR32

SR59





BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

CR55

Subject Property
05-52-05-21-0-000-009.000
PIN 6966

CR32

SR59

SC22-17 SPRING CREEK SUBDIVISION VICINITY MAP
TOWN OF SUMMERDALE IN YELLOW

Baldwin County Planning And Zoning Commission August 4, 2022 Full Agenda



SC22-17 SPRING CREEK SUBDIVISION AERIAL SITE MAP



BALDWIN

COUNTY,
ALABAMA

Planning and Zoning Department

Subject Property
05-52-05-21-0-000-009.000
PIN 6966

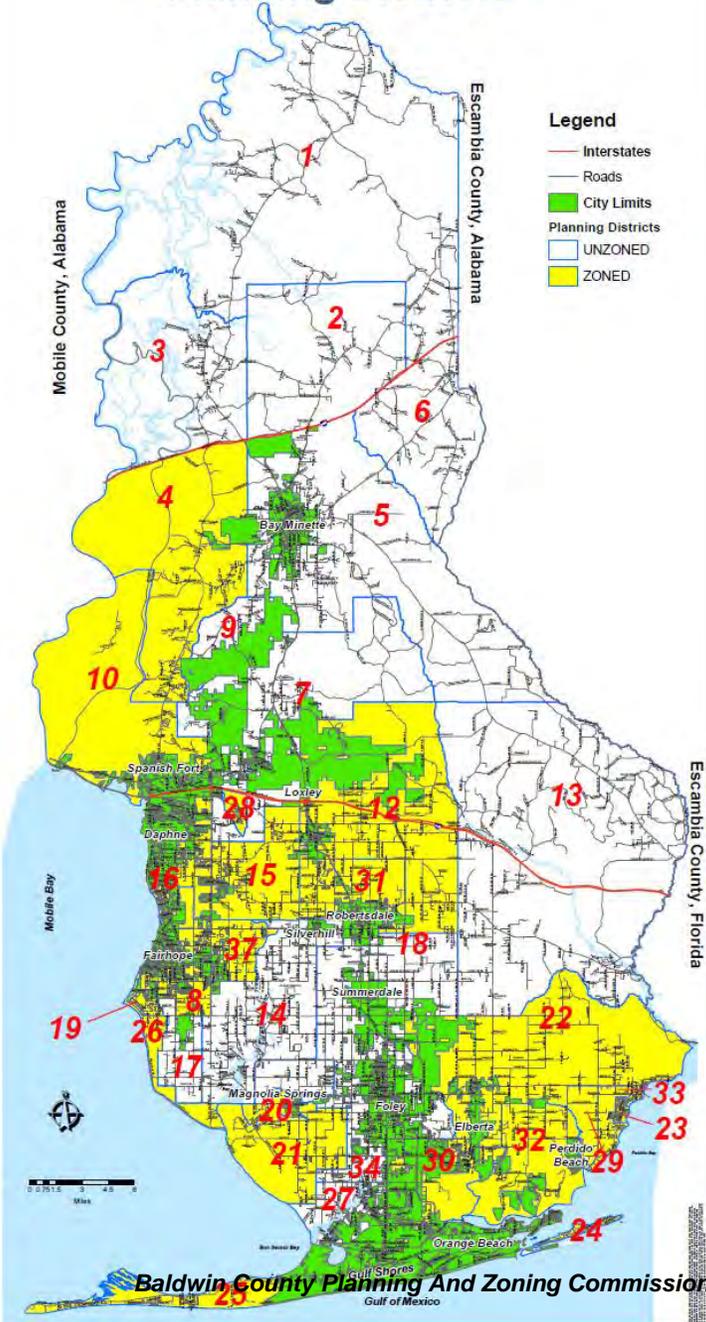
CR55

CR32

SR59



Baldwin County, Alabama Planning Districts



Legend
 Interstates
 Roads
 City Limits
 Planning Districts
 UNZONED
 ZONED

Legend

— Interstates

— Roads

■ City Limits

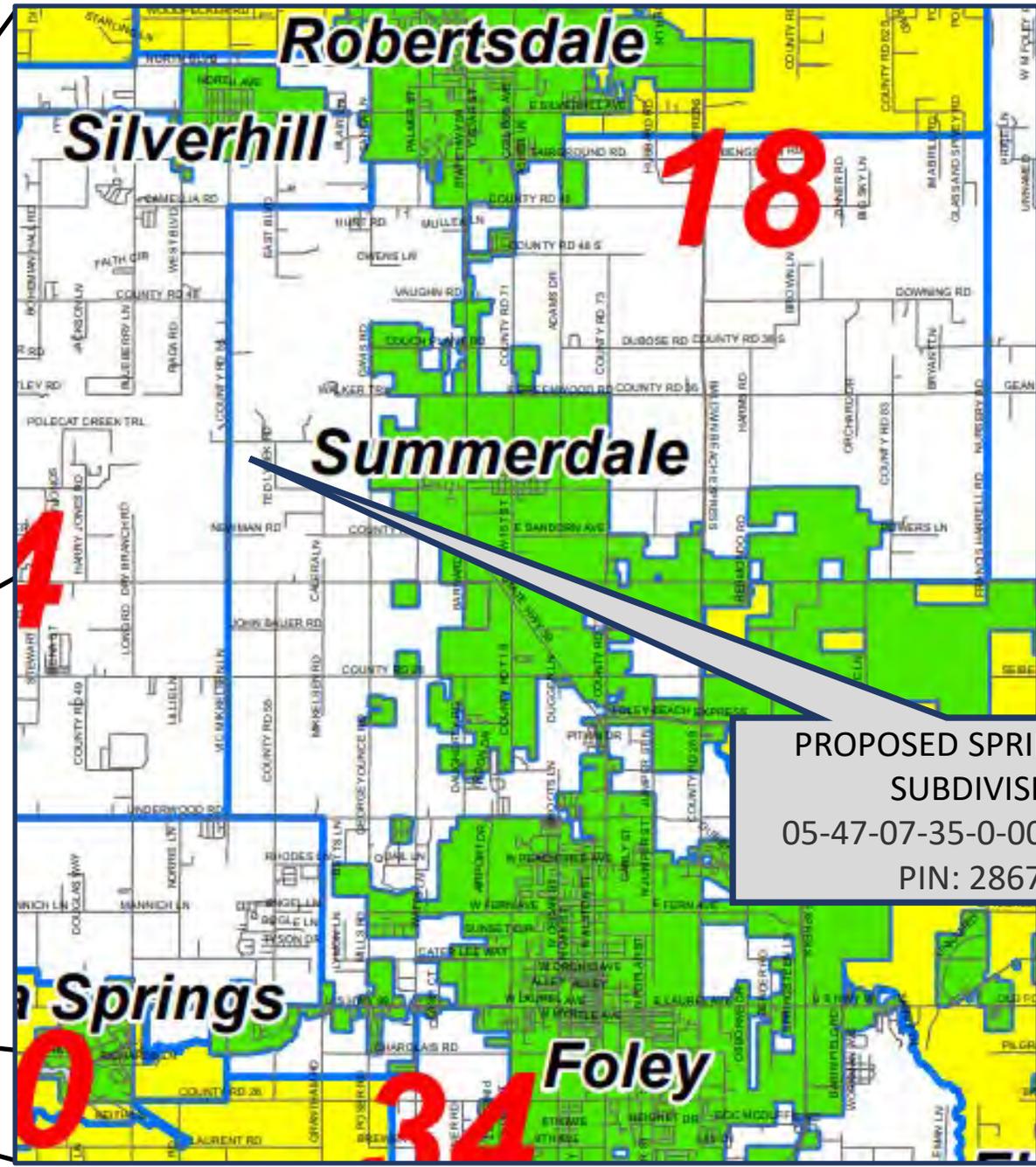
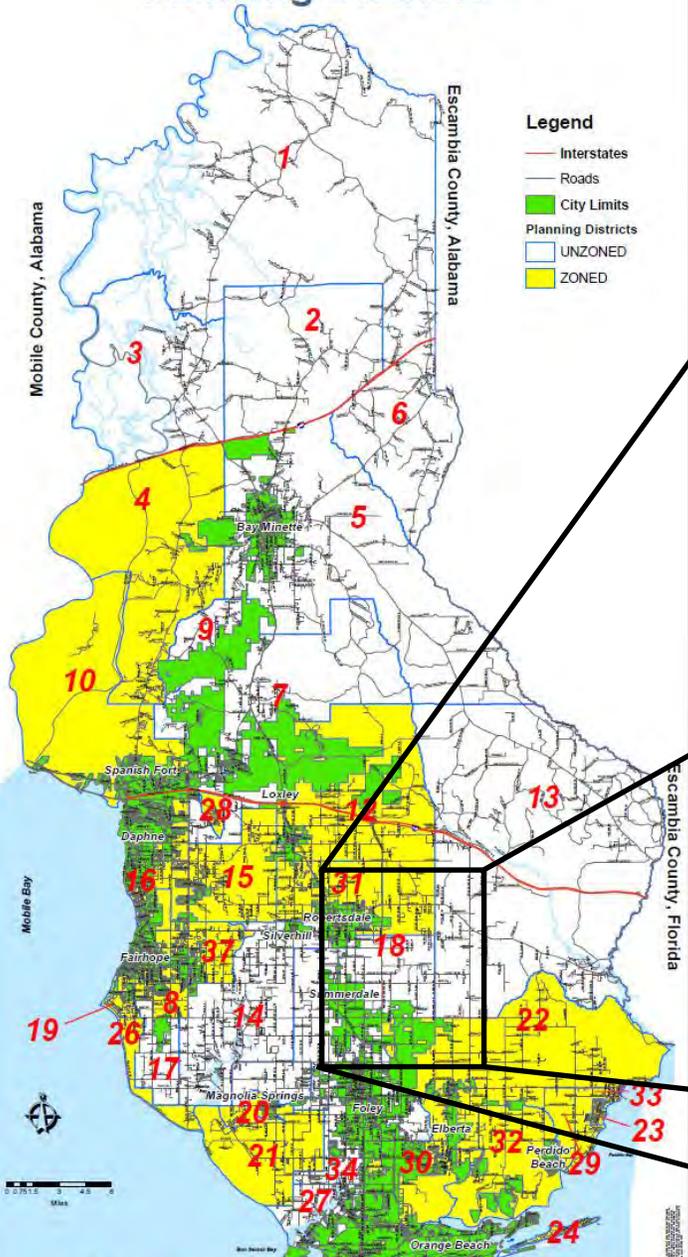
Planning Districts

□ UNZONED

■ ZONED

Baldwin County, Alabama Planning Districts

- Legend**
- Interstates
 - Roads
 - City Limits
 - Planning Districts
 - UNZONED
 - ZONED



**PROPOSED SPRING CREEK
SUBDIVISION**
 05-47-07-35-0-000-001.001
 PIN: 286741

SC22-17 SPRING CREEK SUBDIVISION

Staff Comments

- J.E. Hamlin, PE, PE of J.E. Hamlin, LLC prepared the drainage narrative (at right) for the proposed subdivision
 - The drainage narrative was accepted by the Baldwin County Highway Department
 - No drainage improvements are required

J. E. Hamlin
Professional Engineer
14200 South Blvd.
Silverhill, AL. 36576

March 18, 2022
Mary Booth, CAPZO
Subdivision Coordinator
Baldwin County Planning and Zoning
22251 Palmer Street
Robertsdale, AL 36567

Re: Spring Creek - Summerdale Area
Daniel Prickett - Owner

Mary Booth:

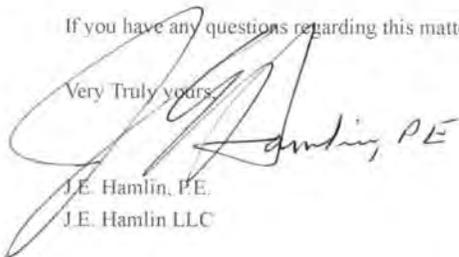
At the request of David Lowery, Surveyor, I have reviewed the current drainage conditions at the above referenced subdivision. My observations and opinions are as contained herein.

OBSERVATIONS:

1. The 30 acre site is being divided into 5 lots, the smallest being 3 acres.
2. Most predevelopment runoff flows under Spring Creek Drive, through various owners to Baker Branch, Polecat Creek and ultimately to Fish River and Weeks Bay. A small amount flows over Ted Lysek Road to a small pond East of the subject property. The property is currently in hay production.
3. No additional improvements will be done by the developer, so most known post development runoff will flow to Fish River and Weeks Bay as before.

It is my professional opinion that division of this property will not cause any deleterious conditions to downstream property.

If you have any questions regarding this matter, do not hesitate to call me or the developer.

Very Truly yours,

J.E. Hamlin, P.E.
J.E. Hamlin LLC

SC22-17 SPRING CREEK SUBDIVISION

Staff Comments

- J.E. Hamlin, PE, PE of J.E. Hamlin, LLC prepared the drainage narrative (at right) for the proposed subdivision
 - The drainage narrative was accepted by the Baldwin County Highway Department
 - No drainage improvements are required

J. E. Hamlin
Professional Engineer
14200 South Blvd.
Silverhill, AL. 36576

March 18, 2022
Mary Booth, CAPZO
Subdivision Coordinator
Baldwin County Planning and Zoning
22251 Palmer Street
Robertsdale, AL 36567

Re: Spring Creek - Summerdale Area
Daniel Prickett - Owner

Mary Booth:
At the request of David Lowery, Surveyor, I have reviewed the current drainage conditions at the above referenced subdivision. My observations and opinions are as contained herein.

OBSERVATIONS:

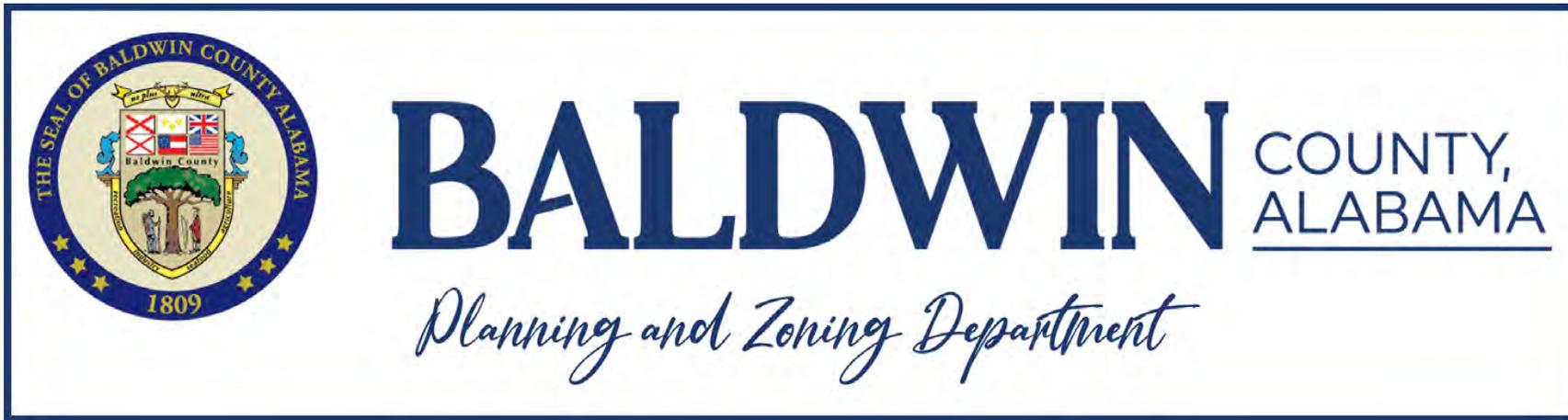
1. The 30 acre site is being divided into 5 lots, the smallest being 3 acres.
2. Most predevelopment runoff flows under Spring Creek Drive, through various owners to Baker Branch, Polecat Creek and ultimately to Fish River and Weeks Bay. A small amount flows over Ted Lysek Road to a small pond East of the subject property. The property is currently in hay production.

3. No additional improvements will be done by the developer, so most known post development runoff will flow to Fish River and Weeks Bay as before. It is my professional opinion that division of this property will not cause any deleterious conditions to downstream property.

SC22-17 SPRING CREEK SUBDIVISION

CONCURRENT SUBDIVISION REQUEST **STAFF RECOMMENDATION**

Staff recommends that the Concurrent Subdivision Case No. SP22-17, *Spring Creek Subdiviso* be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations. There are no conditions of approval.



SUBDIVISION PRELIMINARY PLAT REQUEST
SC22-25 PEEBLES SUBDIVISION
AUGUST 4, 2022

PRESENTED BY: MARY BOOTH, SUBDIVISION COORDINATOR

9.c)SC22-25 PEEBLES SUBDIVISION

August 4, 2022

Request before Planning Commission:

Preliminary Plat approval

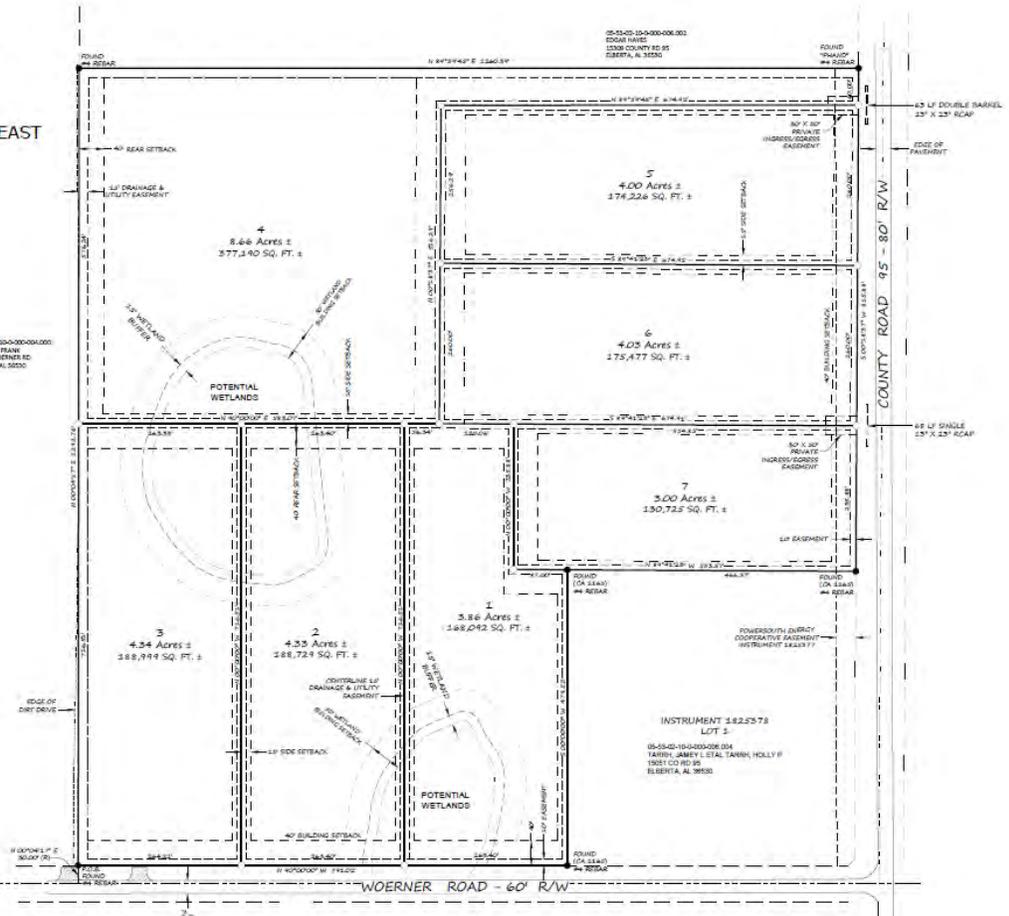
Peebles Subdivision ,
a **7-lot** subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution
and public comments received related to
this case, please visit the “Upcoming
Items” Planning and Zoning webpage :

[https://baldwincountyal.gov/departments/
planning-zoning/meeting-agenda](https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda)

PEEBLES SUBDIVISION
FIRST ADDITION
BALDWIN COUNTY, ALABAMA
SECTION 10, TOWNSHIP 7 SOUTH, RANGE 5 EAST
DATE OF PLAT: JULY 21, 2022



Location: Subject property is located on the north side of Woerner Road and west side of County Road 95 in Elberta.

Planning District: 22

Zoning: RA

Total Property Area to be divided: 32.22 acres

Total # of Lots requested: 7 lots

Surveyor: Trent Wilson, PLS, *Weygand Wilson Surveyors*
229 E. 20th Ave., Suite 12, Gulf Shores, AL 36542

Owner / Developer: William B. Benton, Sr.
PO Box 850, Heber Springs, AR 72543

Online Case File Number: The official case number for this application is SC22-25 , however, when searching online CitizenServe database, please use SC22-000025.

Parcel: 05-53-02-10-0-000-006.001

PIN: 90983

Traffic Study: Not required (less than 50 lots requested and thus not required per Article 5, section 5.5.14)

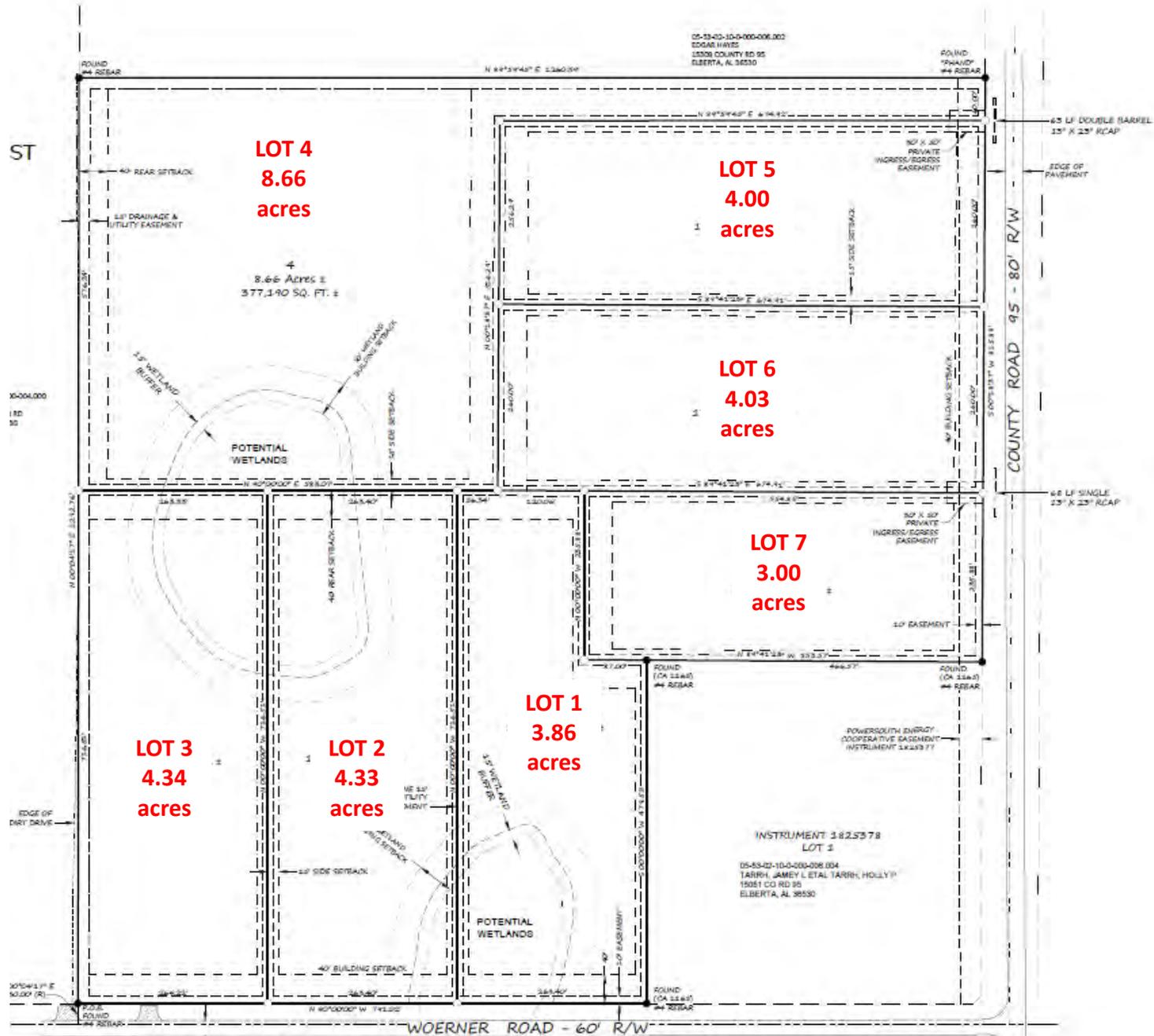
Drainage Improvements: None required, the drainage pattern will remain the same once this subdivision is created.

Wetlands: A wetland delineation has not been provided. The applicant has invoked regulation 5.2.2(e) and shown the 50' wetland building setback and a 15' natural buffer.

Streets / Roads: No new streets, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: On-Site Well
- Electrical: Baldwin EMC
- Septic: On-Site Septic





County Road 95

SC22-25 PEEBLES SUBDIVISION
 ZONING MAP

SUBJECT PROPERTY
 05-53-02-10-0-000-006.001
 PIN: 90983

County Road 87

Woerner Road

County Road 93

US 98

- Zoning
- Rural District (RR)
- Rural Agricultural District (RA)
- Conservation Resource District (CR)
- Residential Single Family Estate District (RSF-E)
- Residential Single Family District (RSF-1)
- Residential Single Family District (RSF-2)
- Residential Single Family District (RSF-3)
- Residential Single Family District (RSF-4)
- Residential Two Family District (RTF-4)
- Residential Single Family District (RSF-6)
- Residential Two Family District (RTF-6)
- Residential Multiple Family District (RMF-6)
- Residential Manufactured Housing Park District (RMH)
- Marine Recreation District (MR)
- Outdoor Recreation District (OR)
- Tourist Resort District (TR)
- Recreational Vehicle Park District (RV-1)
- Recreational Vehicle Park District (RV-2)
- Professional Business District (B-1)
- Neighborhood Business District (B-2)
- General Business District (B-3)
- Major Commercial District (B-4)
- Limited Business District (LB)
- Light Industrial District (M-1)
- General Industrial District (M-2)
- Moratorium District



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

SUBJECT PROPERTY
05-53-02-10-0-000-006.001
PIN: 63758

County Road 95

Woerner Road

US HWY 98

**SC22-25 PEBBLES SUBDIVISION
VICINITY VIEW**



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

SUBJECT PROPERTY
05-53-02-10-0-000-006.001
PIN: 63758

County
Road 95

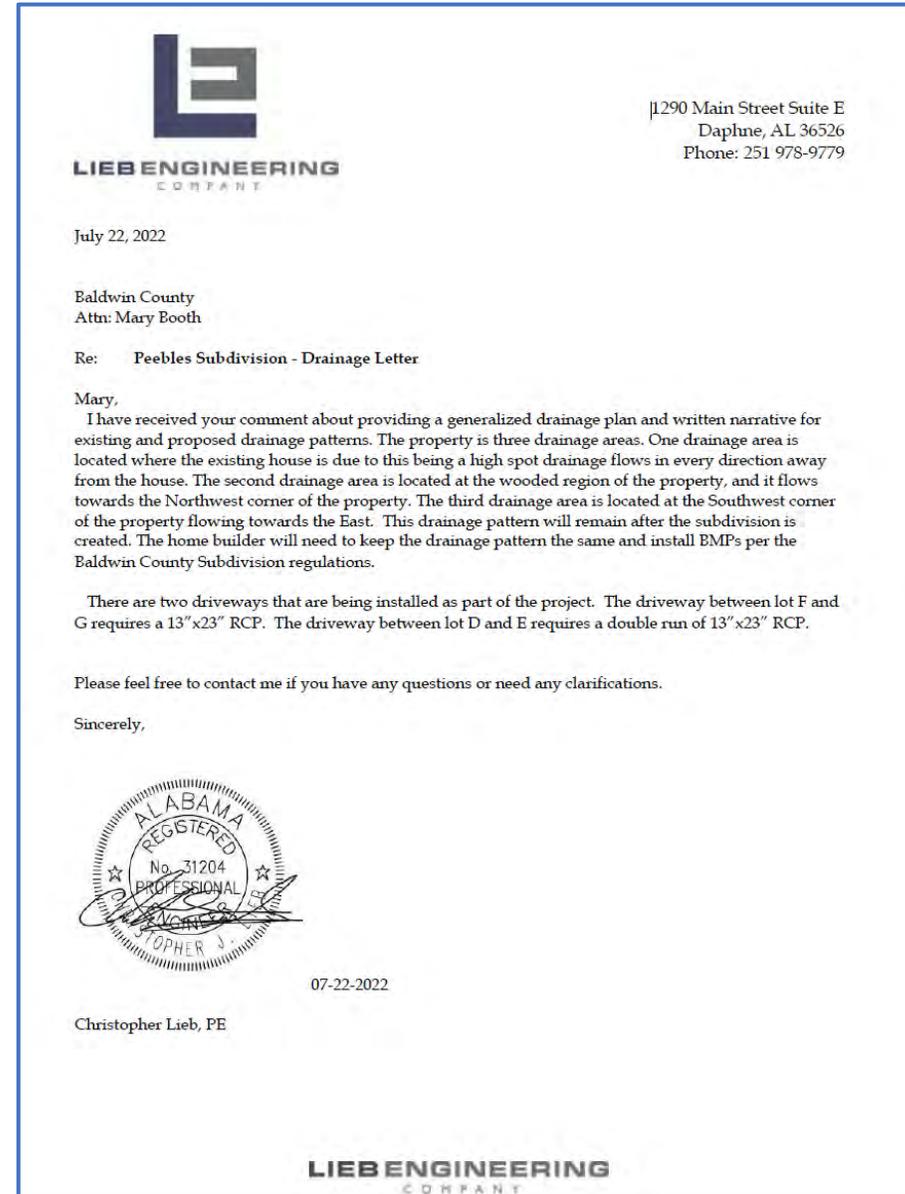
Woerner
Road

US HWY
98

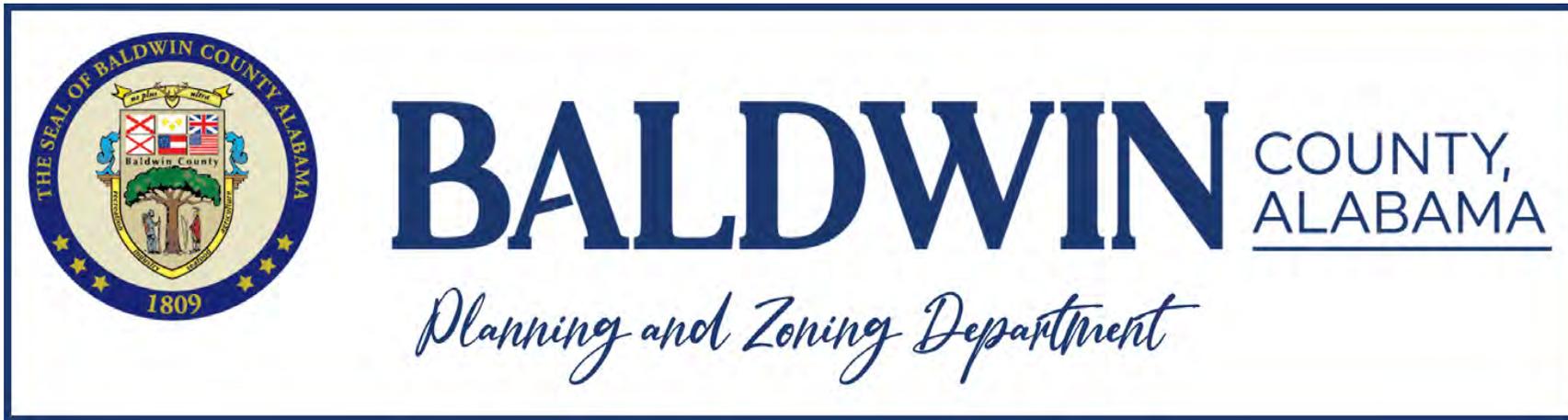
SC22-25 PEBBLES SUBDIVISION
VICINITY VIEW

Staff Comments

- Chris Lieb, P.E., of Lieb Engineering Company, prepared a written drainage narrative for subject property
 - The drainage pattern will remain after the subdivision is created. There will be no need to install stormwater mitigation due to the creation of the subdivision.
 - There are no new roads nor impervious improvements slated to be built as part of this subdivision.
 - Drainage Narrative includes for two (2) common drives to be installed on County Road 95.
 - The written drainage narrative has been reviewed and accepted by the Baldwin County Highway Department.



There are no conditions for approval and Staff recommends that the Preliminary Plat application for Case No. SC22-25 , Peebles Subdivision, be APPROVED subject to compliance with the Baldwin County Subdivision Regulations, including but not limited to, installing common drives per Baldwin County Highway specifications and approval of same prior to final plat approval.



SUBDIVISION PRELIMINARY PLAT REQUEST

SC22-28 BFLC ELAM CREEK WEST PH 4
SUBDIVISION

AUGUST 4, 2022

PRESENTED BY: MARY BOOTH, SUBDIVISION COORDINATOR

9.d) SC22-28 BFLC ELAM CREEK WEST PH 4 SUBDIVISION

August 4, 2022

Request before Planning Commission:

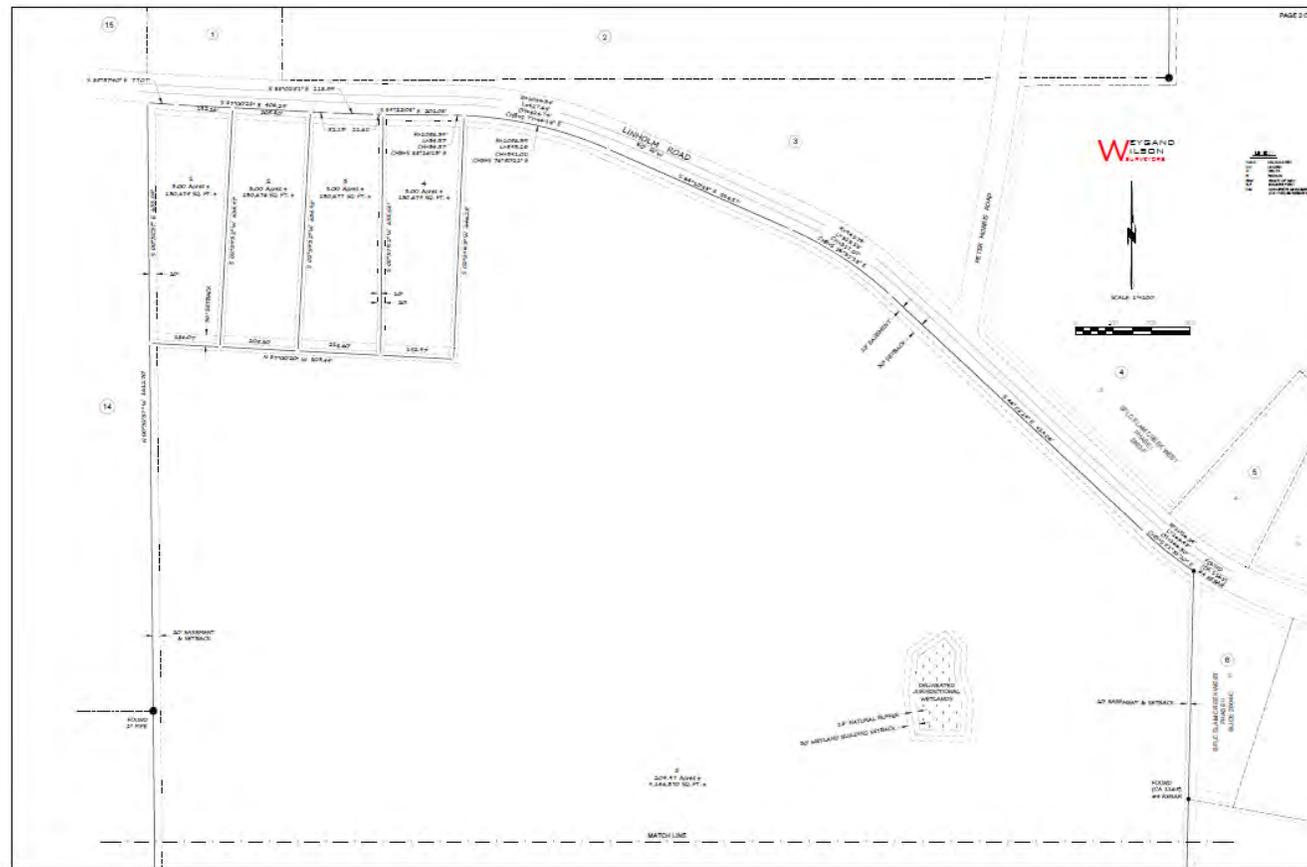
Preliminary Plat approval

BFLC ELAM CREEK WEST PH 4 Subdivision ,
a **5-lot** subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage :

<https://baldwincountyga.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located on the north side of Linholm Road approximately 1.17 miles west of County Road 87 .

Planning District: 13

Zoning: The citizens of Planning District 13 have **not implemented zoning**

Total Property Area to be divided: 221.97 acres

Total # of Lots requested: **5 lots**

Surveyor: Trent Wilson, PLS, *Weygand Wilson Surveyors*
229 E. 20th Ave., Suite 12, Gulf Shores, AL 36542

Owner / Developer: Belle Fountain Land Company LLC
PO Box 4088 Gulf Shores, AL 36547

Online Case File Number: The official case number for this application is SC22-28, however, when searching online CitizenServe database, please use SC22-000028.

Parcel: 05-40-02-04-0-000-001.000

PIN: 63758

Traffic Study: **Not required** (less than **50 lots** requested and thus not required per Article 5, section 5.5.14)

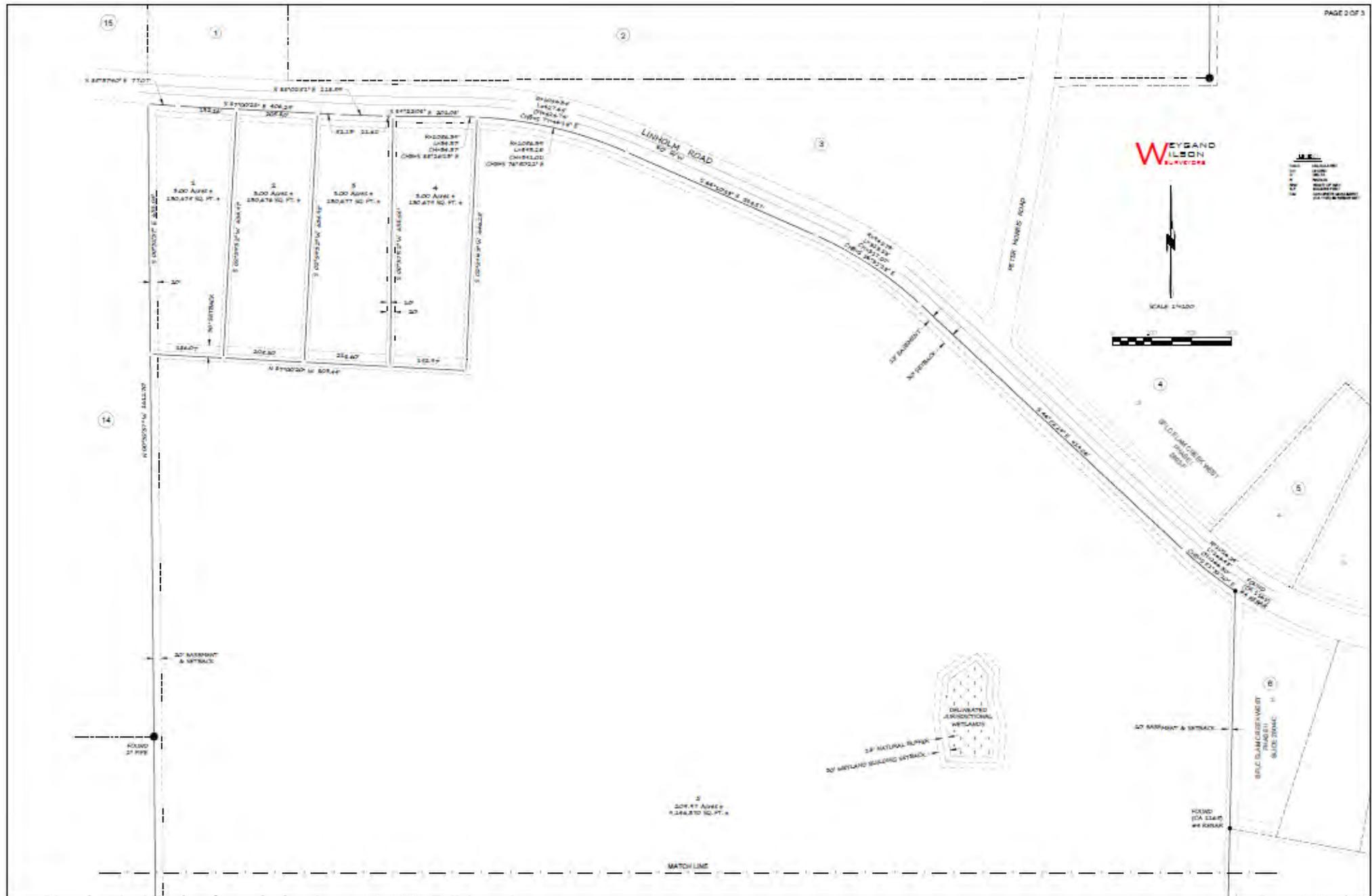
Drainage Improvements: **None required**, the drainage pattern will remain the same once this subdivision is created.

Wetlands: A wetland delineation has been provided which indicates jurisdictional wetlands. The wetlands and applicable setbacks have been shown on the plat.

Streets / Roads: **No new streets**, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: On-Site Well
- Electrical: Baldwin EMC
- Septic: On-Site Septic





BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

BFLC Elam
Creek West
Ph 1

Peter
Morris
Road

Linholm
Road

BFLC Elam
Creek East Ph 2

Goat
Cooper
Road

BFLC Eightmile
Creek East Ph 1

BFLC Elam
Creek West Ph
2

BFLC Eightmile
Creek East Ph 2

SUBJECT PROPERTY
05-40-02-04-0-000-001.000
PIN: 63758

BFLC Elam
Creek East Ph 1

Footsteps
Lane

SC22-28 Elam Creek West Ph 4
Subdivision - VICINITY VIEW



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

BFLC Elam
Creek West
Ph 1

Peter
Morris
Road

Linholm
Road

BFLC Elam
Creek East P

Goat
Cooper
Road

BFLC Elam
Creek West Ph
2

Footsteps
Lane

BFLC Eightmile
Creek East Ph 1

BFLC Elam
Creek East Ph 1

BFLC Eightmile
Creek East Ph 2

SUBJECT PROPERTY
05-40-02-04-0-000-001.000
PIN: 63758

SC22-28 Elam Creek West Ph 4
Subdivision - AERIAL VIEW

Staff Comments

- Chris Lieb, P.E., of Lieb Engineering Company, prepared a written drainage narrative for subject property
 - The drainage pattern will remain after the subdivision is created. There will be no need to install stormwater mitigation due to the creation of the subdivision.
 - There are no new roads nor impervious improvements slated to be built as part of this subdivision.
 - The written drainage narrative has been reviewed and accepted by the Baldwin County Highway Department.



1290 Main Street Suite E
Daphne, AL 36526
Phone: 251 978-9779

May 21, 2022

Baldwin County
Attn: Mary Booth

Re: BFLC Elam Creek West -Phase IV - Drainage Letter

Mary,
I have received your comment about providing a generalized drainage plan and written narrative for existing and proposed drainage patterns. The property drains from the east westward towards the adjacent property. This drainage pattern will remain after the subdivision is created. The home builder will need to keep the drainage pattern the same and install BMPs per the Baldwin County Subdivision regulations.

Please feel free to contact me if you have any questions or need any clarifications.

Sincerely,



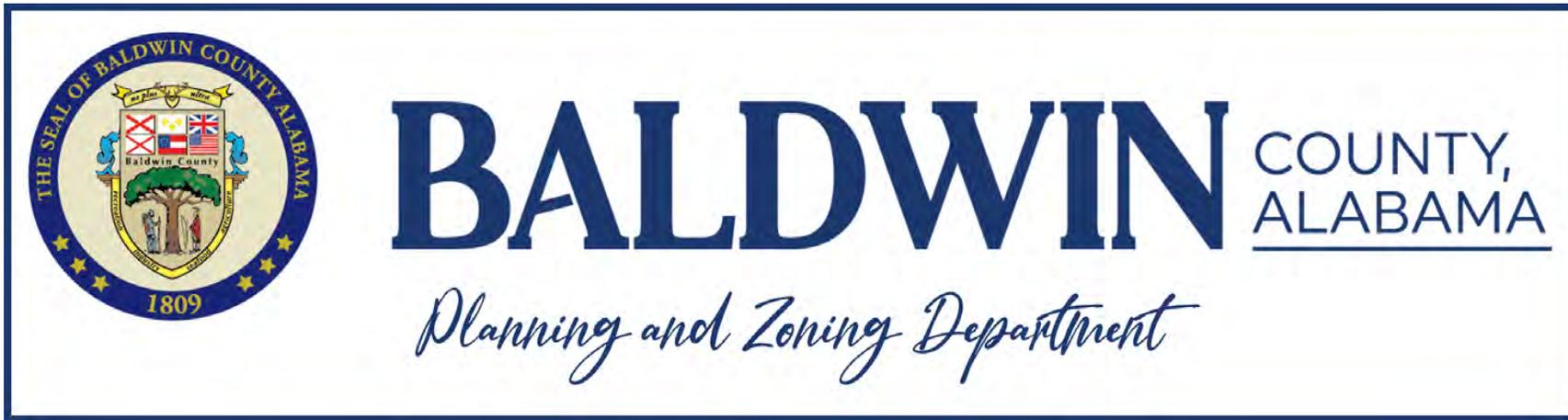
05-21-2022

Christopher Lieb, PE



Page 218 of 307

There are no conditions for approval and Staff recommends that the Preliminary Plat application for Case No. SC22-28, BFLC Elam Creek East Phase III Subdivision, be APPROVED subject to compliance with the Baldwin County Subdivision Regulations.



SUBDIVISION PRELIMINARY PLAT REQUEST

SC22-30 BFLC ELAM CREEK WEST PH III
SUBDIVISION

AUGUST 4, 2022

PRESENTED BY: MARY BOOTH, SUBDIVISION COORDINATOR

9.e) SC22-30 BFLC ELAM CREEK WEST PH III SUBDIVISION

Staff Report Prepared by:
Mary Booth, Subdivision Coordinator

August 4, 2022

Request before Planning Commission:

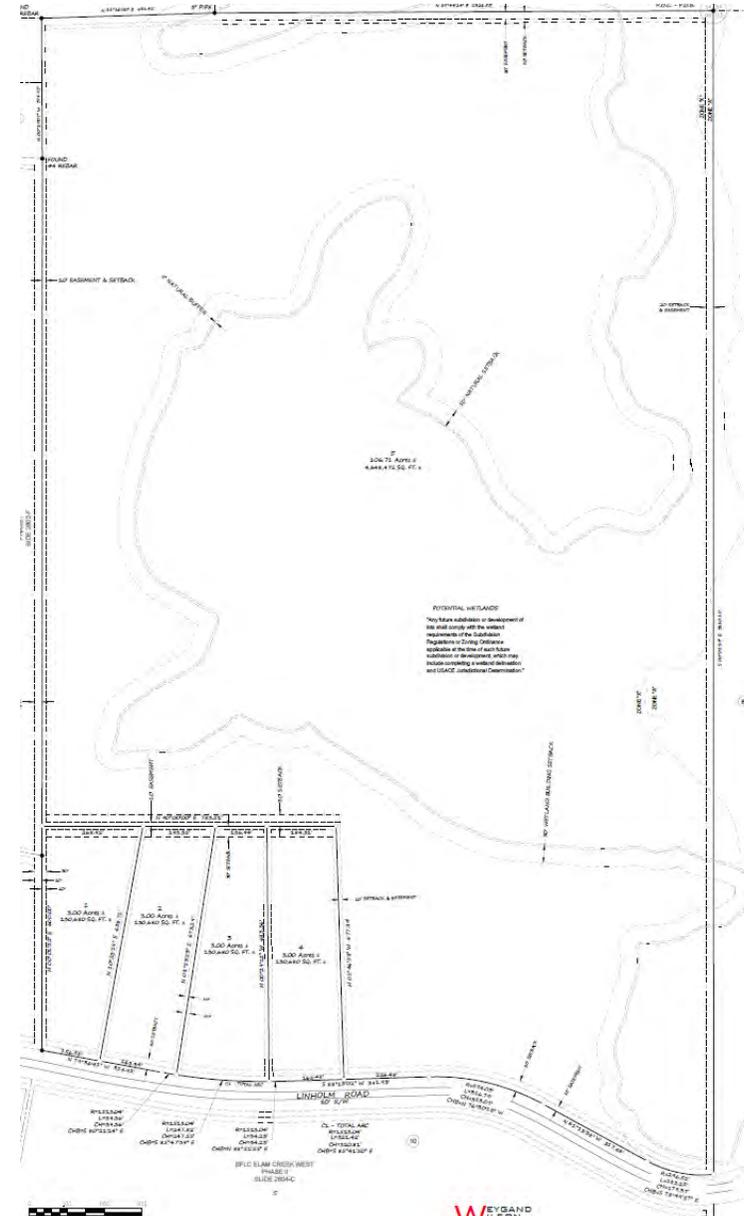
Preliminary Plat approval

BFLC ELAM CREEK WEST PH III Subdivision ,
a **5-lot** subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution
and public comments received related to
this case, please visit the “Upcoming
Items” Planning and Zoning webpage :

[https://baldwincountyal.gov/departments/
planning-zoning/meeting-agenda](https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda)



Location: Subject property is located on the north side of Linholm Road approximately 1.17 miles west of County Road 87 .

Planning District: 13

Zoning: The citizens of Planning District 13 have **not implemented zoning**

Total Property Area to be divided: 118.71 acres

Total # of Lots requested: **5 lots**

Surveyor: Trent Wilson, PLS, *Weygand Wilson Surveyors*
229 E. 20th Ave., Suite 12, Gulf Shores, AL 36542

Owner / Developer: Belle Fountain Land Company LLC
PO Box 4088 Gulf Shores, AL 36547

Online Case File Number: The official case number for this application is SC22-30, however, when searching online CitizenServe database, please use SC22-000030.

Parcel: 05-40-02-04-0-000-001.003

PIN: 391605

Traffic Study: **Not required** (less than **50 lots** requested and thus not required per Article 5, section 5.5.14)

Drainage Improvements: **None required**, the drainage pattern will remain the same once this subdivision is created.

Wetlands: Potential wetlands on site. No wetland delineation has been provided but the applicant has invoked regulation 5.5.2(e) for 50' wetland setback.

Streets / Roads: **No new streets**, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: On-Site Well
- Electrical: Baldwin EMC
- Septic: On-Site Septic



Peter Morris Road

BFLC Elam Creek West Ph 1

BFLC Elam Creek West Ph 2

SUBJECT PROPERTY
05-40-02-04-0-000-001.003
PIN: 391605

Linholt Road

BFLC Elam Creek East Ph 1

County Road 87

BFLC Elam Creek East Ph 2

SC22-30 BFLC ELAM CREEK WEST PH III
VICINITY MAP



Peter Morris Road

BFLC Elam Creek West Ph 1

County Road 87

Linholt Road

BFLC Elam Creek East Ph 2

BFLC Elam Creek West Ph 2

SUBJECT PROPERTY
05-40-02-04-0-000-001.003
PIN: 391605

BFLC Elam Creek East Ph 1

SC22-30 Elam Creek West Ph 3
Subdivision - AERIAL VIEW

Staff Comments

- Chris Lieb, P.E., of Lieb Engineering Company, prepared a written drainage narrative for subject property
 - The drainage pattern will remain after the subdivision is created. There will be no need to install stormwater mitigation due to the creation of the subdivision.
 - There are no new roads nor impervious improvements slated to be built as part of this subdivision.
 - The written drainage narrative has been reviewed and accepted by the Baldwin County Highway Department.



1290 Main Street Suite E
Daphne, AL 36526
Phone: 251 978-9779

May 21, 2021

Baldwin County
Attn: Mary Booth

Re: BFLC Elam Creek West -Phase III - Drainage Letter

Mary,

I have received your comment about providing a generalized drainage plan and written narrative for existing and proposed drainage patterns. The property drains from the western region of the property towards a low spot located in the center of the property. Once the water reaches the low region it then drains into Elam Creek. This drainage pattern will remain after the subdivision is created. The home builder will need to keep the drainage pattern the same and install BMPs per the Baldwin County Subdivision regulations.

Please feel free to contact me if you have any questions or need any clarifications.

Sincerely,



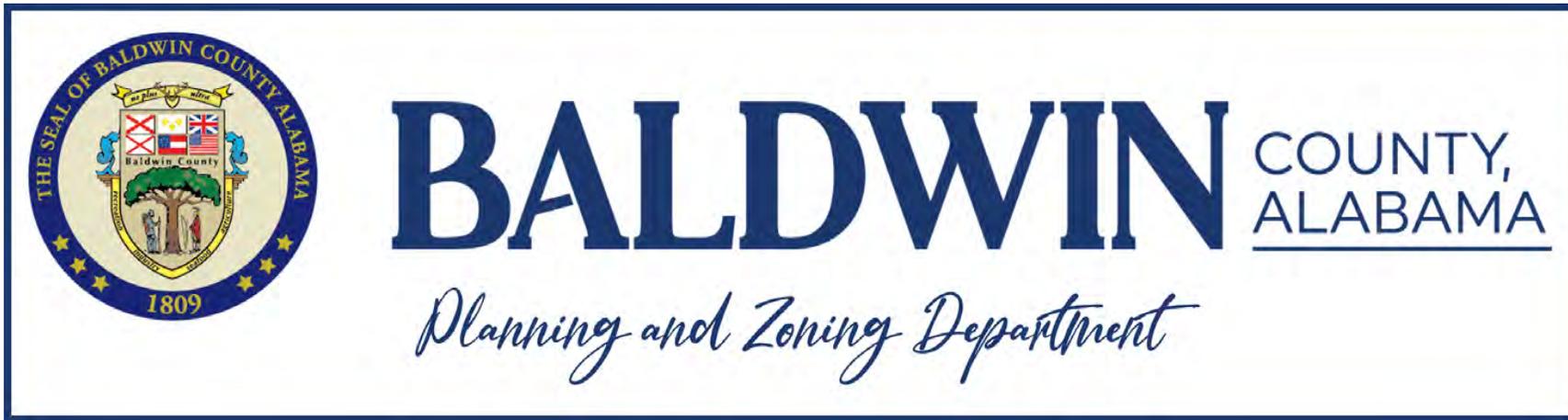
05-21-2022

Christopher Lieb, PE



Page 227 of 307

There are no conditions for approval and Staff recommends that the Preliminary Plat application for Case No. SC22-30, BFLC Elam Creek East Phase III Subdivision, be APPROVED subject to compliance with the Baldwin County Subdivision Regulations.



SUBDIVISION PRELIMINARY PLAT REQUEST

SC22-31 HEGE SUBDIVISION

AUGUST 4, 2022

PRESENTED BY: MARY BOOTH, SUBDIVISION COORDINATOR

9.f) SC22-31 HEGE SUBDIVISION

August 4, 2022

Request before Planning Commission:

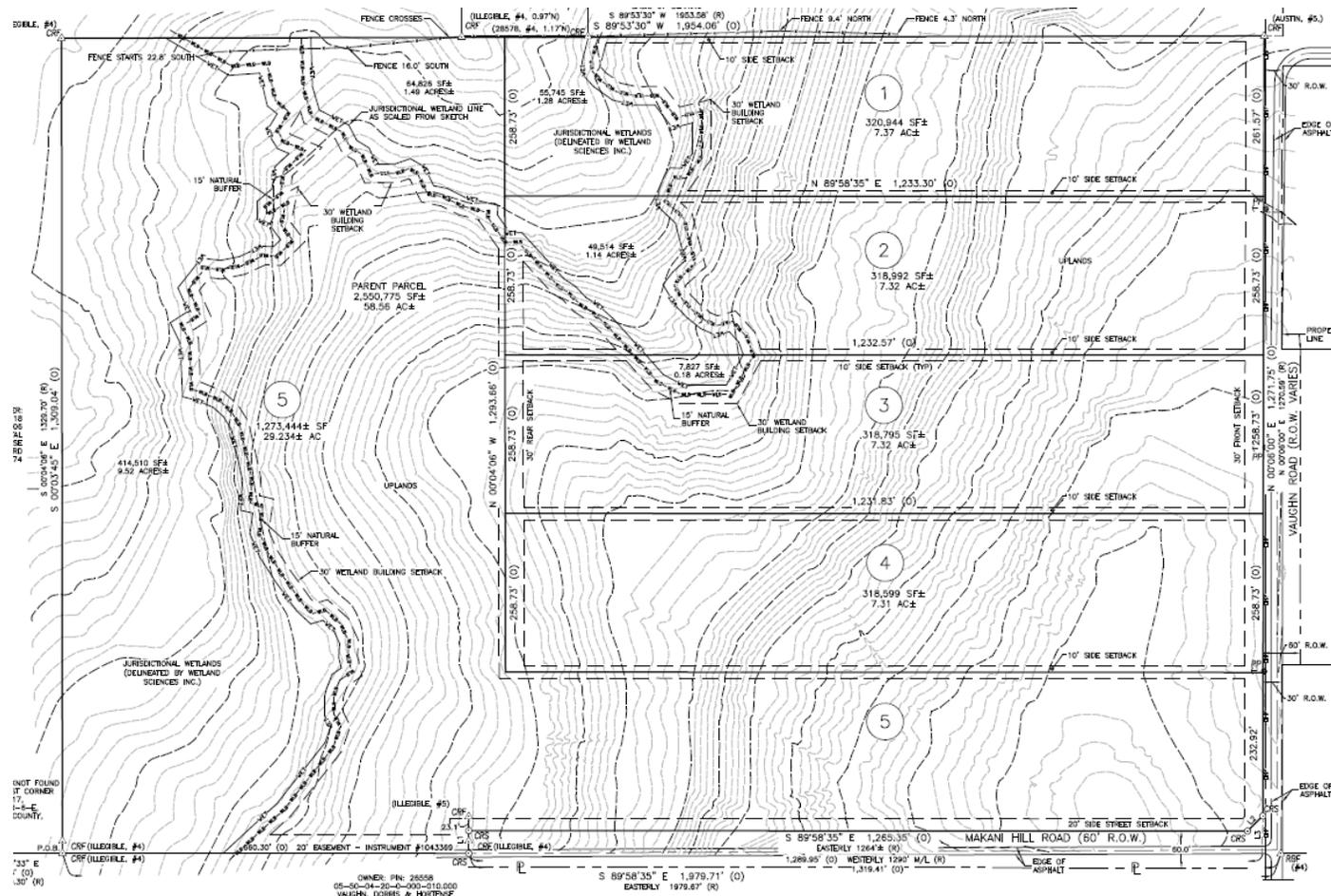
Preliminary Plat approval

HEGE Subdivision,
a **5-lot** subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage :

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located on the west side of Vaughn Road and north side of Makani Hill Road. It is a third of a mile south of HWY 98, and half a mile west of Perdido Bay.

Planning District: 13

Zoning: The citizens of Planning District 13 have **not implemented zoning**

Total Property Area to be divided: 57.56 acres

Total # of Lots requested: **5 lots**

Surveyor: Daniel Clark, PLS, *Smith Clark & Associates*
11111 US Hwy 31, Suite E, Spanish Fort, AL 36527

Owner / Developer: Nevin, Hege
18608 A Brotherhood Dr., Seminole, AL 36574

Online Case File Number: The official case number for this application is SC22-31, however, when searching online CitizenServe database, please use SC22-000031.

Parcel: 05-50-04-17-0-000-001.002

PIN: 78498

Traffic Study: **Not required** (less than **50 lots** requested and thus not required per Article 5, section 5.5.14)

Drainage Improvements: **None required**, the drainage pattern will remain the same once this subdivision is created.

Wetlands: Jurisdictional Wetlands and applicable setbacks are shown on the plat.

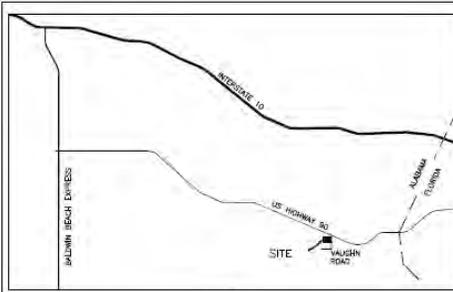
Streets / Roads: **No new streets**, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: East Central Baldwin Water Authority
- Electrical: Baldwin EMC
- Septic: On-Site Septic



Hege Subdivision A 5 Lot Subdivision Along Vaughn Road Baldwin County, Alabama



STATEMENT OF WORKING AS SURVEYOR
I, D. CLARK, BEING DULY SWORN, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE PLAN AND THAT I HAVE CAUSED THE SAME TO BE SURVEYED ACCORDING TO THE USES AND PURPOSES HEREIN SET FORTH AND I HEREBY ACKNOWLEDGE AND AGREE TO HOLD THE DEEDS AND THE DEEDS HEREIN MADE AND SHALL BE BOUND THEREBY.

DATE THIS _____ DAY OF _____, 2022

STATE OF ALABAMA
COUNTY OF BALDWIN

STATE OF ALABAMA, TO WIT: I, D. CLARK, DO HEREBY CERTIFY THAT I AM THE OWNER OF THE LAND SHOWN AND DESCRIBED IN THE PLAN AND THAT I HAVE CAUSED THE SAME TO BE SURVEYED ACCORDING TO THE USES AND PURPOSES HEREIN SET FORTH AND I HEREBY ACKNOWLEDGE AND AGREE TO HOLD THE DEEDS AND THE DEEDS HEREIN MADE AND SHALL BE BOUND THEREBY.

DATE THIS _____ DAY OF _____, 2022

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION

THE LOTS IN THIS PLAN ARE SUBJECT TO APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION. ANY CHANGES TO THE PLAN MUST BE MADE WITHIN 60 DAYS OF THE DATE OF THE LOTS. IN ORDER TO OBTAIN APPROVAL, THE APPLICANT MUST SUBMIT TO THE COMMISSION A COMPLETE SET OF PLANS AND PAY THE FEE THEREON. THE COMMISSION SHALL HOLD HEARINGS AND MAKE A FINAL DETERMINATION AS TO WHETHER TO APPROVE THE PLAN AND THE LOTS THEREON.

DATE THIS _____ DAY OF _____, 2022

APPROVED SURVEYOR

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY PLANNING AND ZONING COMMISSION

THE UNDERSIGNED AS DIRECTOR OF THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION, HEREBY APPROVES THE SUBDIVISION PLAN FOR THE RECORDING OF SAME IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA.

DATE THIS _____ DAY OF _____, 2022

COUNTY CLERK

DEED RECORDING COMMISSION

THE UNDERSIGNED AS ATTORNEY AT LAW FOR THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION, HEREBY APPROVES THE SUBDIVISION PLAN FOR THE RECORDING OF SAME IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA.

DATE THIS _____ DAY OF _____, 2022

APPROVED REPRESENTATIVE

ALABAMA THE _____ DAY OF _____, 2022

APPROVED REPRESENTATIVE

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION

THE UNDERSIGNED AS DIRECTOR OF THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION, HEREBY APPROVES THE SUBDIVISION PLAN FOR THE RECORDING OF SAME IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA.

DATE THIS _____ DAY OF _____, 2022

COUNTY CLERK

DEED RECORDING COMMISSION

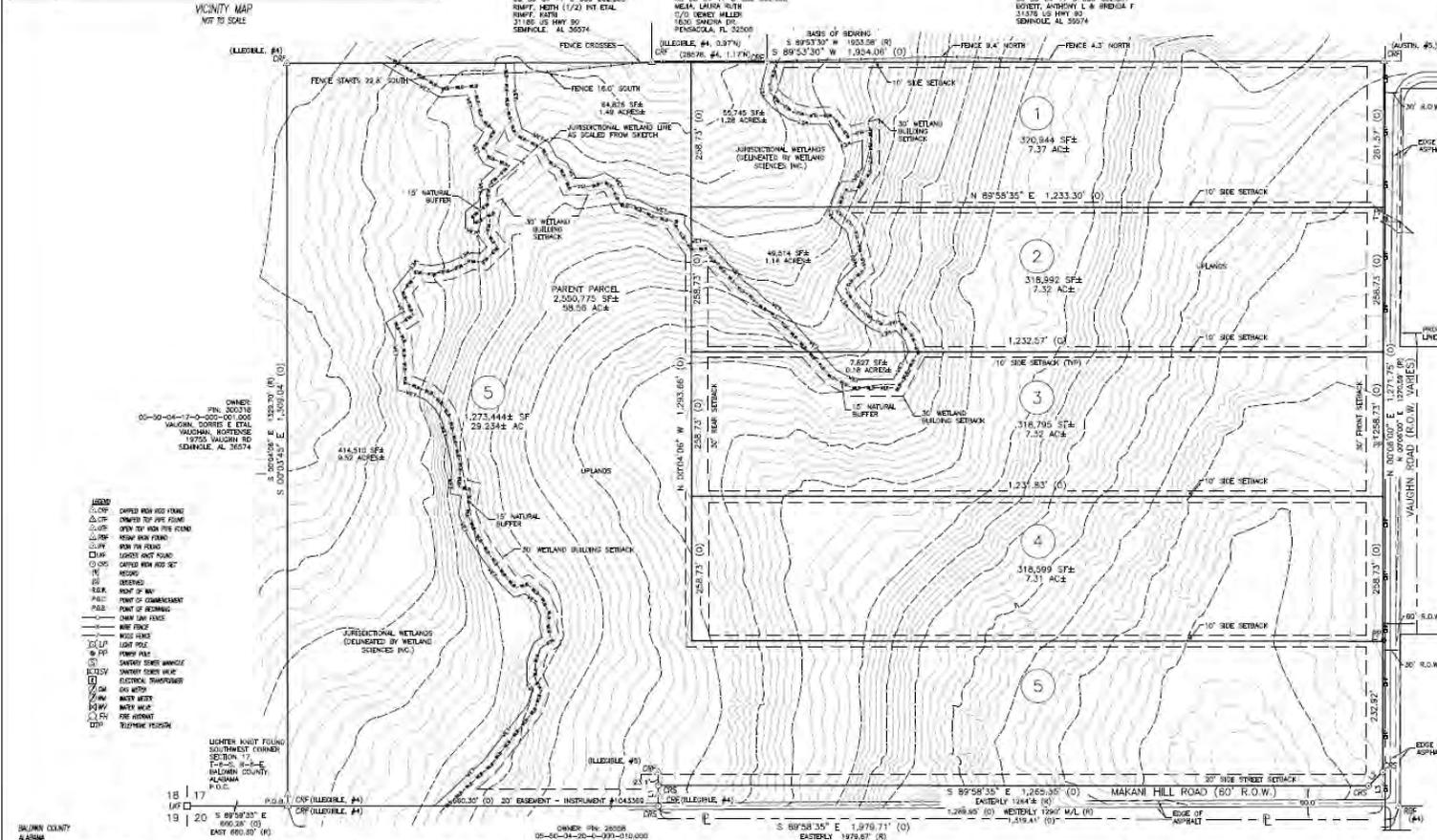
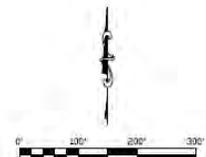
THE UNDERSIGNED AS ATTORNEY AT LAW FOR THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION, HEREBY APPROVES THE SUBDIVISION PLAN FOR THE RECORDING OF SAME IN THE PUBLIC OFFICE OF BALDWIN COUNTY, ALABAMA.

DATE THIS _____ DAY OF _____, 2022

APPROVED REPRESENTATIVE

ALABAMA THE _____ DAY OF _____, 2022

APPROVED REPRESENTATIVE



SITE DATA	
TOTAL AREA	57.56 ACRES
SMALLEST LOT SIZE	7.31 ACRES
TOTAL NUMBER OF LOTS	5
ZONING DISTRICT	LS
COUNTY ZONING	UNZONED

SETBACKS	
FRONT	30'
REAR	30'
SIDE	10'
SEW STREET	20'
WETLAND BUILDING SETBACK	30'

DRAINAGE/UTILITY EASEMENTS	
EXTENSION BEHIND A SIDE PROPERTY LOT LINES - 15'	
ANTHROP GEN & SIDE LOT LINES 7.5'	
UNLESS REQUESTED BY PAID START FOR CLARITY	
THE EASEMENTS DO NOT NEED TO BE DISPLAYED ON THE PLAN	

OWNER	
05-06-04-17-0-000-001.000	P.W. HEGE
HEGE, HEINRICH	
18705 VAUGHN RD	
SEMPHORE, AL 36574	

UTILITY PROVIDERS	
POWER	BALDWIN EMC
SEWER	EAST CENTRAL BALDWIN WATER AUTHORITY
SEWER	ON-SITE SEPTIC

SURVEYOR	
DANIEL CLARK, RES #07700	
30041 MAU LANE	
SUITE C, BOX 258	
SPANISH FORT, AL 36527	
(205) 826-0404	

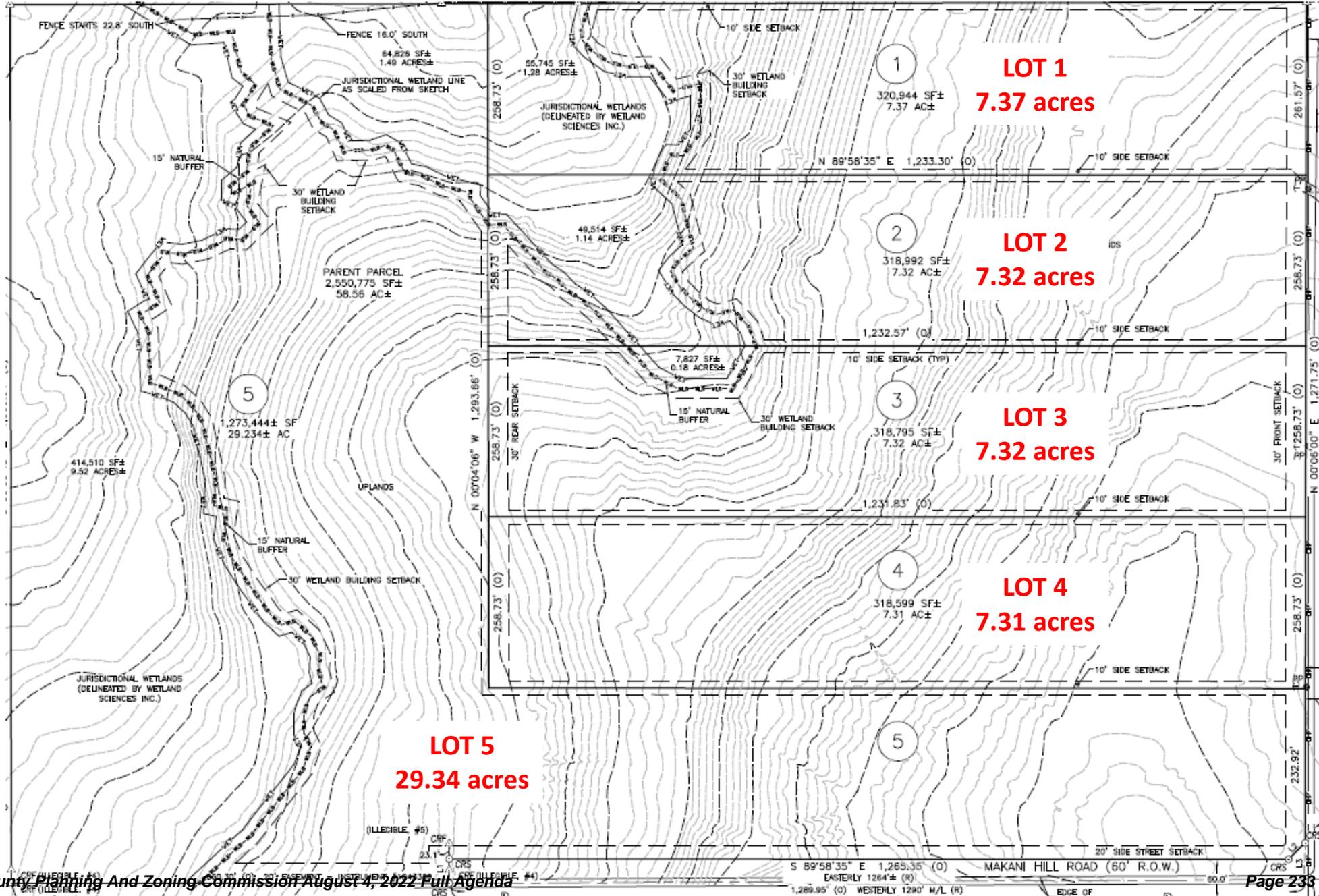
DESCRIPTION	DATE
1. TO CORRECT	11/11/2021
2. TO CORRECT	11/11/2021
3. TO CORRECT	11/11/2021
4. TO CORRECT	11/11/2021
5. TO CORRECT	11/11/2021



COMMENTING AT POINT MARKED BY A LOWER KNIGHT MARKING THE SOUTHWEST CORNER OF SECTION 17, TOWNSHIP 6 SOUTH, RANGE 6 EAST, BALDWIN COUNTY, ALABAMA. BEING THE POINT OF BEGINNING OF SAID SECTION 17, SOUTH 89°58'35" EAST A DISTANCE OF 880.26 FEET TO POINT MARKED BY A CARVED IRON ROD (REMARK), BEING THE POINT OF BEGINNING OF THE PROPERTY HEREIN DESCRIBED, THENCE CONTINUE SOUTH 89°58'35" EAST A DISTANCE OF 89.01 FEET TO A POINT MARKED BY A CARVED IRON ROD (REMARK), THENCE NORTH 0°00'00" WEST A DISTANCE OF 17.01 FEET TO A POINT MARKED BY A CARVED IRON ROD (REMARK), THENCE NORTH 89°58'35" EAST A DISTANCE OF 1,265.35 FEET TO A POINT, THENCE NORTH 89°58'35" EAST A DISTANCE OF 353.00 FEET TO A POINT, THENCE NORTH 89°58'35" EAST A DISTANCE OF 1,277.75 FEET TO A POINT MARKED BY A CARVED IRON ROD (REMARK), THENCE SOUTH 89°58'35" WEST A DISTANCE OF 1,265.35 FEET TO A POINT, THENCE SOUTH 89°58'35" WEST A DISTANCE OF 1,265.35 FEET TO THE POINT OF BEGINNING, CONTAINING 2,550.775 SQUARE FEET (58.58 ACRES) MORE OR LESS.

I HEREBY CERTIFY THAT ALL PARTS OF THIS SURVEY AND DRAWING HAVE BEEN COMPLETED IN ACCORDANCE WITH THE CURRENT REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR SURVEYING IN THE STATE OF ALABAMA TO THE BEST OF MY KNOWLEDGE, INFORMATION, AND BELIEF.

DATE: 11/11/2021
4:10:07PM





U.S. Hwy
90

SUBJECT PROPERTY
05-50-04-17-0-000-001.002
PIN: 78498

Seminole
Landing Phase
III

Makani Hill
Road

Vaughn
Road

SC22-31 HEGE SUBDIVISION
VICINITY MAP



U.S. Hwy
90

SUBJECT PROPERTY
05-50-04-17-0-000-001.002
PIN: 78498



Makani Hill
Road

Vaughn
Road

Seminole
Landing Phase
III

SC22-31 HEGE SUBDIVISION
AERIAL VIEW

Staff Comments

- Chris Lieb, P.E., of Lieb Engineering Company, prepared a written drainage narrative for subject property
 - The drainage pattern will remain after the subdivision is created. There will be no need to install stormwater mitigation due to the creation of the subdivision.
 - There are no new roads nor impervious improvements slated to be built as part of this subdivision.
 - The written drainage narrative has been reviewed and accepted by the Baldwin County Highway Department.



LIEB ENGINEERING
COMPANY

11290 Main Street Suite E
Daphne, AL 36526
Phone: 251 978-9779

November 17, 2021

Baldwin County
Attn: Staff

Re: **HEGE Subdivision - Drainage Letter**

Staff,

I am providing a generalized drainage plan and written narrative for existing and proposed drainage patterns. The property is one drainage areas. The drainage area starts on the southeast and it drains northwest. This drainage pattern will remain after the subdivision is created. The contractor will need to keep the drainage pattern the same and install BMP's per the Baldwin County Subdivision regulations.

There will be no need to install stormwater mitigation due to the creation of the subdivision. There are no new roads nor impervious improvements slated to be built as part of this subdivision.

Please feel free to contact me if you have any questions or need any clarifications.

Sincerely,



11-17-2021

Christopher Lieb, PE



LIEB ENGINEERING
COMPANY

Page 236 of 307

Staff Comments

- Craig Martin, Sr. Scientist, with Wetland Sciences, Inc., prepared a Wetland Assessment Report for subject property
 - Wetlands were identified which fall within the regulatory jurisdiction of the US Army Corps of Engineers.
 - The applicable jurisdictional wetlands have been identified and are shown on the plat with the applicable 30' wetland building setback and 15' natural buffer.
 - No wetlands are proposed to be filled.



June 1, 2021

Hunter Smith
PO Box 7082
Spanish Fort, AL 36577

Re: *Wetland Assessment Report*
±59.4 Acres Vaughn Road, Elnor, Baldwin County, Alabama
WSI Project #2021-381

Dear Mr. Smith,

As requested, Wetland Sciences, Inc. has completed a field wetland delineation on the west side of Vaughn Road in Baldwin County, Alabama. The property is identified by the Baldwin County Revenue Commission with the Parcel Identification Numbers: 05-50-04-17-0-000-001.002. This assessment included an analysis of plant communities, soils, and indirect hydrologic indicators. During this determination, Wetland Sciences, Inc. did identify wetlands which fall within the regulatory jurisdiction of the US Army Corps of Engineers (Corps) under *33 CFR 320-330*. See attached wetland sketch – Exhibit A). The following is a summary of our findings.

The assessment was completed by a thorough pedestrian survey covering 100% of the subject property. I personally inspected the property on June 1, 2021. Wetland Sciences, Inc. utilized the Corps of Engineers Wetland Delineation Manual, 1987 and Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region, 2010 to determine the federal wetland jurisdictional boundary.

The wetland boundaries shown on the attached sketch were delineated in accordance with the Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Atlantic and Gulf Coastal Plain Region (Federal – Corps). The wetland boundary was identified in the field by progressively locating points along the upland/wetland boundary at 15-20-ft. intervals or corresponding with directional changes with the boundary. Each point was identified and located by an experienced wetland scientist. Pink flags were placed at each point clearly marked "Wetland Delineation". Each flagged point also contains specific alpha numeric designator for later tracking of its location. Wetland Sciences, Inc. used a Trimble Geo7x GNSS system to locate each point. Data was collected using Trimble's TerraSync Professional Software with further refinement using Trimble's Pathfinder Professional Software. Please keep in mind that

there are no
This sketch

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until such t
wetland bo

If you have any questions, please do not hesitate to contact me at (850) 453-4700.

Respectfully,
WETLAND SCIENCES, INC.

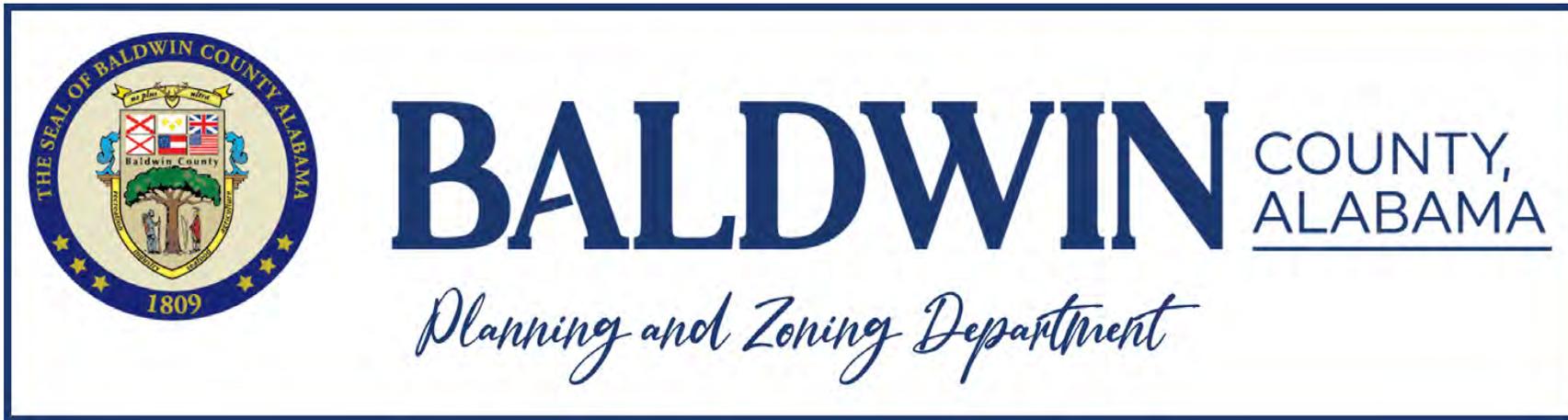
Craig Martin
Sr. Scientist

3308 Gulf B



SC22-31 HEGE SUBDIVISION
JURISDICTIONAL WETLANDS

There are no conditions for approval and Staff recommends that the Preliminary Plat application for Case No. SC22-31, Hege Subdivision, be APPROVED subject to compliance with the Baldwin County Subdivision Regulations.



SUBDIVISION PRELIMINARY PLAT REQUEST

SC22-32 DONNENWIRTH SUBDIVISION

AUGUST 4, 2022

PRESENTED BY: SHAWN MITCHELL, DEVELOPMENT REVIEW PLANNER

9.g) SC22-32 DONNENWIRTH SUBDIVISION

Staff Report Prepared by:
Shawn Mitchell, Development Review Planner

August 4, 2022

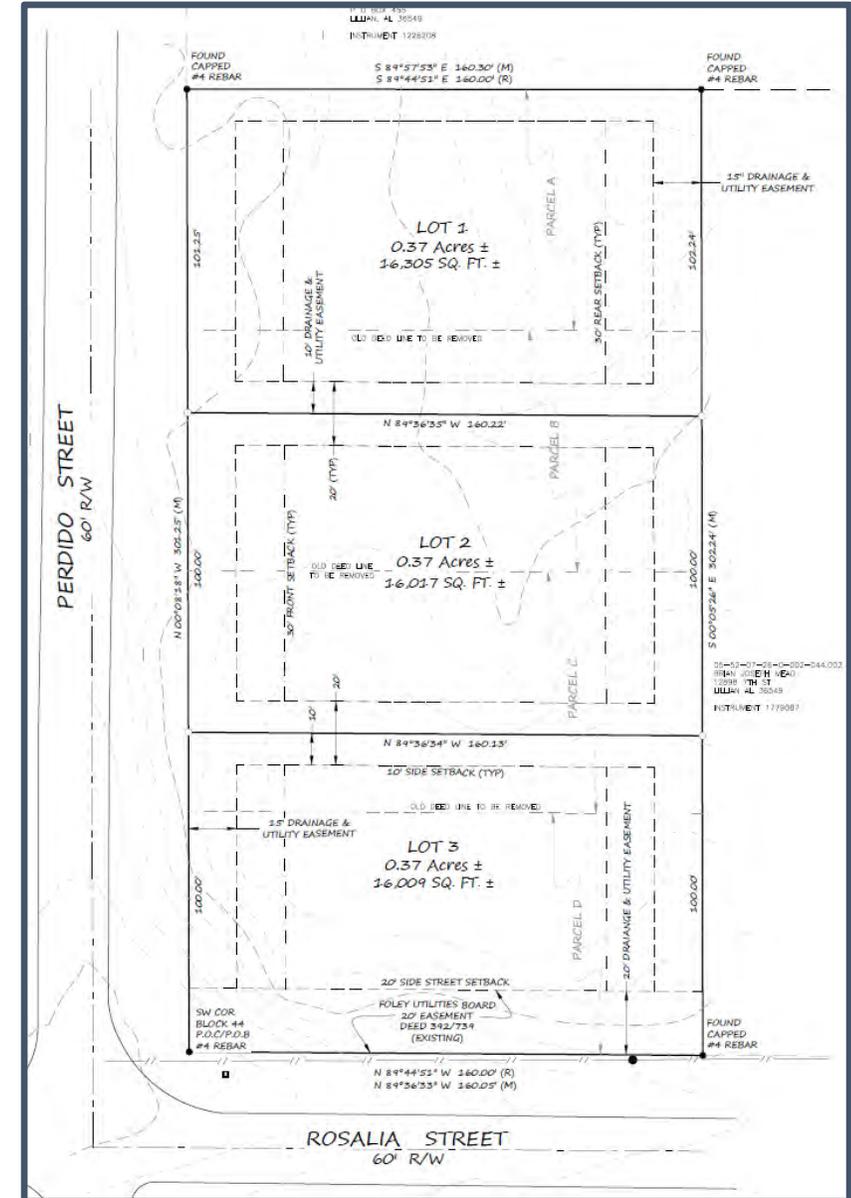
Request before Planning Commission:

Preliminary Plat approval
Donnenwirth Subdivision,
a **3-lot** subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage :

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located at the corner of Perdido Street and Rosalia Street in Lillian. It is less than half a mile south of HWY 98, and half a mile west of Perdido Bay.

Planning District: 33

Zoning: RSF2

Total Property Area to be divided: 1.11 acres

Total # of Lots requested: 3 lots

All lots: 16,000 SF +/- (15,000 SF min. required for RSF2)

Lot width: 100 FT +/- (80' FT min. required for RSF2)

Surveyor: Trent Wilson, PLS, *Weygand Wilson Surveying LLC*
229 E. 20th St., Suite 12, Gulf Shores, AL 36542

Owner / Developer: Robert G. Donnenwirth
12716 6th St., Lillian, AL 36549

Online Case File Number: The official case number for this application is SC22-32, however, when searching online CitizenServe database, please use SC22-000032.

Parcel: 05-52-07-26-0-002-044.000

PIN: 109317

Traffic Study: Not required (less than 50 lots requested and thus not required per Article 5, section 5.5.14)

Drainage Improvements: No improvements required. Drainage letter by Christopher Lieb, *Lieb Engineering*

Wetlands: None appear to be present on subject property

Streets / Roads: No new streets, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: Perdido Bay Water, Sewer and Fire
- Electrical: Riviera Utilities
- Sewer: Baldwin County Sewer Service



STATE OF ALABAMA
COUNTY OF BALDWIN

I, Trent Wilson, a Professional Land Surveyor, State of Alabama, hereby certify that I have surveyed the property of the Donnemwirth Subdivision, situated in Baldwin County, Alabama and described as follows:

Aggregate legal description of the above parcels A thru D:
Commence at a 64' rebar at the intersection of the North right of way of Rosalia Street and the East right of way of Perdido Street, also being the Southwest corner of Block 44, of the Town of Ullrich, Alabama, Section 26, Township 7 South, Range 6 East, Baldwin County, Alabama and the Point of Beginning; thence along the East right of way of Perdido Street N 0°00'00" W a distance of 301.25 feet to a capped 64' rebar; thence along said right of way S 89°57'53" E a distance of 160.30 feet to a capped 64' rebar; thence S 0°00'00" W a distance of 302.24 feet to a capped 64' rebar on the North right of way of Rosalia Street; thence along said North right of way N 89°58'27" W a distance of 160.05 feet to the Point of Beginning, bearing an area of 48331 square feet, 1.11 acres, more or less.

And that the plat or map contained hereon is a true and correct map showing the subdivision into which the property described is divided giving the length and bearings of the boundaries of each lot and easement and its number and showing the streets, alleys and public grounds and giving the bearings, length, width and names of the streets, said map further shows the relation of the land so platted to the Government Survey, and that permanent monuments have been placed at points marked as herein shown. I further certify that all parts of this survey and drawing have been completed in accordance with the requirements of the Standards of Practice for the practice of land surveying in the State of Alabama to the best of my knowledge, information, and belief.

WITNESS my hand this the ____ day of _____, 2022.

Trent Wilson
Alabama PLS# 34764

OWNER'S DEDICATION
Robert G. Donnemwirth, as owner, have caused the land embraced in the within plat to be surveyed, laid out and platted to be known as DONNEMWIRTH SUBDIVISION, a part of Section 26, Township 7 South, Range 6 East, Baldwin County, Alabama, and that the (Streets, Drives, Alleys, Easements, etc.) as shown on said plat are hereby dedicated to the use of the public.

Robert G. Donnemwirth

ACKNOWLEDGMENT
STATE OF ALABAMA
COUNTY OF BALDWIN
I, _____, Notary Public in and for said County, in said State, hereby certify that Robert G. Donnemwirth, whose name as owner is signed to the foregoing instrument, and who is known to me, acknowledged before me on this day that, being informed of the contents of the instrument, and as such officer and with full authority, executed the same voluntarily for and as the act of said corporation.

GIVEN under my hand and official seal this the ____ day of _____, 2022.

Notary Public
My Commission Expires: _____

CERTIFICATE OF APPROVAL BY THE COUNTY ENGINEER
The undersigned, as County Engineer of Baldwin County, Alabama, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

County Engineer

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY PLANNING AND ZONING COMMISSION
The undersigned, as _____ of Baldwin County Planning and Zoning Commission, hereby certifies that, at its meeting of _____ the Baldwin County Planning and Zoning Commission approved the within plat for the recording of the same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Baldwin County Planning and Zoning Commission
By: _____

CERTIFICATE OF APPROVAL BY THE BALDWIN COUNTY 911 ADDRESSING
The undersigned, as authorized by the Baldwin County E-911 Board, hereby approves the road names as depicted on the within plat and hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Authorized Signature

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY PLANNING DIRECTOR
The undersigned, as Director of the Baldwin County Planning and Zoning Department, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Planning Director

CERTIFICATE OF APPROVAL BY RIVERIA UTILITIES (ELECTRIC PROVIDER)
The undersigned, as authorized by Riviera Utilities hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Authorized Signature

CERTIFICATE OF APPROVAL BY BALDWIN COUNTY SEWER SERVICE (SEWER PROVIDER)
The undersigned, as authorized by Baldwin County Sewer Service hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Authorized Signature

CERTIFICATE OF APPROVAL BY PERDIDO BAY WATER, SEWER AND FIRE PROTECTION DISTRICT (WATER PROVIDER)
The undersigned, as authorized by Perdido Bay Water, Sewer and Fire Protection District, hereby approves the within plat for the recording of same in the Probate Office of Baldwin County, Alabama, this the ____ day of _____, 2022.

Authorized Signature

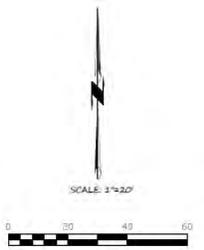
VICINITY MAP - NOT TO SCALE

LEGEND

BUILD	BUILDING
CANCL	CANCELLED
CHD	CHURCH
CL	CLIFF
CO	COAST
DA	DAM
DE	DECK
DI	DITCH
DR	DRIVE
EA	EASEMENT
EM	EMERGENCY
EN	ENCLOSURE
EQ	EQUINE
ER	ERRATA
ES	ESTABLISHMENT
ET	ETC.
EX	EXCAVATION
FE	FENCE
FI	FIRE
FL	FLAG
FM	FURNITURE
FO	FOUNDATION
FR	FURNACE
FS	FURNISHING
FT	FOUNDATION
FW	FENCE
FX	EXCAVATION
GA	GAZEBO
GB	GRAVE
GC	GRASS
GD	GRASS
GE	GRASS
GF	GRASS
GG	GRASS
GH	GRASS
GI	GRASS
GJ	GRASS
GK	GRASS
GL	GRASS
GM	GRASS
GN	GRASS
GO	GRASS
GP	GRASS
GQ	GRASS
GR	GRASS
GS	GRASS
GT	GRASS
GU	GRASS
GV	GRASS
GW	GRASS
GX	GRASS
GY	GRASS
GZ	GRASS
HA	HAMMOCK
HB	HAMMOCK
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NS	NATURAL
NT	NATURAL
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NV	NATURAL
NW	NATURAL
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NZ	NATURAL
OA	OBSCURE
OB	OBSCURE
OC	OBSCURE
OD	OBSCURE
OE	OBSCURE
OF	OBSCURE
OG	OBSCURE
OH	OBSCURE
OI	OBSCURE
OJ	OBSCURE
OK	OBSCURE
OL	OBSCURE
OM	OBSCURE
ON	OBSCURE
OO	OBSCURE
OP	OBSCURE
OQ	OBSCURE
OR	OBSCURE
OS	OBSCURE
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OU	OBSCURE
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OY	OBSCURE
OZ	OBSCURE
PA	PARK
PB	PARK
PC	PARK
PD	PARK
PE	PARK
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PG	PARK
PH	PARK
PI	PARK
PJ	PARK
PK	PARK
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PT	PARK
PU	PARK
PV	PARK
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PY	PARK
PZ	PARK
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QC	QUARRY
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QE	QUARRY
QF	QUARRY
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SD	SAND
SE	SAND
SF	SAND
SG	SAND
SH	SAND
SI	SAND
SJ	SAND
SK	SAND
SL	SAND
SM	SAND
SN	SAND
SO	SAND
SP	SAND
SQ	SAND
SR	SAND
SS	SAND
ST	SAND
SU	SAND
SV	SAND
SW	SAND
SX	SAND
SY	SAND
SZ	SAND
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UA	UNDEVELOPED
UB	UNDEVELOPED
UC	UNDEVELOPED
UD	UNDEVELOPED
UE	UNDEVELOPED
UF	UNDEVELOPED
UG	UNDEVELOPED
UH	UNDEVELOPED
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UQ	UNDEVELOPED
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UV	UNDEVELOPED
UW	UNDEVELOPED
UX	UNDEVELOPED
UY	UNDEVELOPED
UZ	UNDEVELOPED
VA	VALLEY
VB	VALLEY
VC	VALLEY
VD	VALLEY
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VF	VALLEY
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VO	VALLEY
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XA	WOOD
XB	WOOD
XC	WOOD
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XO	WOOD
XP	WOOD
XQ	WOOD
XR	WOOD
XS	WOOD
XT	WOOD
XU	WOOD
XV	WOOD
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XX	WOOD
XY	WOOD
XZ	WOOD
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ZU	ZONE
ZV	ZONE
ZW	ZONE
ZX	ZONE
ZY	ZONE
ZZ	ZONE

DONNEMWIRTH SUBDIVISION

BALDWIN COUNTY, ALABAMA
SECTION 26, TOWNSHIP 7 SOUTH, RANGE 6 EAST
DATE OF PLAT: JULY 20, 2022



WYEGAND WILSON SURVEYORS
Trent Wilson PLS #4764
Weygand Wilson Surveying LLC
235 E. 20th Ave., Suite 12
Gulf Shores, AL 36542
Phone: 251-975-7552

OWNER:
ROBERT G. DONNEMWIRTH
12716 6TH ST
LULLIAN, AL 36549

SITE DATA
05-12-67-38-002-044-000
PLANNING DISTRICT 33
ZONING: RFP-2
TOTAL AREA: 48,331 SQ. FT.
1.11 ACRES
NUMBER OF LOTS: 3
SMALLEST LOT: 16,009 SQ. FT.
LARGEST LOT: 16,305 SQ. FT.

SETBACKS:
FRONT - 30'
REAR - 30'
SIDE - 10'
SIDE STREET - 20'

EASEMENTS - DRAINAGE & UTILITY
Front: 15'
Rear: 15'
Side: 10' (EXCEPT AS SHOWN)

UTILITY PROVIDERS<

Perdido St.

SUBJECT PROPERTY
05-52-07-26-0-002-044.000
PIN: 109317

Rosalia Ave.

US 98

CR 99

SC22-32 DONNENWIRTH SUBDIVISION
VICINITY MAP



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

Perdido St.

SUBJECT PROPERTY
05-52-07-26-0-002-044.000
PIN: 109317

Rosalia Ave.

US 98

CR 99

- Zoning
- Rural District (RR)
 - Rural Agricultural District (RA)
 - Conservation Resource District (CR)
 - Residential Single Family Estate District (RSF-E)
 - Residential Single Family District (RSF-1)
 - Residential Single Family District (RSF-2)
 - Residential Single Family District (RSF-3)
 - Residential Single Family District (RSF-4)

SC22-32 DONNENWIRTH SUBDIVISION
ZONING MAP

SUBJECT PROPERTY
05-52-07-26-0-002-044.000
PIN: 109317

Perdido St.

Rosalia Ave.

US 98

CR 99

Perdido Bay

SC22-32 DONNENWIRTH SUBDIVISION
AERIAL VIEW

Staff Comments

Christopher Lieb, PE of Lieb Engineering Co., prepared a written drainage narrative for subject property

- No drainage improvements are recommended
- The written drainage narrative was accepted by the Baldwin County Highway Department



Quality On Tap!
Our Protection is Our Commitment
PERDIDO BAY
WATER, SEWER AND FIRE PROTECTION DISTRICT

28171 FRESHWATER LANE • ELBERTA, AL 36530
 Phone (251) 987-5816 • Fax: (251) 987-5836

December 8th 2021

Re: Water Availability

To: Whom It May Concern

I am providing this letter in response to your request for verification, to the availability of water service, to the lot PPIN 109317, Perdido St Lillian, Baldwin County, Alabama.

This property does have water services available, through us, if and when the appropriate Impact Fees, Tap Fees and Deposits are paid.

If you have any further questions, Please feel free to call us at 251-987-5836.

Sincerely,



Mark D. Bohlin
 General Manager
 Perdido Bay Water, S&FPD

BCSS
 BALDWIN COUNTY SEWER SERVICE
 clean and simple

January 11, 2022

Amanda Weygand
 Weygand Wilson
 229 E. 20th Avenue, Unit 12
 Gulf Shores, AL 36542
 Ph - (251)-975-7555

Re: PIN 109317

Dear Ms. Weygand,

At your request, this letter is to verify that Baldwin County Sewer Service LLC (BCSS) has the capacity and capability to serve the property at PIN 109317. Baldwin County Sewer Service LLC is willing and able to provide sewer service to the above referenced property, subject to applicant paying all fees required for this service. We have a sewer force main line on the west side of Perdido St and the south side of Rosalia Avenue. This development may require a main line extension or a road bore which will be at the developers expense. A \$50.00 per lot review fee will be due to have preconstruction plans reviewed and a \$1,500.00 impact fee per lot will need to be paid to Baldwin County Service LLC before a new subdivision plat is signed. This letter is valid for a period of two years from the date of issue. This letter is not to be used to obtain a building permit. Any development that has not paid the necessary fees before this letter expires will need to contact BCSS and request a re-issuance of their willing and able letter.

**A franchise fee may apply in franchise areas.*

The wastewater will be treated at our Spanish Fort Treatment Plant.

Sincerely,



Angela Foley
 Baldwin County Sewer Service, LLC
 (251) 971-3022
angela@baldwincountysewer.com

14747 Underwood Road Summerdale, AL 36580 / P. O. Box 1628 Foley, AL 36536



RIVIERA UTILITIES
 413 E Laurel Avenue, P.O. Drawer 2050, Foley, AL 36536
 Phone (251) 943-5001 Fax (251) 970-4181

12/9/2021

Amanda Weygand
 Weygand Wilson
 229 E. 20th Avenue, Unit 12
 Gulf Shores, AL 36542

RE: PIN 109317

This letter is to confirm that Riviera Utilities is currently able to provide electric service to the proposed project at the corner of Perdido Street and Rosalia Street. Parcel: 05-52-0726-0-002-044.000, located in Lillian, AL.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Scott Sligh	Electric	ssligh@rivierautilities

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,



James Wallace

Staff recommends that the Preliminary Plat application for Case No SC22-32, Donnenwirth Subdivision, be **APPROVED** subject to compliance with the Baldwin County Subdivision.



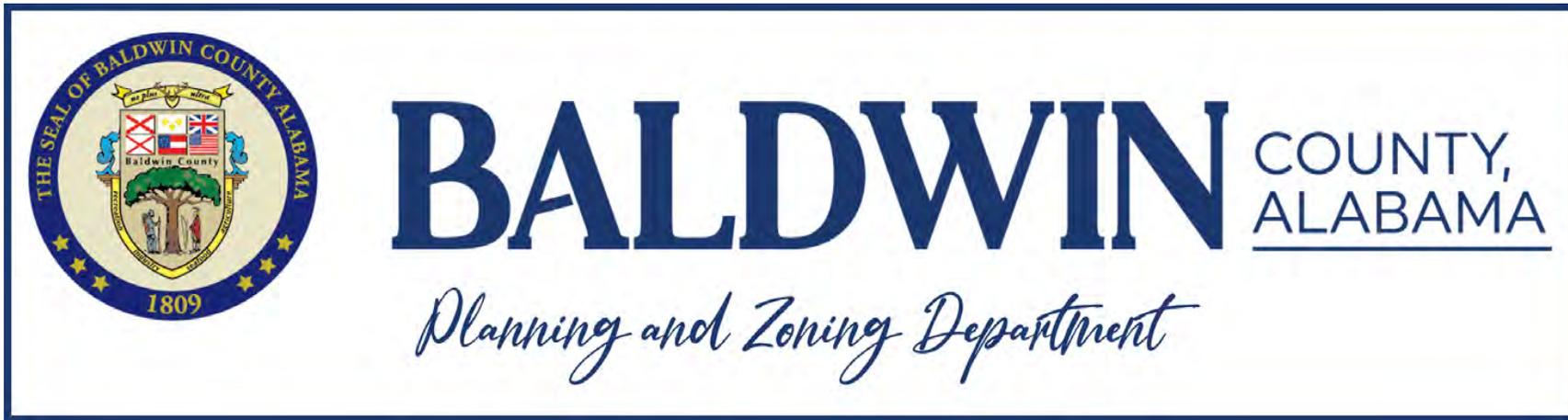
BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

NEXT REGULAR MEETING
SEPTEMBER 1, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



SUBDIVISION PRELIMINARY PLAT REQUEST

SC22-35 FIRST SOUTH FARM CREDIT

AUGUST 4, 2022

PRESENTED BY: SHAWN MITCHELL, DEVELOPMENT REVIEW PLANNER

9.h) SC22-35 FIRST SOUTH FARM CREDIT SUBDIVISION

Staff Report Prepared by:
Shawn Mitchell, Development Review Planner

August 4, 2022

Request before Planning Commission:

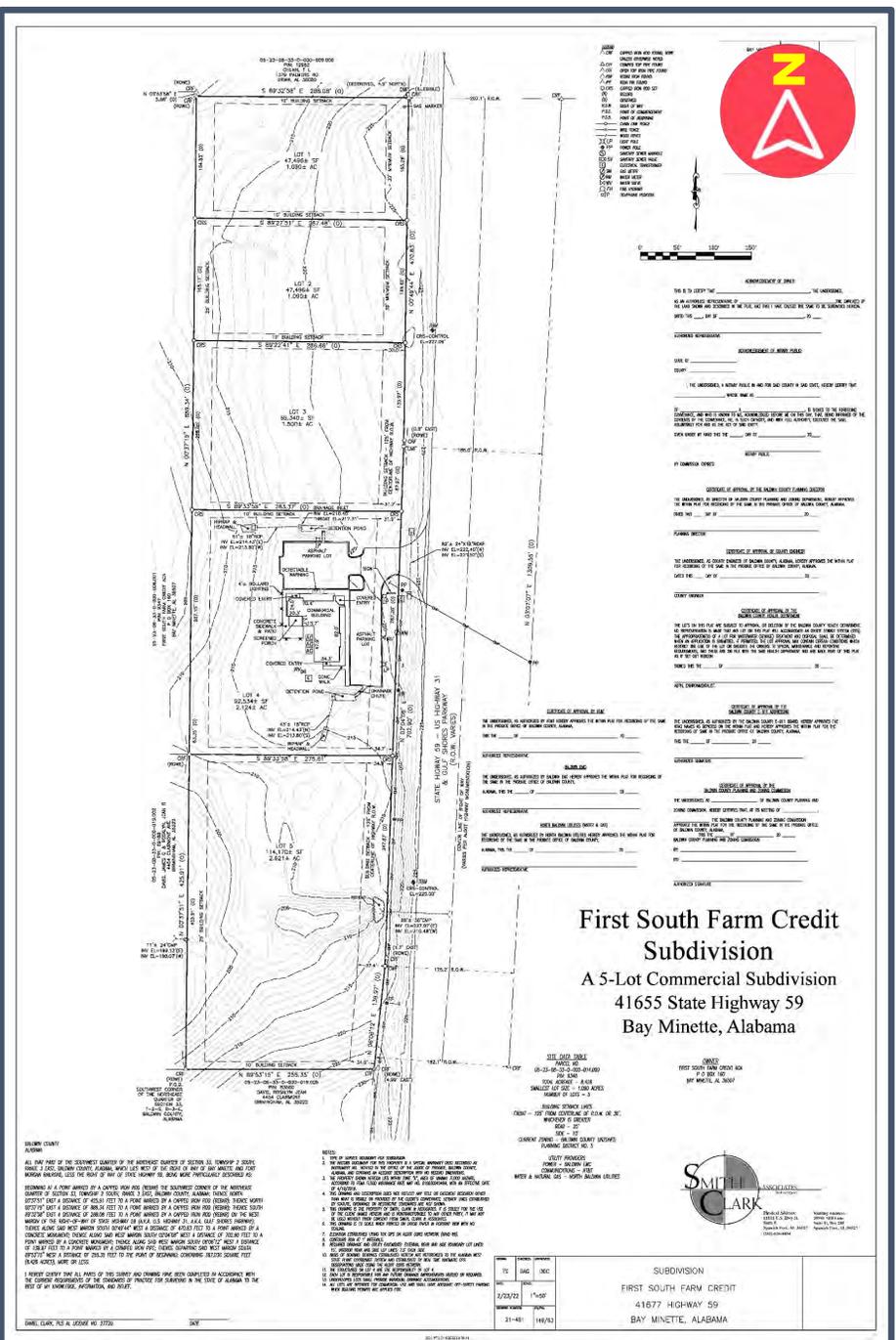
Preliminary Plat approval

First South Farm Credit Subdivision,
a 5-lot subdivision

Staff recommendation: **APPROVAL**
with conditions

To view maps/plats in higher resolution and public comments received related to this case, please visit the "Upcoming Items" Planning and Zoning webpage :

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located on State Hwy 59/US Hwy 31, just south of Bay Minette.

Planning District: 5

Zoning: The citizens of Planning District 5 **have not implemented zoning**

Total Property Area to be divided: 8.43 acres

Total # of Lots requested: **5 non-residential lots**

Lots 1-2: 1.09 acres +/-

Lot 3: 1.5 acres +/-

Lot 4: 2.12 acres +/-

Lot 5: 2.62 acres +/-

Surveyor: Daniel Clark, *Smith Clark & Associates*
11111 U.S. Hwy 31, Suite E, Spanish Fort, AL 36527

Owner / Developer: First South Farm Credit ACA
P.O. Box 160, Bay Minette, AL 36507

Online Case File Number: The official case number for this application is SC22-35, however, when searching online CitizenServe database, please use SC22-000035.

Parcels: 05-23-08-33-0-000-014.000

PIN: 9348

Traffic Study: **Not required** (less than **50 lots** requested and thus not required per Article 5, section 5.5.14)

Drainage Improvements: **None required**, see drainage narrative included herein.

Wetlands: No jurisdictional streams or wetlands identified on the subject property by a wetland specialist. See excerpt of wetland report.

Streets / Roads: **No new streets**, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: North Baldwin Utilities
- Sewer: On-Site Septic
- Electrical: Baldwin EMC
- Phone: AT&T

Bay Minette



BALDWIN COUNTY, ALABAMA
Planning and Zoning Department

Bill Steege Rd.

Nicholsville Rd

Subject Property
05-23-08-33-0-000-014.000

Old Daphne Rd

Highway 59

SC22-35 FIRST SOUTH FARM CREDIT
VICINITY MAP



Bill Steege Rd.

Nicholsville Rd

Subject Property
05-23-08-33-0-000-014.000

Old Daphne Rd

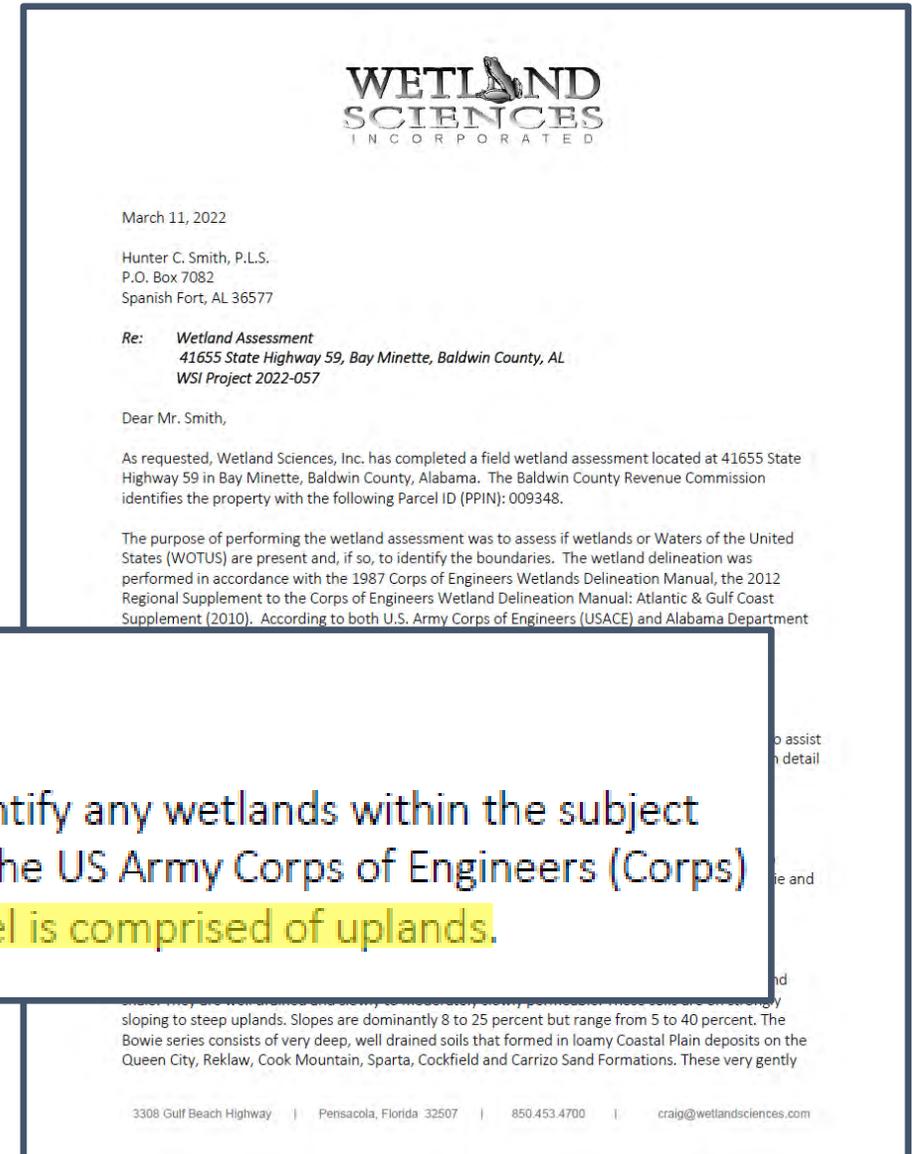
Highway 59

SC22-35 FIRST SOUTH FARM CREDIT
AERIAL VIEW

Staff Comments

Craig Martin, Senior Scientist at Wetland Sciences, Inc. prepared a wetland assessment for subject property

- o No jurisdictional wetlands or streams were found on the property



Staff Comments

Christopher Lieb, PE of Lieb Engineering, prepared a drainage narrative for subject property

- Drainage improvements are not recommended
- The drainage narrative was accepted by the Baldwin County Highway Department



BALDWIN EMC

Your Touchstone Energy® Cooperative

P.O. Box 220
Summerdale, AL
36580-0220
(251) 989-6247
www.baldwinemc.com

February 10, 2022

Nicky Palmer
Smith, Clark & Associates, LLC
30941 Mill Lane Suite G
Box 258
Spanish Fort, AL 36527

Re: First Farm Credit Subdivision (PIN 009348 & Parcel #05-23-08-33-0-000-014.000)

Dear Nicky Palmer:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0226.

Sincerely,

Brett Morrow
Supervisor of Staking
BM/cl

NORTH BALDWIN UTILITIES

25 Hand Ave | Bay Minette, AL 36507
251.937.0345 fax | 251.580.1626 phone
www.northbaldwinutilities.com

PROVIDING QUALITY SERVICES SINCE 1945 - NATURAL GAS - WATER - WASTEWATER

February 15, 2022

Smith Clark Associates
30941 Mill Lane
Suite G, Box 258
Spanish Fort, AL 36527

RE: First South Farm Credit
5 Lot Commercial Subdivision
41655 Highway 59
Bay Minette, AL 36507

Gentlemen:

North Baldwin Utilities has the necessary water supply to provide water service for the above referenced subdivision. Natural gas can also be provided to this property by North Baldwin Utilities. Please feel free to contact me at 251-580-1626 should you have any further questions.

Yours truly,

Jeff Donald
Chief Operations Officer

JD/tlr

HENRY C. CONNER JR. | JAMES H. ROBERTSON | HAMILTON C. SMITH | LARRY F. TAYLOR | MAYOR ROBERT A. WILLS
JASON M. PADGETT, Chief Executive Officer (CEO)

Staff Comments

Christopher Lieb, PE of Lieb Engineering, submitted results from a fire flow test conducted by the Bay Minette Fire Department.

- A fire hydrant needs to be installed between Lots 2 and 3 to meet ISO requirements.



LIEB ENGINEERING
COMPANY

1290 Main Street
Suite E
Daphne, AL 36526
Phone: 251.978.9779

July 15, 2022

City of Bay Minette
Attn: Staff

Re: First South Farm Credit Subdivision - Fire Flow



Bay Minette Fire Department

Flow Test for Hydrant S0001
Start Time: 2021-09-09 13:33:12
End Time: 2021-09-09 15:43:53
Tested By: Taylor, Robert U

Test Hydrant

Static Pressure:	90.0
Residual Pressure:	25.0
Desired Pressure:	20.0
Volume at Desired Pressure:	604.0

Flow Hydrants

Downstream Hydrant ID	Port Diameter	Friction Coefficient	Pitot Pressure	Flow (Calculated)
	2.5	0.9000000000000002	12.0	581.0

performed by Bay Minette Fire Department. See attached test results below. The available fire flow is 604 GPM at 20 psi. Once a fire hydrant is installed between lot 2 and 3, the water system will meet all requirements of the current ISO Fire Suppression Rating Schedule Paragraph 340, 614 and 620.A.

Staff recommends that the Preliminary Plat application for Case No SC22-35 be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations and the following **condition** of approval:

- Install a fire hydrant between Lots 2 and 3 to satisfy ISO requirements.



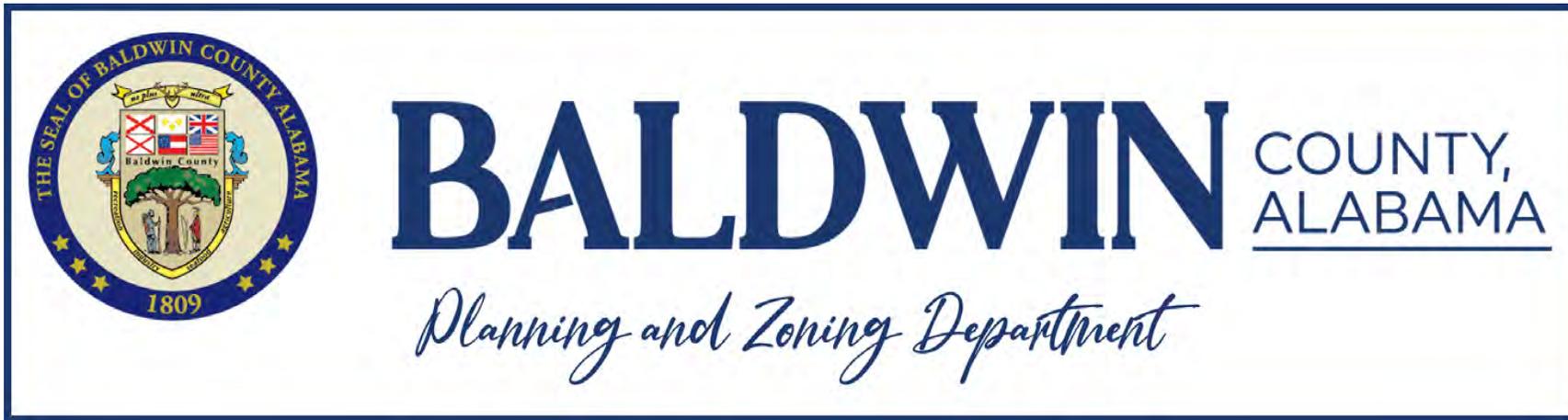
BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

NEXT REGULAR MEETING
SEPTEMBER 1, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



SUBDIVISION PRELIMINARY PLAT REQUEST
SC22-36 JOHNSON SUBDIVISION
AUGUST 4, 2022

PRESENTED BY: MARY BOOTH, SUBDIVISION COORDINATOR

9.i) SC22-36 JOHNSON SUBDIVISION

August 4, 2022

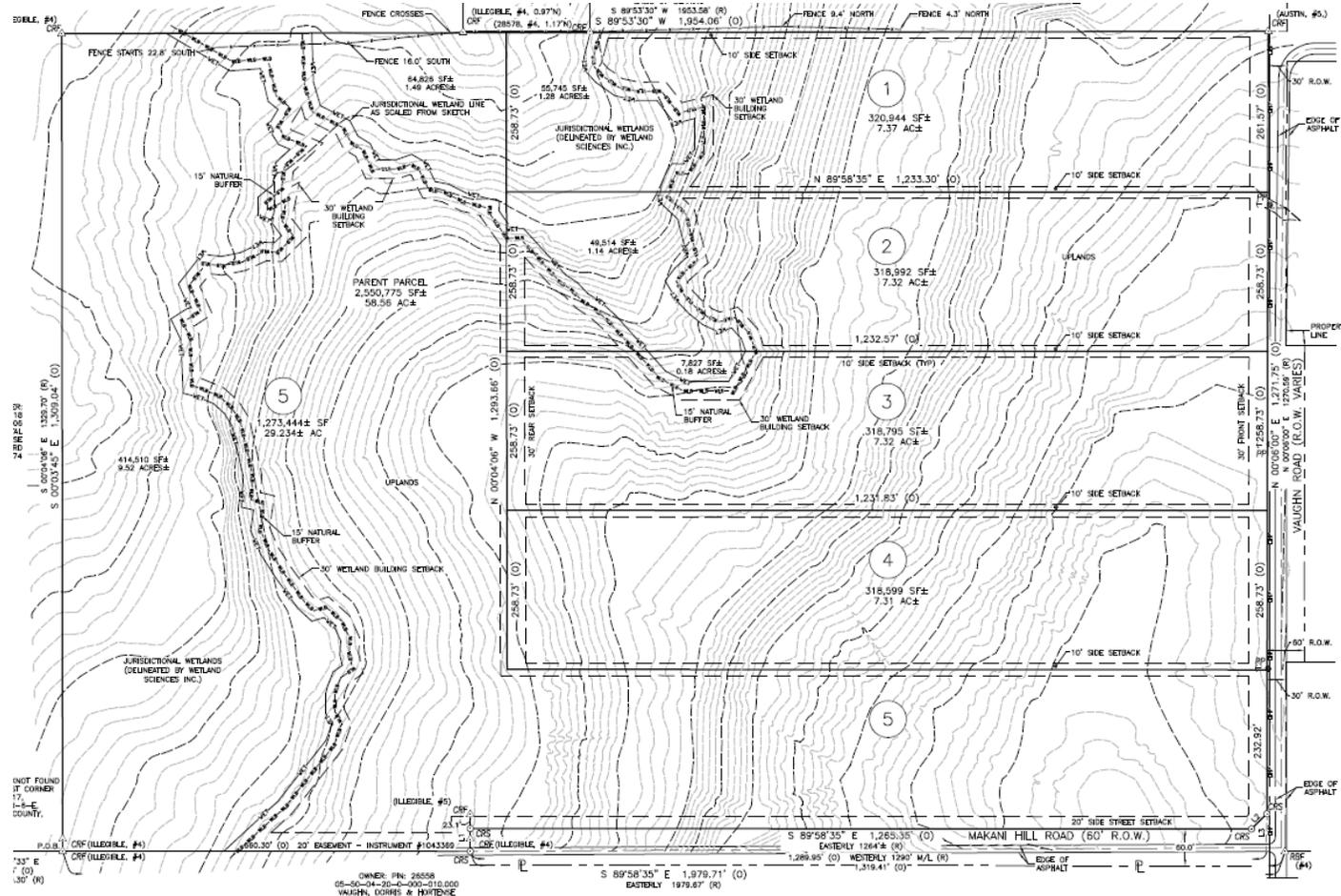
Request before Planning Commission:

Preliminary Plat approval
JOHNSON SUBDIVISION,
a 7-lot subdivision

Staff recommendation: **APPROVAL**

To view maps/plats in higher resolution and public comments received related to this case, please visit the “Upcoming Items” Planning and Zoning webpage :

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



Location: Subject property is located on the south side of County Road 138. It is approximately 1.90 miles east of Highway 225 in Bay Minette.

Planning District: 4

Zoning: RR

Total Property Area to be divided: 29.62 acres

Total # of Lots requested: 7 lots

Surveyor: David Lowery, PLS, *David Lowery Surveying LLC*
55284 Martin Ln., Stockton, AL 36579

Owner / Developer: Andrew W. Johnson & April W. Johnson
42100 Duck Lane, Bay Minette, AL 36507

Online Case File Number: The official case number for this application is SC22-36, however, when searching online CitizenServe database, please use SC22-000036.

Parcel: 05-22-08-25-0-000-020.000

PIN: 36136

Traffic Study: Not required (less than 50 lots requested and thus not required per Article 5, section 5.5.14)

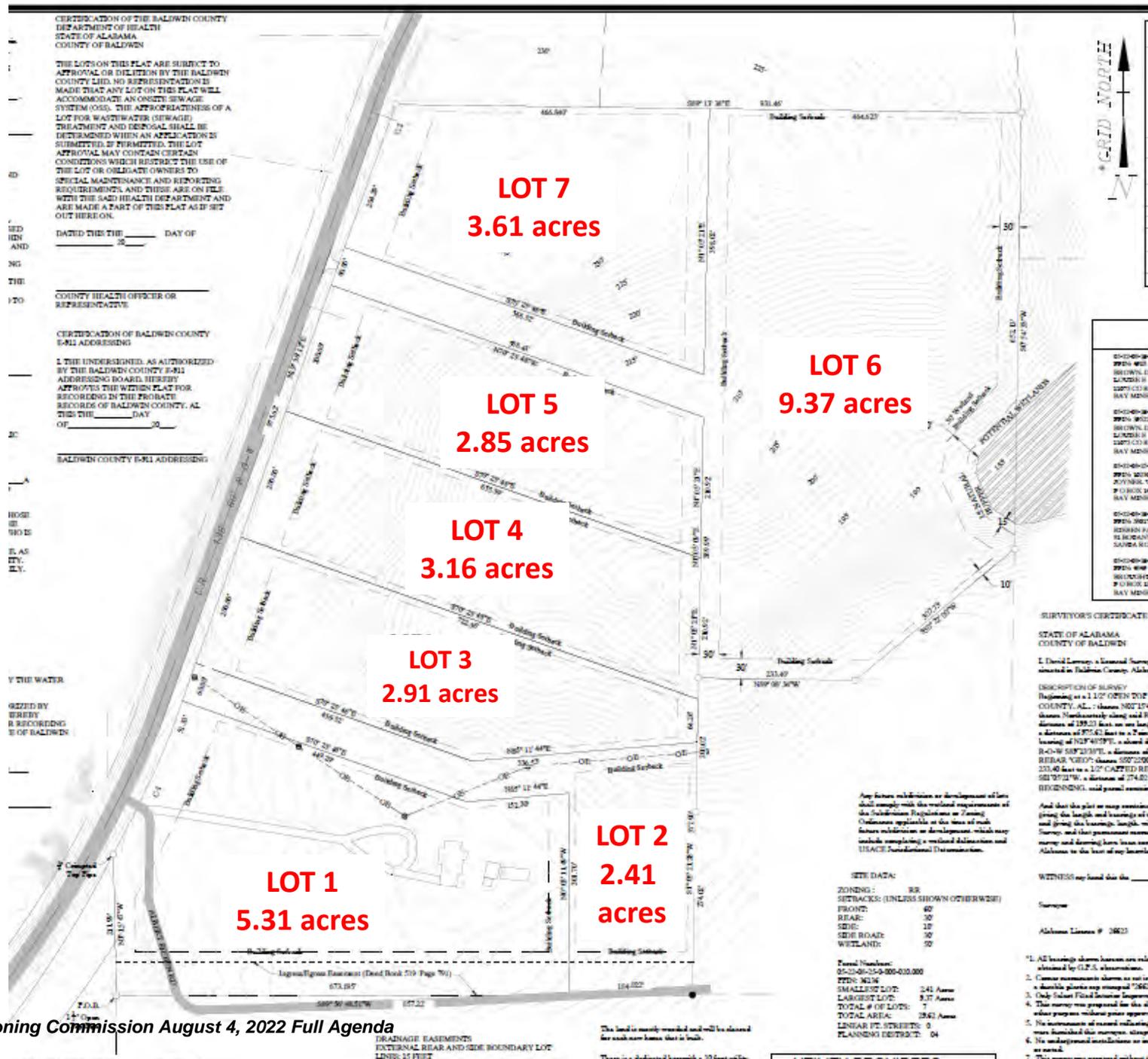
Drainage Improvements: None required, the drainage pattern will remain the same once this subdivision is created.

Wetlands: Potential Wetlands and applicable setbacks are shown on the plat.

Streets / Roads: No new streets, roads, sidewalk, or curb and gutter to be installed by the subdivision..

Utility Providers:

- Water: Whitehouse Water
- Electrical: Baldwin EMC
- Septic: On-Site Septic



CERTIFICATION OF THE BALDWIN COUNTY DEPARTMENT OF HEALTH STATE OF ALABAMA COUNTY OF BALDWIN

THE LOTS ON THIS PLAT ARE SUBJECT TO APPROVAL OR DELAY BY THE BALDWIN COUNTY LHD. NO REPRESENTATION IS MADE THAT ANY LOT ON THIS PLAT WILL ACCOMMODATE AN ONSITE SEWAGE SYSTEM (OSS). THE APPROPRIATENESS OF A LOT FOR WASTEWATER (SEWAGE) TREATMENT AND DISPOSAL SHALL BE DETERMINED WHEN AN APPLICATION IS SUBMITTED IF PERMITTED. THE LOT APPROVAL MAY CONTAIN CERTAIN CONDITIONS WHICH RESTRICT THE USE OF THE LOT OR OBLIGATE OWNERS TO SPECIAL MAINTENANCE AND REPORTING REQUIREMENTS, AND THESE ARE ON FILE WITH THE SAID HEALTH DEPARTMENT AND ARE MADE A PART OF THIS PLAT AS SET OUT HEREON.

DATED THIS THE _____ DAY OF _____

COUNTY HEALTH OFFICER OR REPRESENTATIVE

CERTIFICATION OF BALDWIN COUNTY EARL ADDRESSING

I, THE UNDERSIGNED, AS AUTHORIZED BY THE BALDWIN COUNTY EARL ADDRESSING BOARD, HEREBY APPROVES THE WITHIN PLAT FOR RECORDING IN THE PUBLIC RECORDS OF BALDWIN COUNTY, AL THIS THE _____ DAY OF _____

BALDWIN COUNTY EARL ADDRESSING



SURVEYOR'S CERTIFICATE:

STATE OF ALABAMA
 COUNTY OF BALDWIN

I, David Lacey, a Licensed Surveyor located in Baldwin County, Alabama

DESCRIPTION OF SURVEY:
 Beginning at a 1 1/2" (15") CIVIL SURVEY COUNTY AC... showing 107,124 acres Northwesterly along said 10 distance of 199.23 feet on one long a distance of 275.42 feet to a 7 inch bearing of N 67° 45' 00" E a distance of 100.00 feet to a 1 1/2" CAPTED BEARING of 274.81 BEARING, said parcel contains

And that the plat or map contains (true) the length and bearings of all and being the bearings, lengths, or survey, and that permanent corner survey and showing have been set in Alabama to the best of my knowledge

WITNESS my hand this the _____

Surveyor

Alabama License # 38623



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

County Road 138

SUBJECT PROPERTY
05-22-08-25-0-000-020.000
PIN: 36136

State Highway 225

Durant Road

Albert Rieben Ln

SC22-36 JOHNSON SUBDIVISION
VICINITY MAP



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

County Road 138

SUBJECT PROPERTY
05-22-08-25-0-000-020.000
PIN: 36136

State Highway 225

Durant Road

Albert Rieben Ln

SC22-36 JOHNSON SUBDIVISION
AERIAL VIEW

Staff Comments

- Krista Landenwich, P.E., of Tensaw Engineering, prepared a written drainage narrative for subject property
 - There will be no increase to the flow in the existing cross drain. There is no need for additional drainage.
 - The written drainage narrative has been reviewed and accepted by the Baldwin County Highway Department.



June 16, 2022

Baldwin County Commission
Highway Department
Central Annex II
22070 Highway 59
Robertsdale, AL 36567

Subject: Johnson Ridge Subdivision
County Road 138
Bay Minette, AL 36507

The proposed 7 lot subdivision is located on County Road 138 in Bay Minette, AL. The south most existing driveway is known as Albert Rieben Road and is approximately 2.5 miles southwest of White House Fork Road.

The existing drainage patterns of the site are that 24.15 acres of the 29.5 acre lot drain to the east to White House Creek. The remaining 5.43 acres drain to an existing cross drain under CR 138. There will be no increase to the flow in the existing cross drain. There is no need for additional drainage infrastructure to be added to this site. The smallest lot is 2.41 acres and the average lot size is greater than 4 acres.

Thank you for reviewing this subdivision application.

Sincerely,

Krista Landenwich, PE

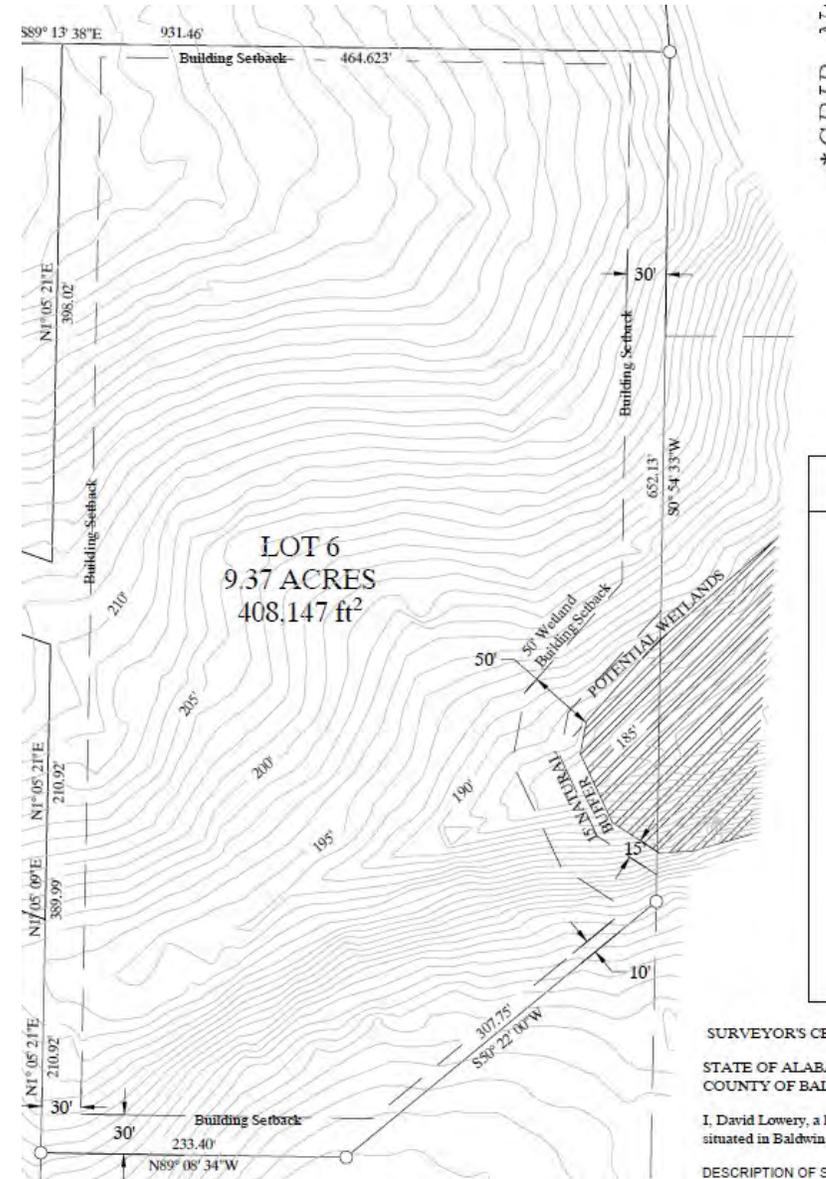


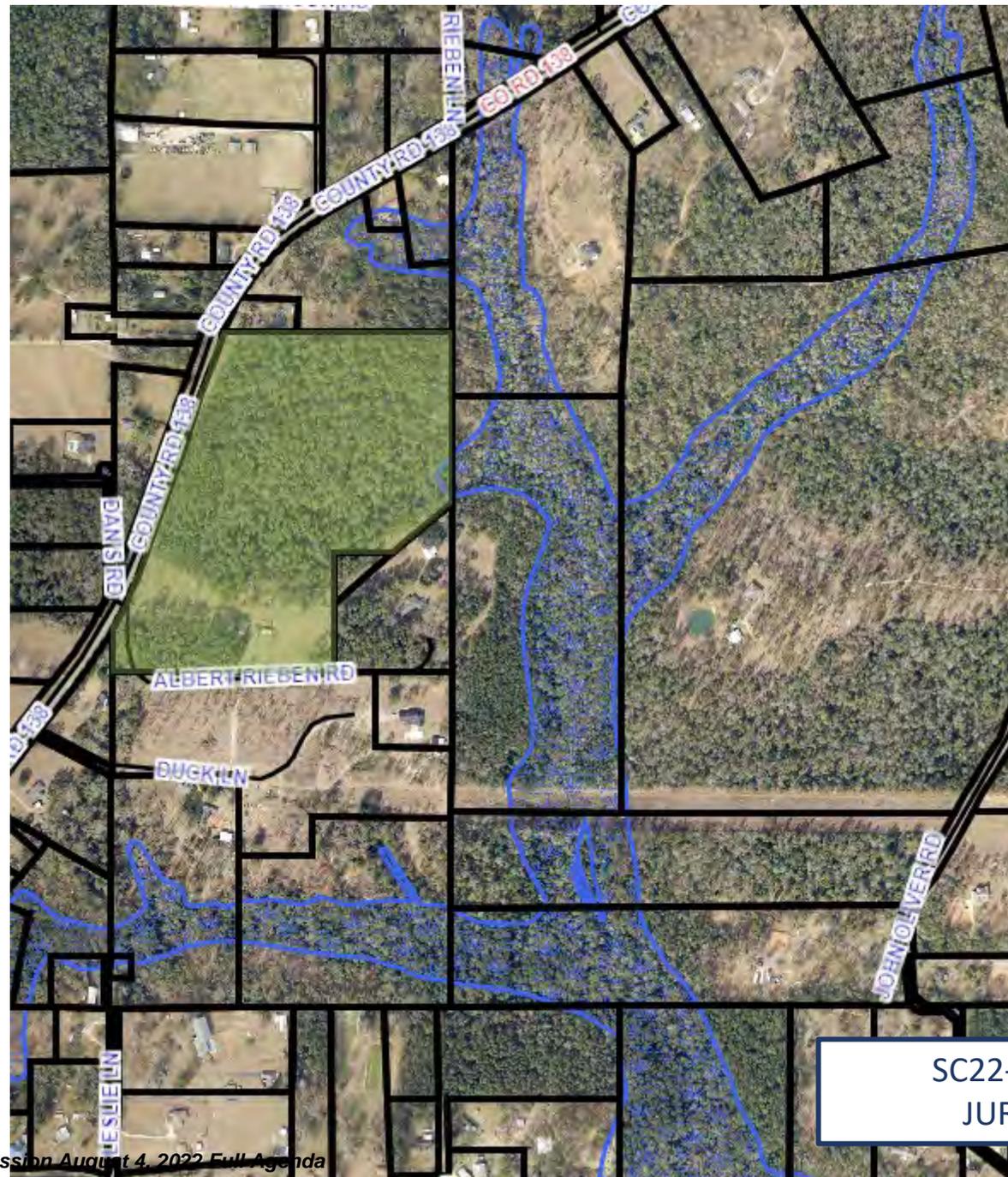
15 Hand Avenue, Suite 158
Bay Minette, AL 36507

Ph. (251)-331-1711

Staff Comments

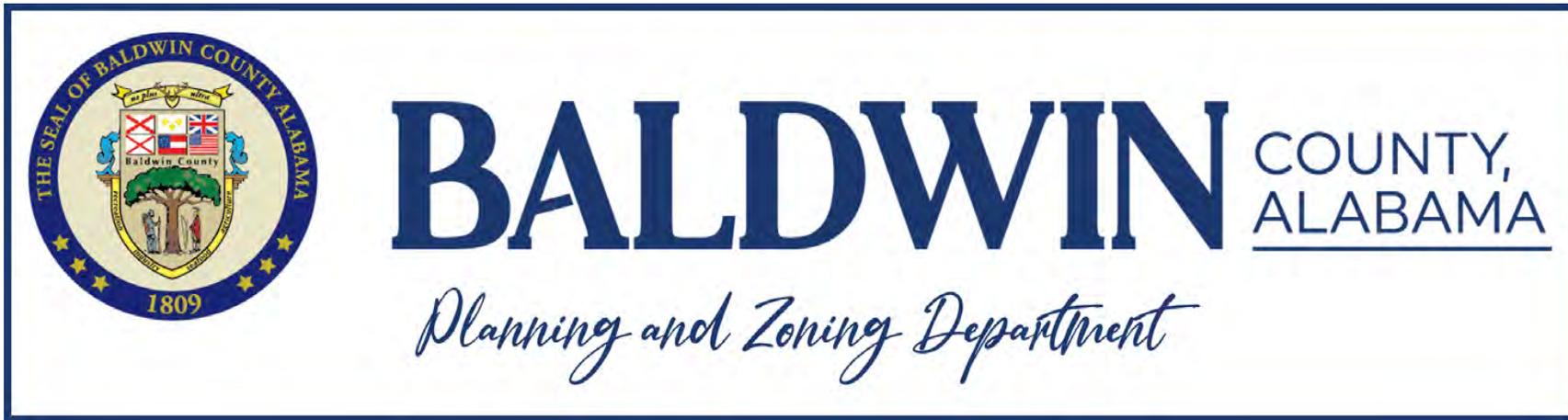
- There are potential wetlands indicated on proposed Lot 6.
 - No wetland delineation has been provided.
 - The applicant has invoked section 5.5.2(e) and has shown the applicable 30' wetland building setback and 15' natural buffer.
 - No wetlands are proposed to be filled.





SC22-36 JOHNSON SUBDIVISION
JURISDICTIONAL WETLANDS

There are no conditions for approval and Staff recommends that the Preliminary Plat application for Case No. SC22-36, JOHNSON SUBDIVISION, be APPROVED subject to compliance with the Baldwin County Subdivision Regulations.



SUBDIVISION PRELIMINARY PLAT REQUEST

SPP22-22 TEALWOOD ESTATES

AUGUST 4, 2022

PRESENTED BY: SHAWN MITCHELL, DEVELOPMENT REVIEW PLANNER

Location: Subject property is located on Underwood Rd., between County Road 9 and County Road 49. It is east of Fish River.

Planning District: 14

Zoning: The citizens of Planning District 14 have not implemented zoning

Total Property Area: 34.14 acres +/-

Total # of Lots requested: 76 Lots

- Smallest lot: 8,272 sf +/-
- Largest lot: 17,316 sf +/-
- Building Setbacks: 30' Front, 30' Rear 10' Side, 20' Street side

Streets / Roads: 4,453 LF of streets for public use

- Proposed lots will access internal streets only

Owner/Developer: HV Properties, LLC, 1537 Dorado Way, Gulf Shores, AL 36542

Surveyor: Frank Fabre, Fabre Engineering and Surveying, Inc, 21530 Professional Dr., Suite B-105, Robertsdale, AL 36567

Online Case File Number: The official case number for this application is SPP22-12 Tealwood Estates Subdivision, Phase I, however, when searching the online CitizenServe database, please use SPP22-000012

Parcels: 05-55-04-17-0-001-002.001, 05-55-04-17-0-001-002.003, 05-55-04-17-0-001-002.000

PINS: 11370, 219435, 68569

Traffic Study: TIS prepared and stamped by David Anderson, PE, with HSA Consulting Group.

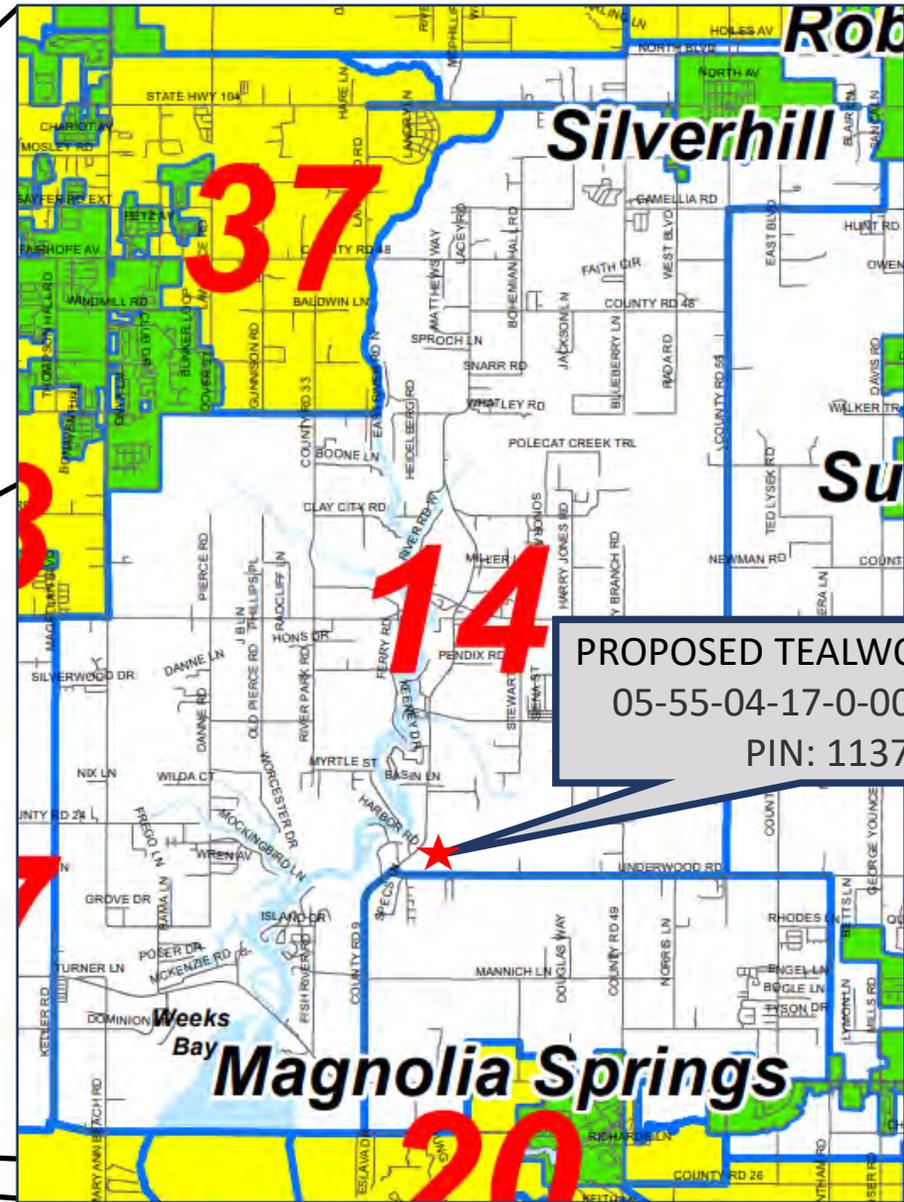
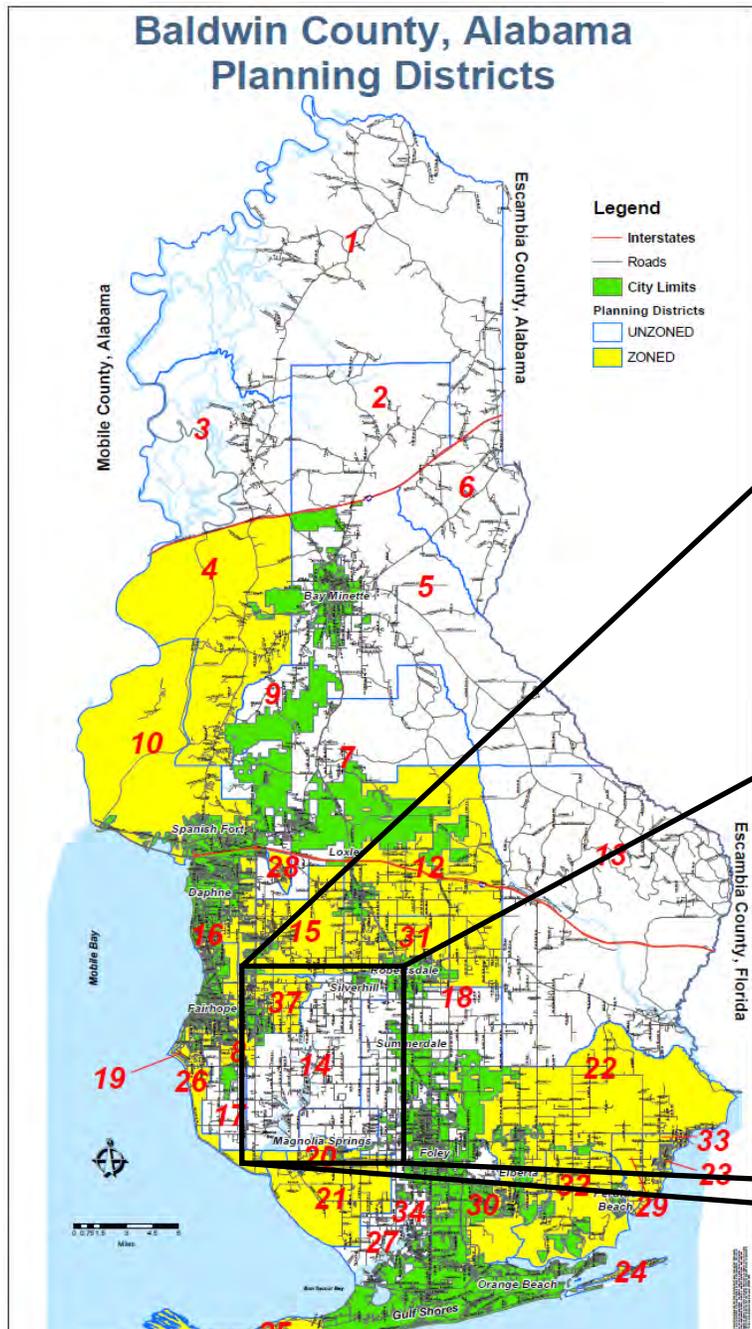
Drainage Improvements: A drainage narrative was prepared and stamped by Frank Fabre, PE, and accepted by the Baldwin County Highway Department.

Wetlands: A wetland delineation was performed by Craig Martin, Senior Scientist with Wetland Sciences, Inc.

Utility Providers:

- Domestic Water: Riviera Utilities
- Sewer: Baldwin County Sewer Service
- Electrical: Baldwin EMC
- Broadband: Century Link

Baldwin County, Alabama Planning Districts

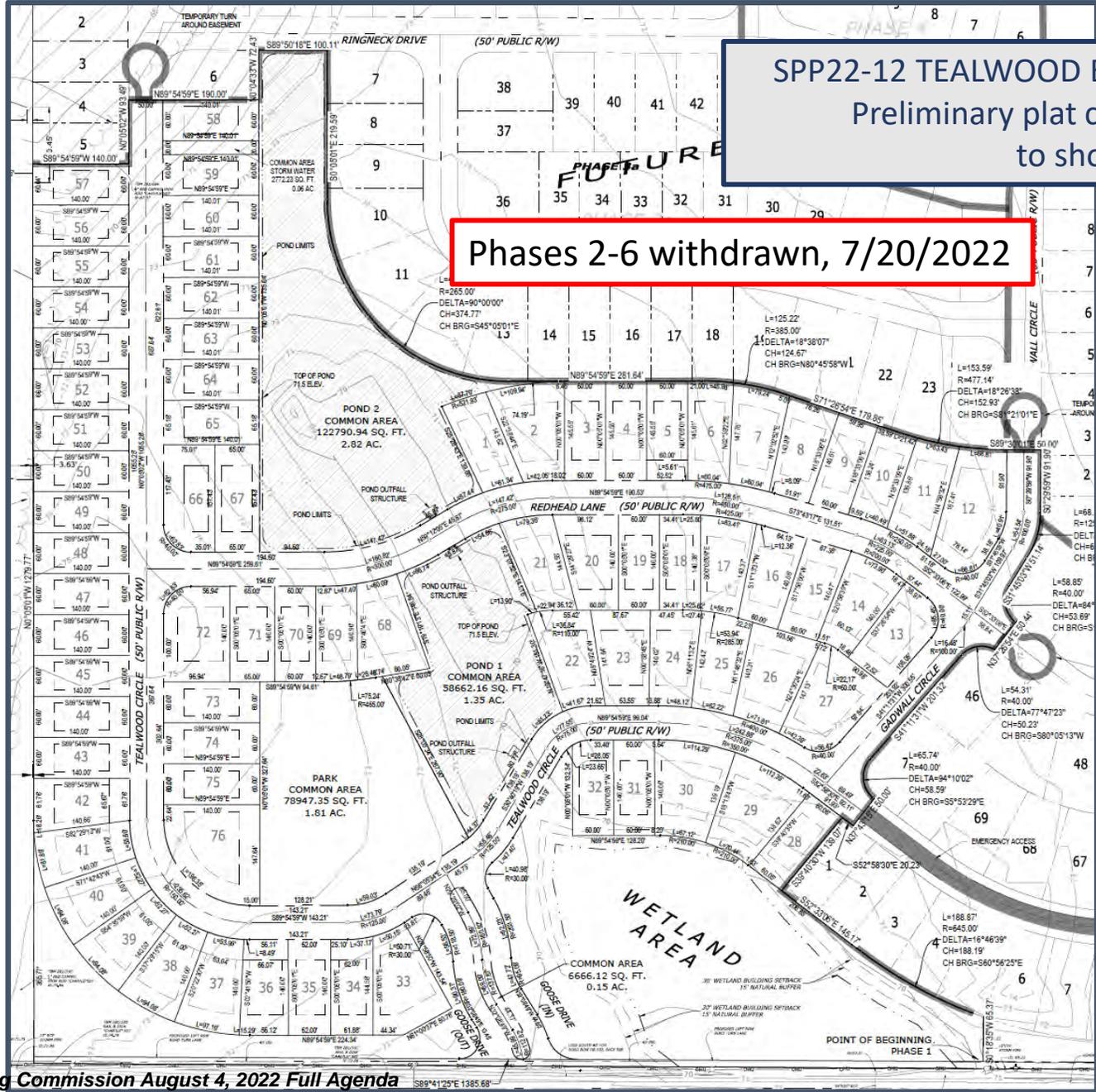


PROPOSED TEALWOOD ESTATES
 05-55-04-17-0-001-002.001
 PIN: 113710



SPP22-12 TEALWOOD ESTATES SUBDIVISION, PH I
Preliminary plat cropped and enlarged
to show details

Phases 2-6 withdrawn, 7/20/2022



FAIRHOPE

CR 49

SUBJECT PROPERTY

05-55-04-17-0-001-002.001,
05-55-04-17-0-001-002.003,
05-55-04-17-0-001-002.000
PINS: 11370, 219435, 68569

Underwood Road

CR 9

FOLEY

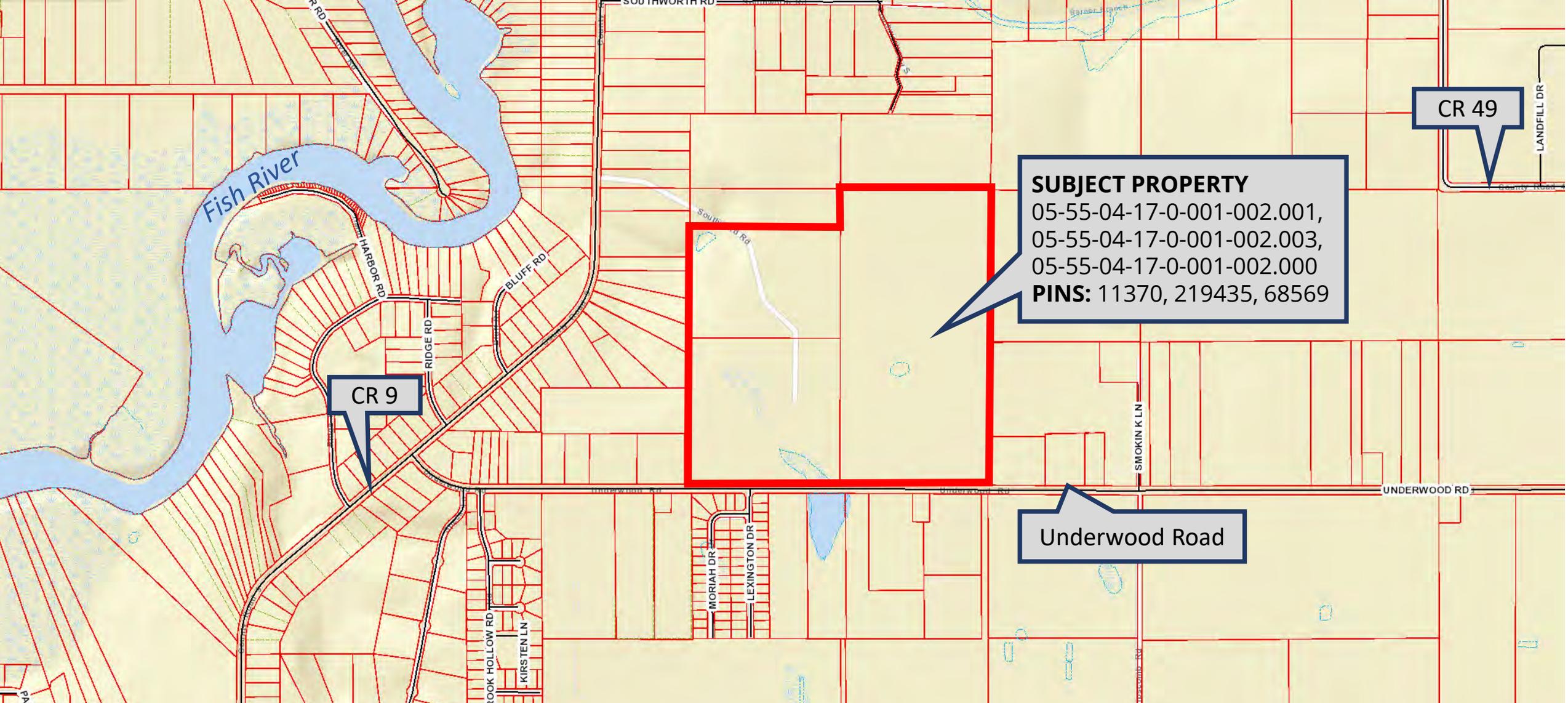
MAGNOLIA SPRINGS



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

SPP22-12 TEALWOOD ESTATES, PH. 1
MUNICIPAL AREAS



CR 49

SUBJECT PROPERTY
05-55-04-17-0-001-002.001,
05-55-04-17-0-001-002.003,
05-55-04-17-0-001-002.000
PINS: 11370, 219435, 68569

CR 9

Underwood Road

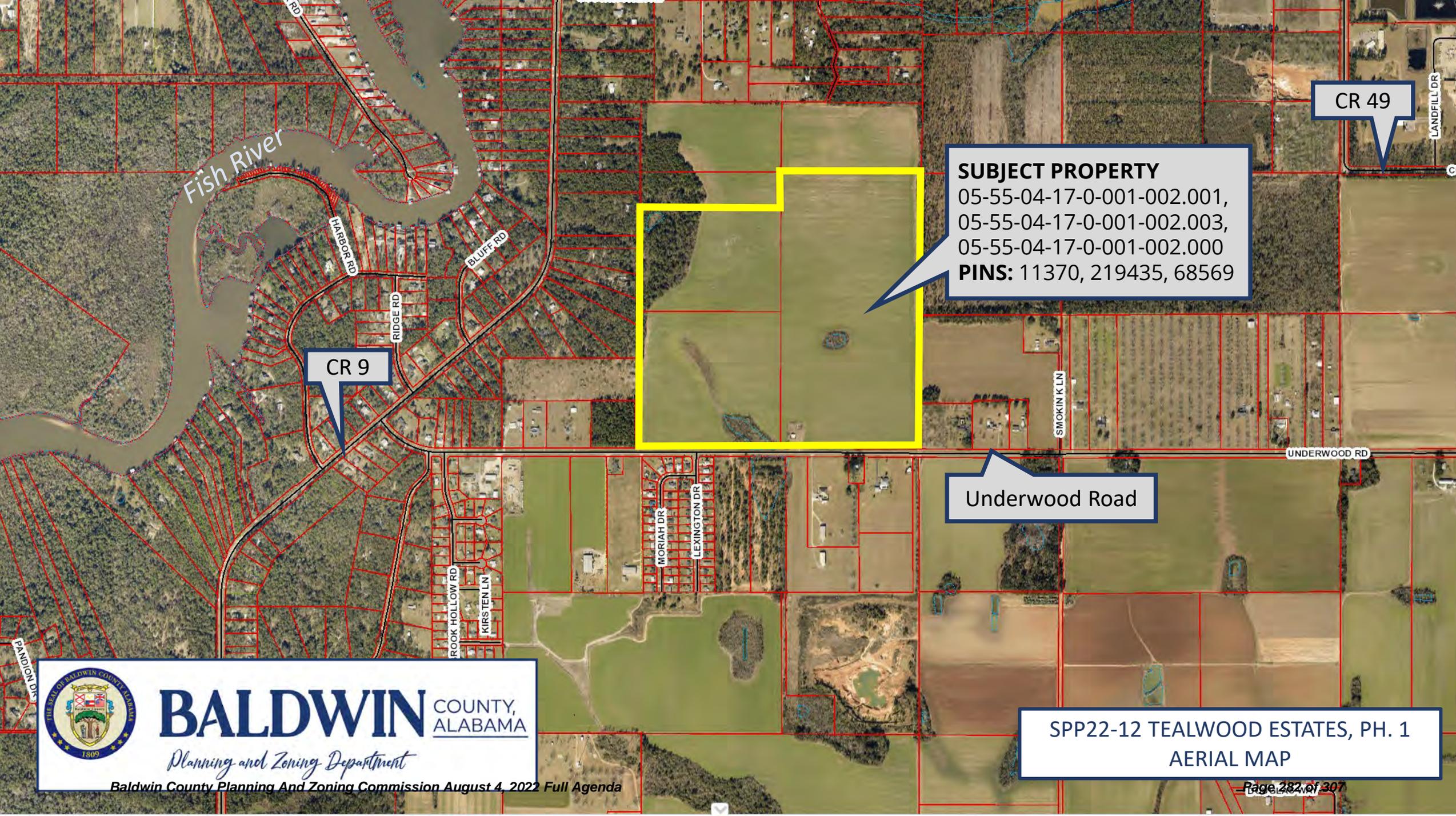


BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

Baldwin County Planning And Zoning Commission August 4, 2022 Full Agenda

SPP22-12 TEALWOOD ESTATES, PH. 1
VICINITY MAP



CR 49

SUBJECT PROPERTY
05-55-04-17-0-001-002.001,
05-55-04-17-0-001-002.003,
05-55-04-17-0-001-002.000
PINS: 11370, 219435, 68569

CR 9

Underwood Road



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

Baldwin County Planning And Zoning Commission August 4, 2022 Full Agenda

SPP22-12 TEALWOOD ESTATES, PH. 1
AERIAL MAP

Staff Comments

A drainage narrative was prepared and stamped by Frank Fabre, PE.

- Drainage improvements have been recommended
- The stormwater report has been reviewed and accepted by the Baldwin County Highway Department

Drainage Report
Phase 1 Tealwood Subdivision

Narrative

The purpose of this project is to construct a 76 lot residential subdivision on a site on the north side of Underwood Road and across from Lexington Drive in unincorporated Baldwin County. The existing Phase 1 site drains almost exclusively to the south to an existing overland route south eventually discharging it to Eslava Branch. The existing Phase 1 site contains a high point for the surrounding area and does not receive any off-site runoff.

All detention will be held in two wet-bottomed detention ponds located in the center of the phase. All detention will be held above the static water surface elevation.

Baldwin County Storm Water Management Program requires that the NRCS TR-55 method be used to calculate needed detention volume. It was calculated that the needed detention volume is 12,473 acre-feet or 543,307 cubic feet. A total of 13,282 acre-feet or 578,569 cubic feet of detention will be provided.

The natural topography of the land has gentle slopes, less than one percent in some places, that sheet flow the existing runoff off site to the south. The site design will use storm sewers, sheet flow, and stormwater inlets to capture and direct the flow into two detention ponds located in the center of the site. The two ponds are connected to each other and will act as one pond. The site will require grading, but the only pieces of the site that will require large amounts of earthwork is the area of the detention ponds and the western edge.

Note: The drainage plan and the stormwater impact to ra... These revisions include rerouting existing gully that discharges

Discharge Structure:

The pond system was modeled to be staged by storm event us

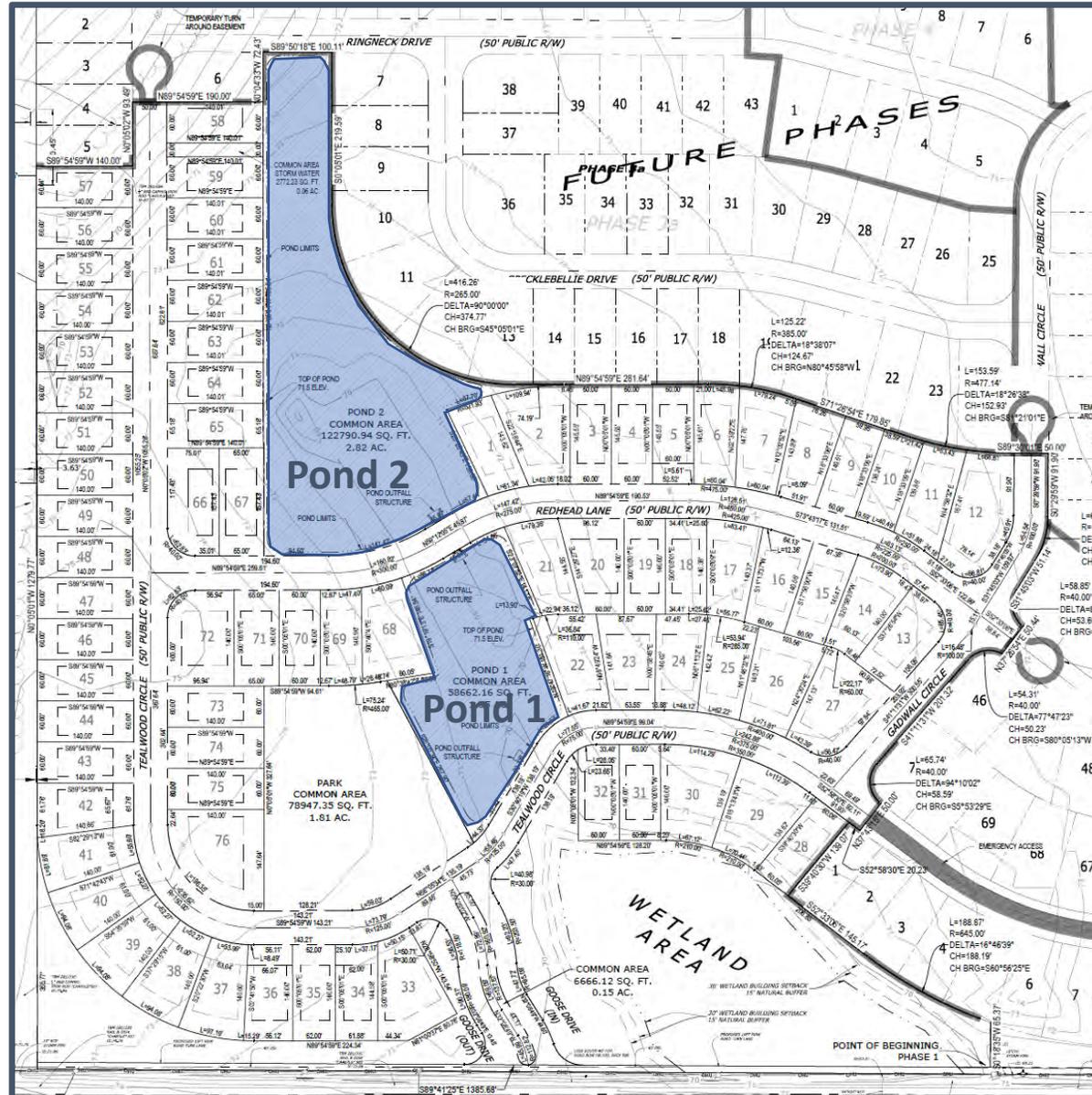
on site. Where the elevation of the top of the pond is 71.5 feet and proposed static water surface elevation is 68.00 feet. There is 3.204 acres of land on the site which are NOT designed to be routed through the detention pond as this is an existing and delineated wetland area adjacent to the wetlands that currently directly drains to the public right-of-way. We do not propose to reroute the course or direction of any runoff emanating from the wetland area.

The cross drain pipe running underneath Underwood Road is currently a 24"x36' pipe. While larger pipes are discharging to this pipe, significantly less water will be discharged to the pipe from the designed site compared to the existing site.

10-0-00



Note: The drainage plan and HydroCAD model used in the original report have been revised to reduce the stormwater impact to rates and volumes lower than would be found on the site pre-development. These revisions include rerouting the runoff generated by over seven acres of a later phase to an existing gully that discharges to Fish River.



Staff Comments

David Jon Anderson, PE, prepared a traffic impact study for subject property

- Improvements have been recommended
- The traffic report has been

Change in subdivision name but not location

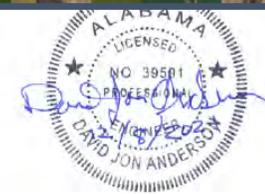
Traffic Impact Study

Maronda Homes – Phase 1
Baldwin County, AL

EXHIBIT 2 – Project Location Map (zoomed)



December 8, 2021



CONCLUSIONS / RECOMMENDATIONS

This analysis has shown that the three intersections in the study area are currently operating at LOS A or B, and that the trips from the proposed Maronda Homes Phase 1 project will have a minimal impact and will not significantly affect the LOS or delay at the intersections. A 375' westbound right turn lane (including 100' taper) is required at the project access point for Phase 1 (the western driveway for the overall planned project).

NOTE: In addition, it is likely that Phase 2 of this project will necessitate an eastbound left turn lane at this driveway.



June 21, 2022

Jim C. Kirkendall
Design Engineer FABRE ENGINEERING & SURVEYING
21530 Professional Drive
Robertsdale, AL 36567

In Re: Tealwood Subdivision on Underwood Road Summerdale, AL 36580

Jim,

At your request, this letter is to verify that Baldwin County Sewer Service LLC (BCSS) has the capacity and capability to serve this subdivision across from the intersection of Underwood Road and Lexington Drive in Summerdale.

Baldwin County Sewer Service LLC is willing and able to provide sewer service to the above referenced property, **subject to applicant paying all fees required for this service.** This letter is

letter.

**A franchise fee may apply in franchise areas.*

The wastewater will be treated at our Summerdale wastewater treatment plant.

Sincerely,

Angela Foley
Baldwin County Sewer Service, LLC
(251) 971-3022
angela@baldwincountysewer.com



June 16, 2022

Jim Kirkendall
Fabre Engineering & Surveying
21530 Professional Dr.
Robertsdale, AL 36567

RE: Tealwood Estates (611 Units)
Foley, Alabama

Dear Mr. Kirkendall,

Recently, you approached CenturyLink about providing a "will serve" letter to serve the **Tealwood Estates**. CenturyLink appreciates the opportunity to provide this development with its future communication needs. Based on the received plat or map received CenturyLink has the ability and capabilities to serve this development.

We look forward in working with **the developer** to undertake an analysis of the construction required and the cost to complete the project. Upon agreement of the needed construction, cost, and terms, CenturyLink will be able to provide a fiber build and serve this development. As this is a fiber build, this service will far exceed the minimum service threshold of 25mb/25mb as required by the Baldwin County.

The service you request will be provided for under the prevailing Terms and Conditions of the General Customer Services Price List posted on our CenturyLink web site at www.CenturyLink.com/tariffs.

If there are any further questions, or if I can be of any help, please do not hesitate to call me at 251.952.5781. I will work with you on the requirements.

Sincerely,

Jeff Crowe
Engineer II - Eastern Region



RIVIERA UTILITIES

413 E Laurel Avenue, P.O. Drawer 2050, Foley, AL 36536
Phone (251) 943-5001 Fax (251) 970-4181

1/11/2022

Robert Cummings, P.E.
Fabre Engineering & Surveying
21530 Professional Drive
Robertsdale, AL 36567

RE: Tealwood Subdivision

This letter is to confirm that Riviera Utilities is currently able to provide water service to the Tealwood Subdivision project located on Underwood Rd. in Foley, AL.

Riviera Utilities requires a 10' easement along all side property lines and a 15' easement along all front and rear property lines. Please ensure all property plats reflect the easements.

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.

Name	Department	Email
Tony Schachle	Water	tschachle@rivierautilities.com

If you have any questions or comments, contact Riviera Utilities at 251-943-5001.

Thank you,

Upon final design, Riviera Utilities will provide estimates for service fees and system installation requirements to meet all Riviera specifications. Please contact the following Riviera employees concerning costs and requirements.



BALDWIN EMC

Your Touchstone Energy Cooperative

P.O. Box 220
Summerdale, AL
36580-0220
(251) 989-6247

www.baldwinemc.com

June 13, 2022

Frank J. Fabre, P.E., P.S.M.
Fabre Engineering & Surveying
21530 Professional Drive, Suite B-105
Robertsdale, AL 36567

Re: Preliminary Plat for Tealwood Estates Subdivision, a 611 lot subdivision, Phases 1-7

Dear Frank J. Fabre:

This letter is to confirm that the referenced development is in Baldwin E.M.C.'s service territory. Also, this letter is confirming that the referenced has been submitted to Baldwin EMC.

Baldwin EMC is willing to service the development as long as the necessary easements are granted using our standard easement form and all other appropriate documents and fees are finalized in advance. Baldwin EMC must be given proper notice and planning time with respect to required system upgrades (transmission line, substation and distribution line). All system upgrades and line extensions will be in accordance with Baldwin EMC's current Line Extension Policy.

Please contact me to discuss necessary easements and fees.

Below is our typical required easements for subdivisions:

There is a dedicated herewith a 10 foot utility easement on all lot lines and common areas adjacent to the right-of-ways and a 10 foot utility easement on each side of lot and common area lines, unless otherwise noted.

If you have any questions or if I can be of further assistance, please do not hesitate to contact me at 251-989-0151.

Brian Seals
Manager of Engineering
BS/ss

Staff Comments

To fulfill Section 5.2.5(a)(3) of the Subdivision Regulations regarding fire protection

- Flow test results have been submitted.
- A letter was submitted to the Marlow 44 Fire Station on July 18. They have not responded.
- The ISO approval of installed improvements will be verified at the time of final plat submission

FIRE FLOW TEST



July 25, 2022

Baldwin County Planning and Zoning Department
22251 Palmer Street
Robertsdale, AL 36567

RE: Tealwood Subdivision Phase 1 – 76 Residential Lots Fire Flowrate

As Engineer of Record and Design Engineer, based on the fire flow test by Riviera Utilities attached hereto and the attached calculations, a minimum fire flow rate of 500 gallons per minute with a residual pressure of 20 psi can be provided at the most remote lot (Lot 58) in the Phase 1 project. This flowrate is ratable by ISO as an insurable flowrate. The calculations attached show that the residual pressure at maximum daily domestic demand and a fire flowrate of 500 gpm would be about 27 psig. Thus, I estimate that the flowrate would be 600 to 700 gpm with a residual pressure of 20 psig.

Riviera Utilities has committed to providing modeling information to more precisely determine the available fire flowrate.

To confirm, we have sent Riviera the lengths of existing and proposed 8-inch water mains and ground elevations for their use in modeling the fire flowrate available at Lot 58. Jason Shelton of Riviera said he will try to provide the results of modeling by Wednesday.

Should the modeling indicate that off-site water system improvements are required, the Developers will work with Riviera to provide same.

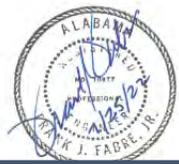
Note that all water lines within the Phase 1 project are 8-inches in diameter, are looped, and that fire hydrants will be spaced, located and specified in accordance with the County Subdivision Regulations.

Sincerely,

FABRE
a Bowman company



Frank J. Fabre, P.E., P.S.M.
Branch Manager





07/19/2022
0845
KW
800
72
28
876

Should the modeling indicate that off-site water system improvements are required, **the Developers will work with Riviera to provide same.**

fabreinc.com | bowman.com

Staff Comments

Wetland report prepared by Craig Martin, Senior Scientist, Wetland Sciences, Inc.

- Small, isolated wetland areas found on the subject property.



October 14, 2021

Robert Cummings, P.E.
Fabre Engineering & Surveying
119 Gregory Square
Pensacola, FL 32502

Re: *Wetland Assessment Report*
±120 Acres - Underwood Road, Baldwin County, Alabama
WSI Project # 2021-748

Dear Mr. Cummings,

As requested, Wetland Sciences, Inc. has completed a wetland assessment within approximately 119.33 acres of land located north of Underwood Road in Magnolia Springs, Baldwin County, Alabama. The parcel is identified with Parcel ID 05-55-04-17-0-001-002.001 and 05-55-04-17-0-001-002.000 by the Baldwin County Property Appraiser.

This assessment included an analysis of plant communities, soils, and indirect hydrologic indicators. During this determination, Wetland Sciences identified a potentially isolated wetland within the property.

Two relatively small, potentially isolated wetland complexes were located in the southern and central margins of the subject properties respectively. It appears that the depressional areas are isolated and do not connect to waters of the United States, therefore, these systems likely would be declared as isolated in light of the Supreme Court decisions in, Solid Waste Agency of Northern Cook County v. U.S. Army Corps of Engineers, No. 99-1178, and further described within a recent decision under the Navigable Waters Protection Rule of 2020, which further defines Federally regulated waters.

The non-jurisdictional determination was considered in lieu of the fact that the wetland area identified would be classified as isolated and maintain very limited or no hydrologic connection to adjacent waters. It is our opinion that the wetland will not fall within the regulatory jurisdiction of the US Army Corps of

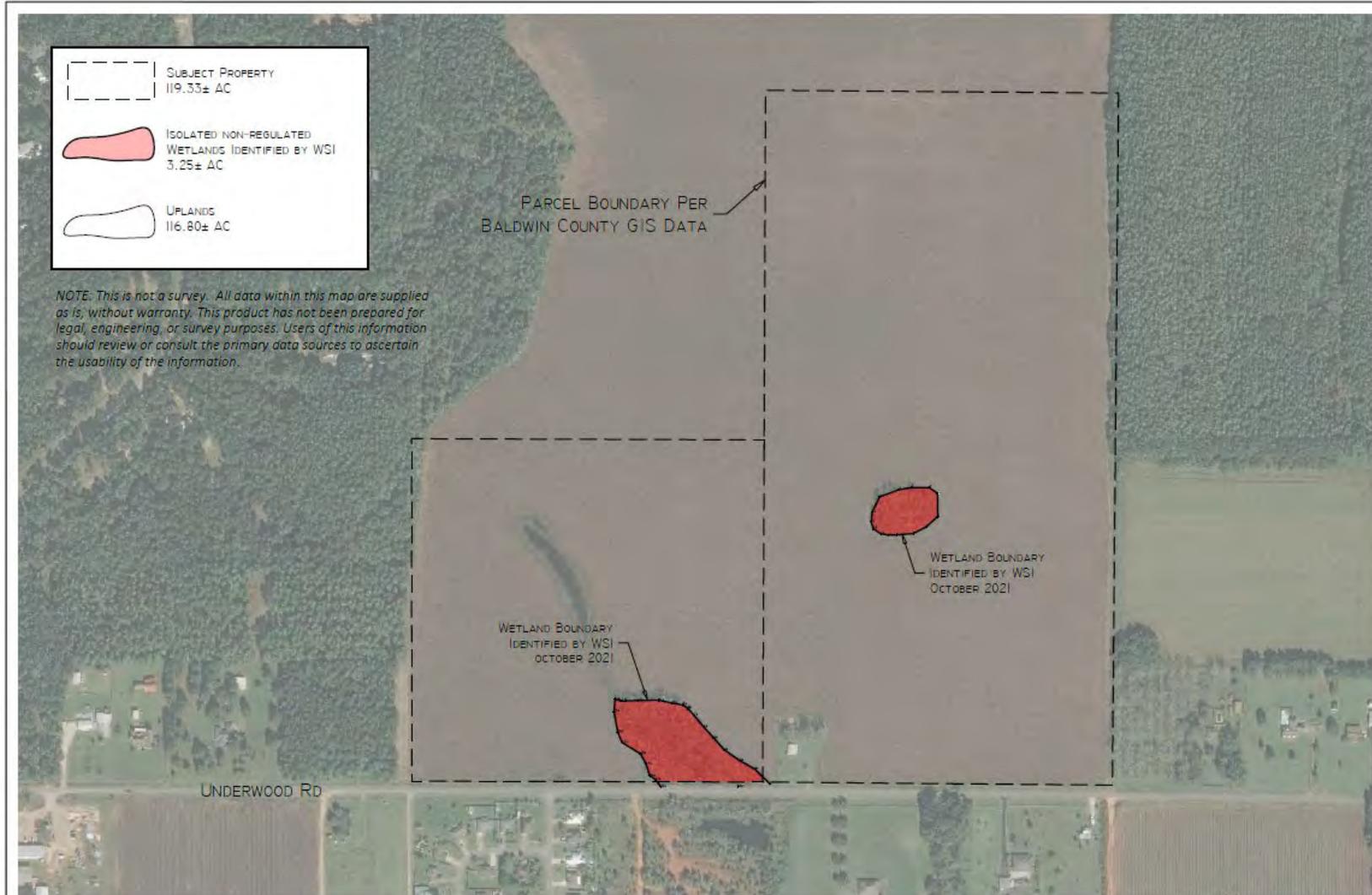
Two relatively small, potentially isolated wetland complexes were located in the southern and central margins of the subject properties respectively. It appears that the depressional areas are isolated and do not connect to waters of the United States, therefore, these systems likely would be declared as isolated

United States

the Regional
Plain Region
points along
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k flags were
pecific alpha
GeoXT GPS

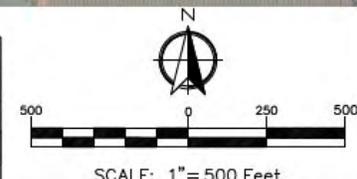
system to locate each point. Data was collected using Trimble's TerraSync Professional Software with

3308 Gulf Beach Hwy • Pensacola, Florida 32507 • Telephone: (850) 453-4700 • craig@wetlandsciences.com



ENVIRONMENTAL CONSULTANTS
 3308 GULF BEACH HIGHWAY
 PENSACOLA, FLORIDA 32507
 TEL: 850.453.4700
 CRAIG@WETLANDSCIENCES.COM

PROJECT NAME: UNDERWOOD RD	
WETLAND SKETCH	
PROJECT NO.:	2021-748
DRAWN BY: GEJ	DATE: 10-06-21
SHEET: 1 of 1	



Staff recommends that the Preliminary Plat application for Case No. SPP22-12 Tealwood Estates Subdivision, Phase I, be **APPROVED** subject to compliance with the Baldwin County Subdivision Regulations, including, but not limited to submission of a request for a Subdivision Permit to the Baldwin County Highway Department for all improvements and system upgrades to be installed with the development.



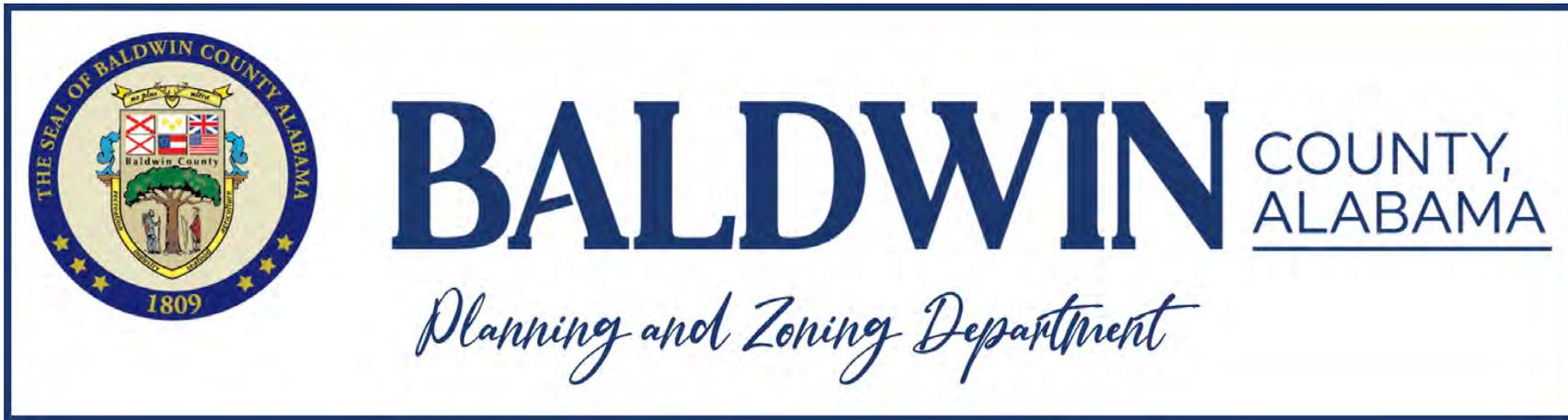
BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

NEXT REGULAR MEETING
SEPTEMBER 1, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL



HIGHWAY CONSTRUCTION SETBACK APPEAL

HCA22-6 DELUCIA PROPERTY

AUGUST 4, 2022

PRESENTED BY: JOHN B. (BUFORD) KING, DEPUTY DIRECTOR

STAFF WORK BY: CRYSTAL BATES, PLANNING TECHNICIAN

11.a) HCA22-6 DeLucia Property Highway Construction Setback Appeal

August 4, 2022

Request before the Planning Commission:

Appeal to allow a structure, already placed upon the property prior to building permit approval, to remain within the Highway Construction Setback (HCS)

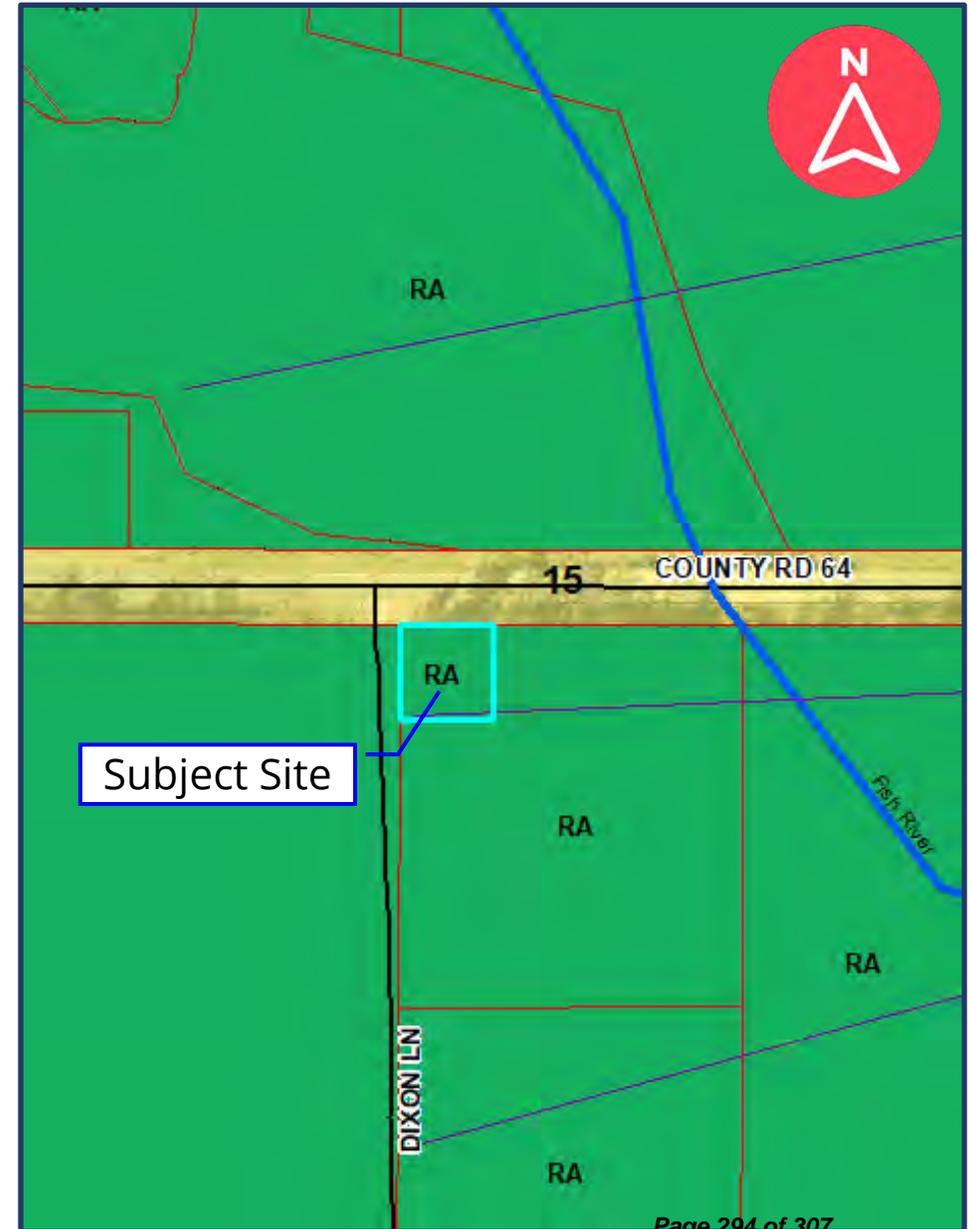
Staff report prepared by:

John B. (Buford) King, Deputy Director

Staff recommendation: **DENIAL**

To view maps/plats in higher resolution please visit the "Upcoming Items" Planning and Zoning webpage:

<https://baldwincountyal.gov/departments/planning-zoning/meeting-agenda>



HCA22-6 DeLucia Property Highway Construction Setback Appeal *property info*

Location: Subject property is located at the south side of County Road 64 approximately 230 feet west of Fish River and approximately ½ mile east of County Road 54 East.

Planning District: 15

Zoning: RA, Rural Agriculture

Roadway Functional Classification: Minor Arterial

Highway Construction Setback: 100-feet

Total # of Lots effected: 1 Lot

Total Property Area: 0.23 acres +/-

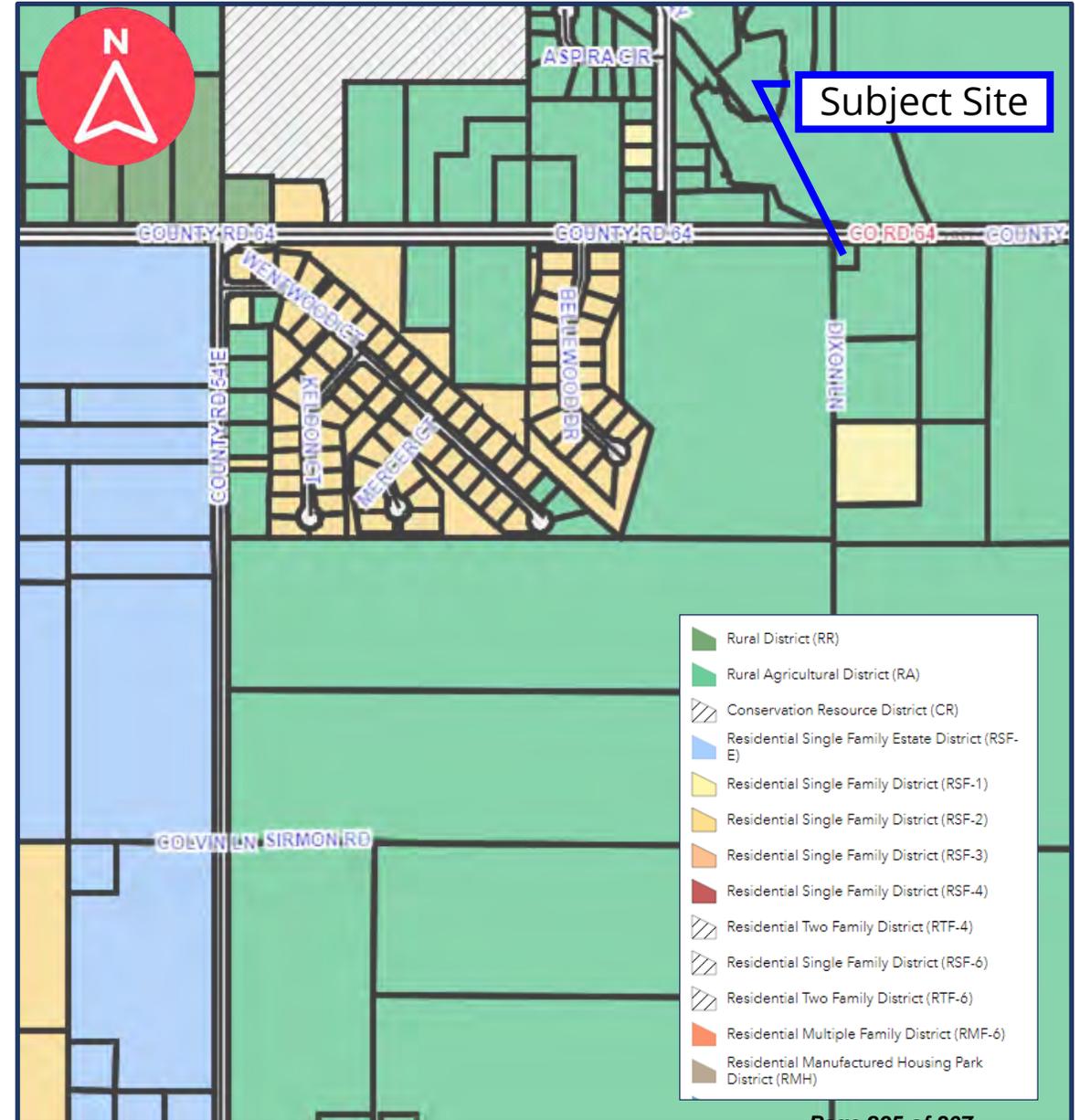
Parcel: 05-42-04-19-0-000-004.000

PIN: 43604

Owner / Developer:

Corey DeLucia
10610 County Road 1 Fairhope, AL 36532

Online Case File Number: The official case number for this application is HCA22-6, however, when searching the online CitizenServe database, please use HCA22-000006



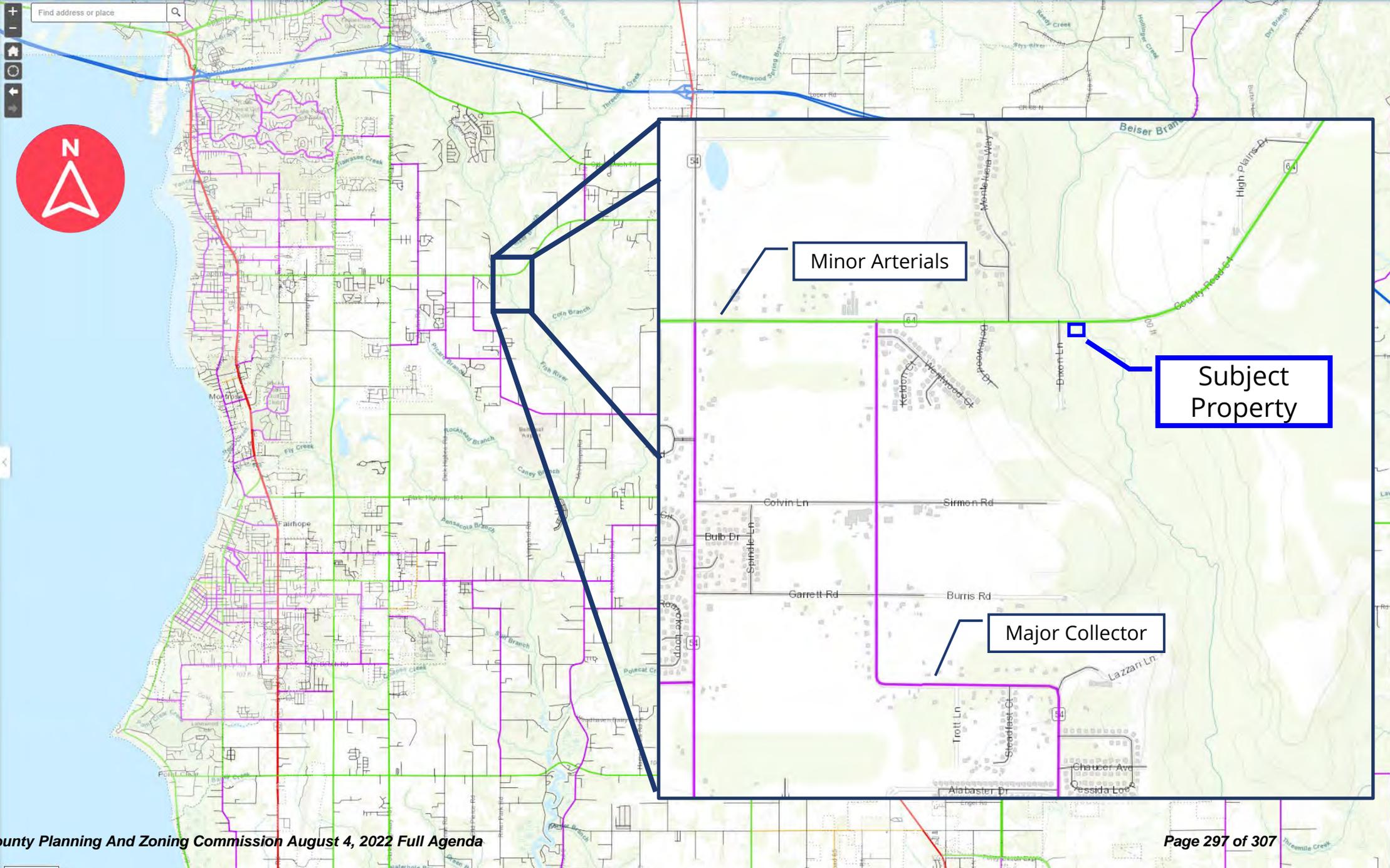
Section 45-2-260

Regulation of setbacks.

- a) This section shall apply only to Baldwin County.
- b) **The Baldwin County Commission, through the county planning and zoning commission, shall regulate the construction setback from the centerline of any state or county public road or highway located outside the corporate limits of a municipality in Baldwin County.**
- c) The provisions of this section do not apply to poles, facilities, structures, water, gas, sewer, electric, telephone, bill boards, or utility lines or other facilities of public utilities.
- d) The construction setback from any state or county public road or highway shall vary according to the highway functional classifications submitted by the Baldwin County Commission and approved by the Federal Highway Administration for Baldwin County.
- e) **The functional classifications and the construction setbacks required for each classification are established as follows:**
 1. Principal arterials require a 125 foot setback from the centerline of the right-of-way.
 2. **Minor arterials require a 100 foot setback from the centerline of the right-of-way.**
 3. Major collectors require a 75 foot setback from the centerline of the right-of-way.
 4. Minor collectors require a 50 foot setback from the centerline of the right-of-way.
- f) **No permanent structure shall be erected or constructed within the designated construction setback.**
- g) **Any landowner or other aggrieved party may appeal any decision made pursuant to this section by filing notice with the Baldwin County Planning and Zoning Commission within a reasonable time after such decision.** On such appeal, the Baldwin County Planning and Zoning Commission shall have authority to grant such relief as it may deem appropriate to remedy a gross inequity or extreme economic hardship as may be occasioned by strict enforcement of this section or any determination made pursuant to it. From the decision of the Baldwin County Planning and Zoning Commission, and within 30 days thereof, any party may appeal the decision to the Circuit Court of Baldwin County, Alabama, for trial, de novo.
- h) The county may institute an appropriate civil action to prevent an unlawful setback or to otherwise enforce this section.
- i) The provisions of this section are supplemental to any laws or any rules, regulations, or ordinances, state or local, relating to the right-of-way and the construction setback along or near any county or state public road or highway outside the corporate limits of a municipality in Baldwin County.

(Act 94-572, p. 1044, §§1-9.)

- 1
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Subject Property









**HCA22-6 DELUCIA APPEAL
SITE MAP PIN 43604**



CR 64 Centerline

**Requested 30' front
Building Setback**

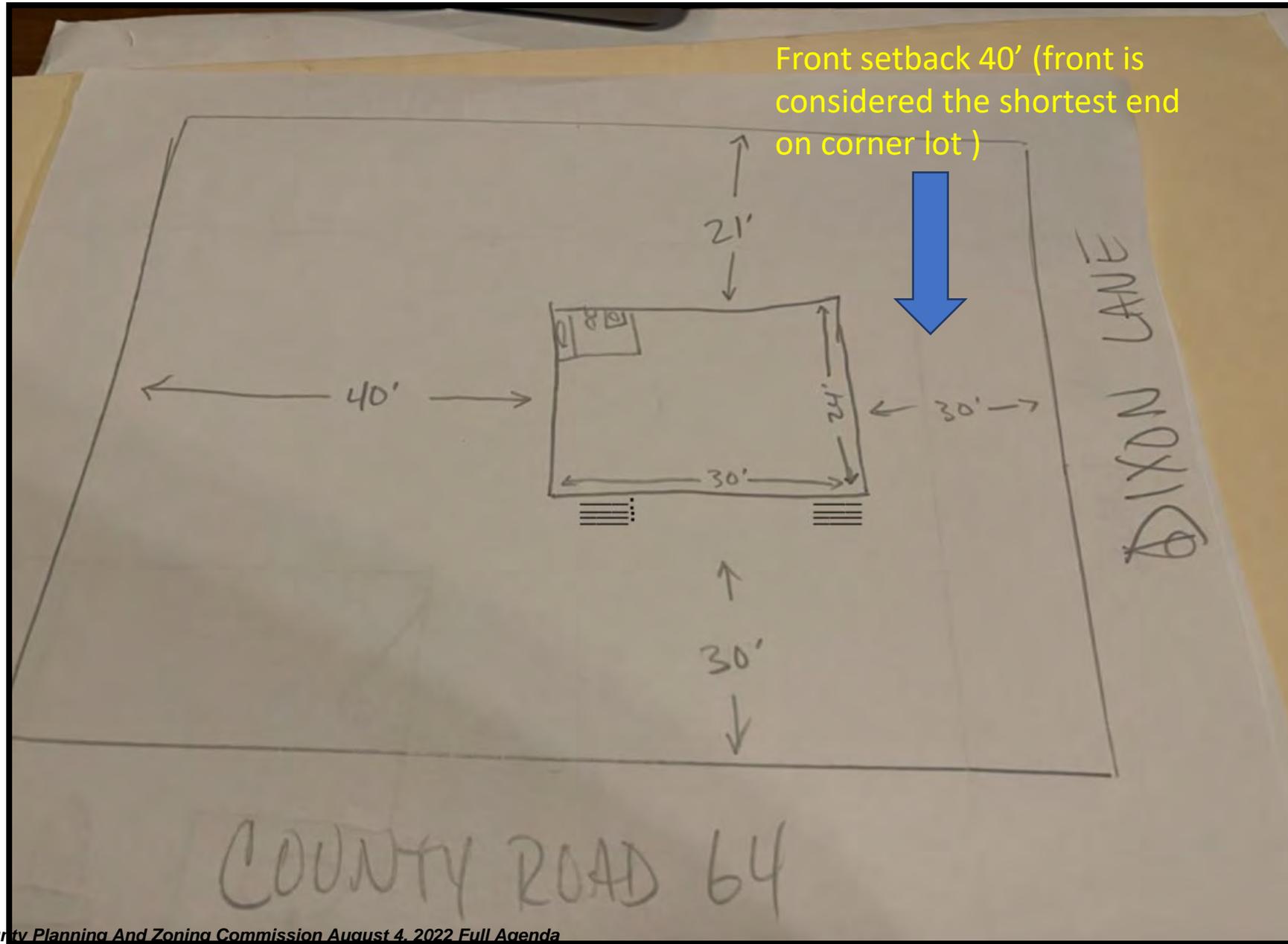
Edge of ROW

**Approx. 100' Highway
Construction Setback**

**HCA22-6 DELUCIA APPEAL
SITE MAP PIN 43604**



Applicant's Sketch of HCS appeal request



Front setback 40' (front is considered the shortest end on corner lot)



Section 45-2-260 (g)

g) Any landowner or other aggrieved party may appeal any decision made pursuant to this section by filing notice with the Baldwin County Planning and Zoning Commission within a reasonable time after such decision. On such appeal, the Baldwin County Planning and Zoning Commission shall have authority to grant such relief as it may deem appropriate to remedy a gross inequity or extreme economic hardship as may be occasioned by strict enforcement of this section or any determination made pursuant to it. From the decision of the Baldwin County Planning and Zoning Commission, and within 30 days thereof, any party may appeal the decision to the Circuit Court of Baldwin County, Alabama, for trial, de novo.

HCS22-6 DELUCIA PROPERTY HCS APPEAL

STAFF RECOMMENDATION

Staff recommends that the Highway Construction Setback Appeal for Case No. HCS22-6, DeLucia Property shall be **DENIED** based on P&Z staff's discussion with the staff of the Baldwin County Highway Department regarding future ROW acquisition(s) that may be required for future CR64 roadway improvement projects. Projects may include but may not be limited to the future widening of CR 64 and the future replacement of the bridge traversing Fish River. Staff fears the placement of permanent structures within the HCS may complicate or delay future ROW acquisition(s) required to accomplish the aforementioned roadway improvements.

The appeal, if approved, shall apply only to the subject parcel.



BALDWIN COUNTY, ALABAMA

Planning and Zoning Department

NEXT REGULAR MEETING
SEPTEMBER 1, 2022 4:00 PM

BALDWIN COUNTY CENTRAL ANNEX

ROBERTSDALE, AL