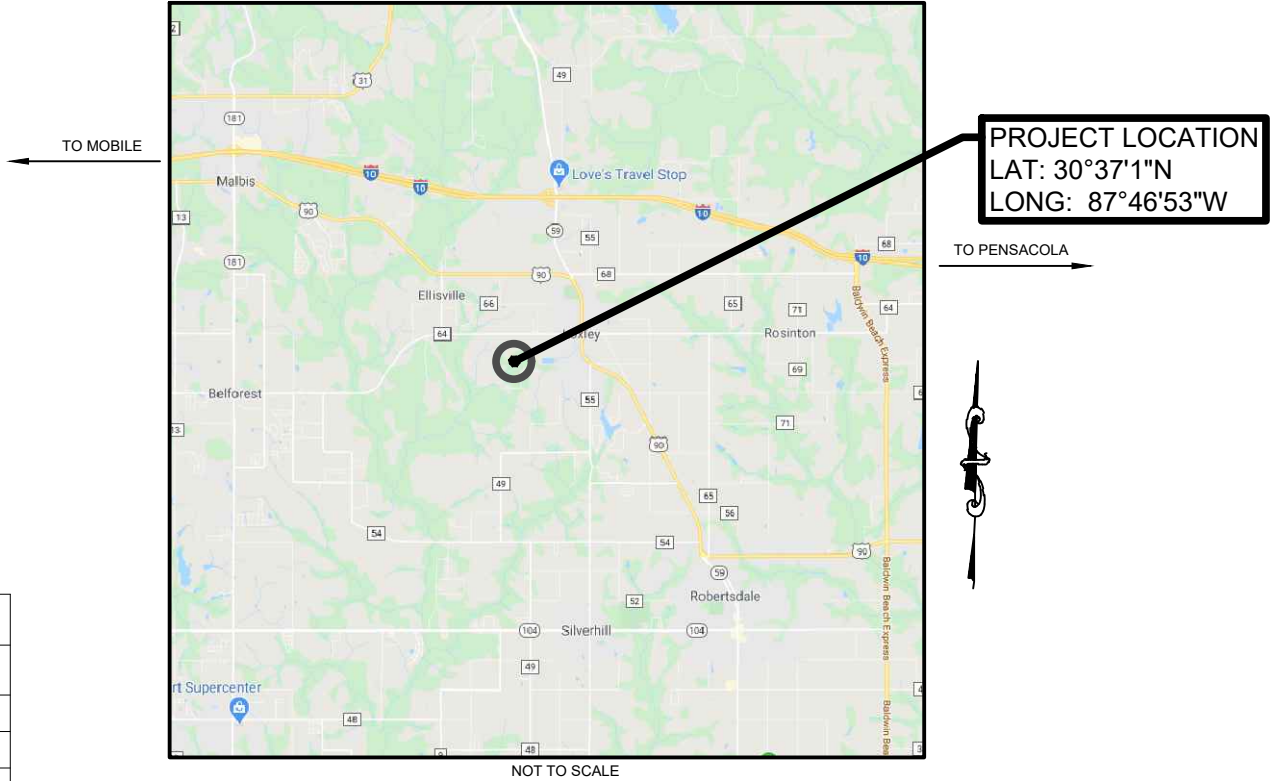
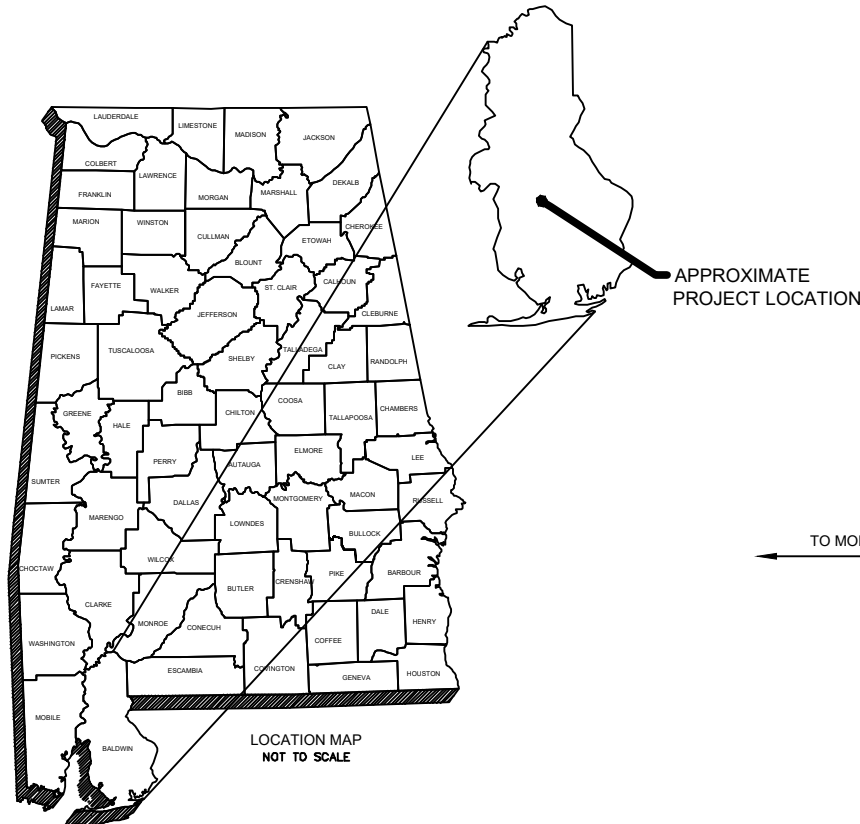


MACBRIDE LANDFILL SCALEHOUSE

FOR BALDWIN COUNTY COMMISSION


R079319035
LOXLEY, ALABAMA
AUGUST 2020



CLIENT:
BALDWIN COUNTY COMMISSION

SITE ADDRESS:
MACBRIDE LANDFILL
14200 CO RD 64
LOXLEY, AL 36551

INDEX TO SHEETS	
SHEET NUMBER	SHEET TITLE
C-100	TITLE SHEET
C-102	NOTES AND LEGEND
C-301	EXISTING CONDITIONS AND SITE CONTROL
C-302	SITE CONSTRUCTION PLAN
C-501	OFFICE FLOORPLAN AND SPECIFICATIONS
C-801	DETAILS


R D Wells
RALPH DANIEL WELLS
09/24/20
DATE


Engineering. Environmental. Answers.
ANDALUSIA, AL
ALBANY, AL GADSDEN, AL
AUBURN, AL HOOVER, AL
DOTHAN, AL HUNTSVILLE, AL

GENERAL NOTES:

1.
- CDG ENGINEERS & ASSOCIATES, INC. (CDG) SHALL NOT HAVE AUTHORITY OVER THE SITE OR BUILDING CONTRACTOR'S WORK OR RESPONSIBILITIES. CDG IS NOT RESPONSIBLE FOR SITE SAFETY PROCEDURES OR METHODS OF CONSTRUCTION.

2.
- EXISTING MOBILE OFFICE TO REMAIN FUNCTIONAL UNTIL PROPOSED OFFICE IS COMPLETE. ALL OTHER CONSTRUCTION ACTIVITIES AND SEQUENCING SHALL BE COORDINATED WITH OWNER TO PREVENT AN ENCUMBRANCE ON DAILY OPERATIONS.

3.
- CONTRACTOR SHALL SUBMIT DETAILED BUILDING PLANS FOR APPROVAL BY OWNER THAT INCLUDES SCHEDULES FOR STYLE AND COLOR OPTIONS TO BE SELECTED.

SITE NOTES: (NOT PART OF THIS CONTRACT)

1.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS REQUIRED TO CONSTRUCT THIS PROJECT. ALL PERMITS MUST BE IN-HAND PRIOR TO CONSTRUCTION.

2.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

3.
- ALL EXISTING IMPROVEMENTS SHALL REMAIN UNLESS SPECIFICALLY NOTED HEREON. UPON FIELD VERIFICATION, IF ANY OF THESE IMPROVEMENTS CONFLICT WITH PROPOSED DESIGN, CONSULT WITH CDG PRIOR TO REMOVAL.

4.
- TOPOGRAPHIC SURVEY FOR DESIGN WAS PERFORMED BY CDG.

5.
- IT IS CONTRACTOR'S RESPONSIBILITY TO PROVIDE CONSTRUCTION LAYOUT AND GRADE STAKING.

6.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROTECT ALL BENCHMARKS AND PROPERTY CORNERS. ANY REPLACEMENT WILL BE AT THE CONTRACTOR'S EXPENSE.

7.
- HORIZONTAL AND VERTICAL DATUMS USED IN DESIGN ARE NAD83, ALABAMA STATE PLANE WEST, AND NAVD88 RESPECTIVELY.

8.
- NOTIFY ENGINEER IMMEDIATELY IF ANY ERRORS AND OMISSIONS ARE FOUND DURING STAKING.

9.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO MUTCD SPECIFICATIONS.

10.
- ALL TRAFFIC STRIPING ON SITE SHALL BE APPLIED IN TWO COATS MINIMUM.

11.
- ALL ADA ACCESSIBLE ROUTES, PARKING, RAMPS, CROSSWALKS, SIGNS, SYMBOLS, AND PAINTED ISLANDS MUST CONFORM TO THE LATEST ADA REQUIREMENTS.

12.
- THE CONTRACTOR SHALL DESIGNATE A MATERIALS STAGING AREA AND CONSTRUCTION PARKING AREA; LOCATIONS SHALL BE COORDINATED WITH OWNER. CONTRACTOR SHALL BE RESPONSIBLE FOR UPKEEP OF THESE AREAS TO PREVENT RUTTING AND WASHING.

13.
- THE CONTRACTOR SHALL DESIGNATE A SINGLE CONCRETE WASH AREA AND COORDINATE LOCATION WITH OWNER.

14.
- CONTRACTOR SHALL MAINTAIN GRASSING UNTIL ESTABLISHED.

GRADING NOTES: (NOT PART OF THIS CONTRACT)

1.
- PROPOSED GRADES INDICATED ON THIS PLAN ARE TO FINISH GRADE. THE CONTRACTOR SHALL MAKE SUBGRADE ADJUSTMENTS FOR TOPSOIL, PAVING, BUILDING PAD, ETC.

2.
- ALL GRADING ADJACENT TO EXISTING OR PROPOSED BUILDINGS SHALL BE SLOPED AWAY FROM THE STRUCTURES. THE CONTRACTOR SHALL ASSURE POSITIVE DRAINAGE AWAY FROM THE STRUCTURES. NOTIFY CDG OF ANY DISCREPANCIES.

3.
- ALL EARTHWORK ACTIVITIES AND COMPACTION TESTING SHALL BE COORDINATED AND APPROVED BY A REGISTERED GEOTECHNICAL ENGINEER.




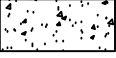


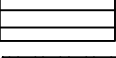
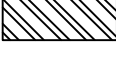
4.
- GEOTECHNICAL REPORT PERFORMED BY GOODWYN, MILLS, AND CAWOOD.

UTILITY NOTES:















































1.
- ALL EXISTING UTILITIES SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND SHALL BE FIELD VERIFIED PRIOR TO CONSTRUCTION. ANY DISCREPANCIES SHALL BE REPORTED TO CDG.

2.
- THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING IMPROVEMENTS ON OR OFF SITE DUE TO THE CONSTRUCTION OF THIS PROJECT. ANY DAMAGE WILL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.

3.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ANY CONSTRUCTION STAKEOUT WORK NEEDED DURING CONSTRUCTION.

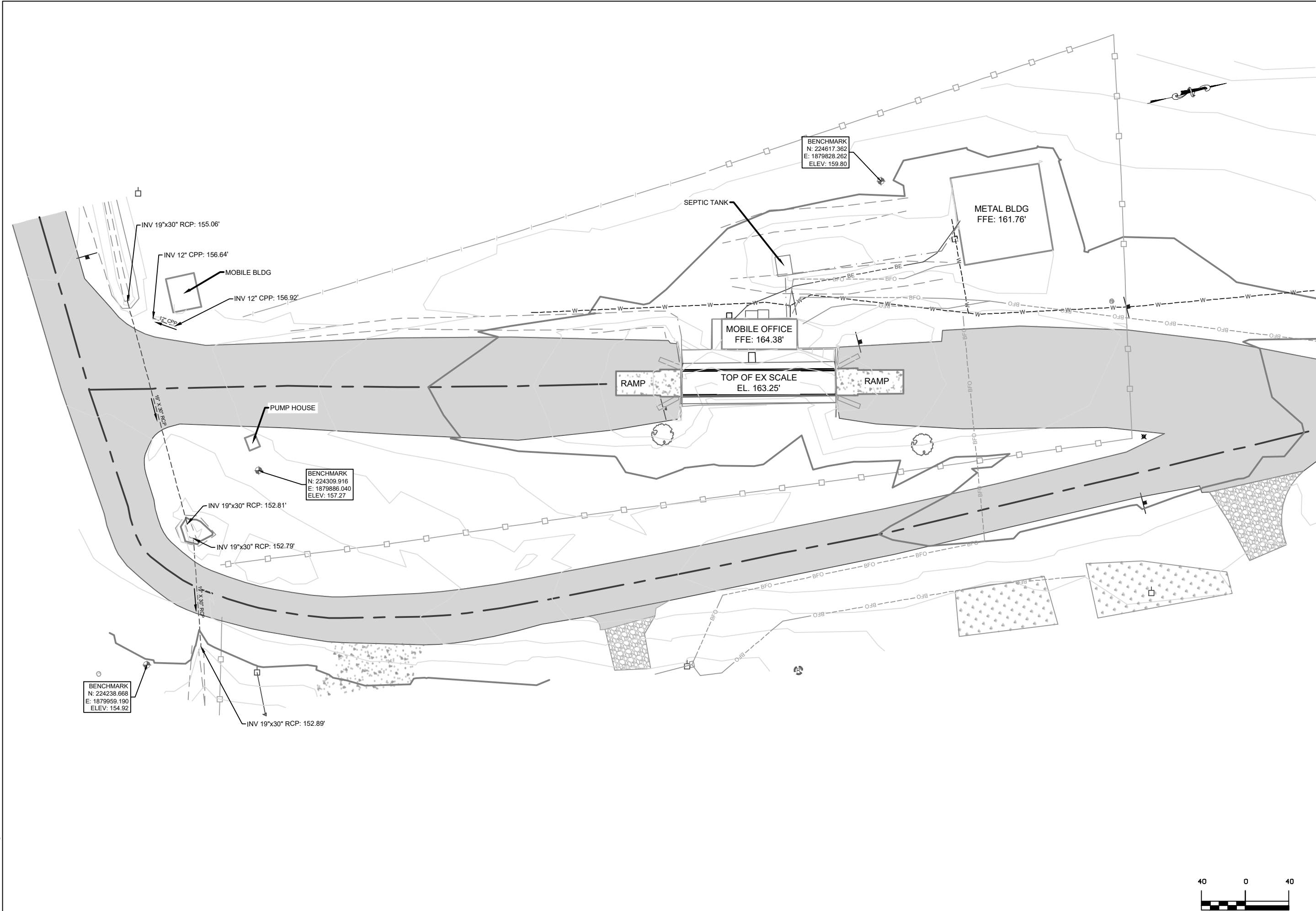
	EXISTING	REQUIRED
ASPHALT		
CONCRETE		
GRAVEL		
WOOD DECK		
AWNING		

LEGEND

	EXISTING	REQUIRED
POWER POLE		
LIGHT POLE		
ANCHOR		
STUB (POWER)		
TELEPHONE PEDESTAL		
TELEPHONE MANHOLE		
ELECTRIC METER.....		
A/C UNIT		
ELECTRIC TRANSFORMER		
SEWER MANHOLE		
SEWER CLEANOUT		
GAS VALVE		
GAS REGULATOR		
GAS METER		
IRON PIN FOUND		
BENCH MARK		
CONCRETE MARKER		
STORM MANHOLE		
AIR/ VACUUM VALVE		
WATER VALVE		
FIRE HYDRANT		
WATER METER		
SIGN		
MAILBOX		
TREES		
SPOT ELEVATION		

	EXISTING	REQUIRED
WATER LINE	-----W-----W-----	-----W-----W-----
BURIED ELECTRIC	-----BE-----BE-----	-----BE-----BE-----
BURIED FIBER OPTIC	-----BFO-----BFO-----	-----BFO-----BFO-----
BURIED TELECOM CABLE	-----BTC-----BTC-----	-----BTC-----BTC-----
FORCEMAIN	-----FM-----FM-----	-----FM-----FM-----
GAS LINE	-----G-----G-----	-----G-----G-----
OVERHEAD ELECTRIC	-----OE-----OE-----	-----OE-----OE-----
OVERHEAD TELECOM CABLE	-----OTC-----OTC-----	-----OTC-----OTC-----
SEWER LINE	-----SS-----SS-----	-----SS-----SS-----
PROPERTY LINE	-----PL-----PL-----	-----PL-----PL-----
RIGHT-OF-WAY	-----ROW-----	
STORM PIPE	-----STM-----STM-----	
CHAIN LINK FENCE	-----O-----O-----	-----O-----O-----
WOOD FENCE	-----[]-----[]-----	-----[]-----[]-----
BARBED WIRE FENCE	-----X-----X-----	-----X-----X-----
HOG WIRE FENCE	----- (X) ----- (X) ----- (X) -----	----- (X) ----- (X) ----- (X) -----
FLOW LINE	-----<<-----<<-----	-----<<-----<<-----<<-----
EROSION CONTROL	-----L-----L-----L-----	-----L-----L-----L-----
SILT FENCE	-----S-----S-----S-----	-----S-----S-----S-----
TO BE REMOVED		-----*-----*-----*-----*-----*-----
CONTOUR MAJOR	-----100-----	-----100-----
CONTOUR MINOR	-----99-----	-----99-----

C-301 - EX CONDITIONS.dwg





Engineering Environmental Answers
ANDALUSIA, AL
ALBANY, AL
AUBURN, AL
DOTHAN, AL
HUNTSVILLE, AL

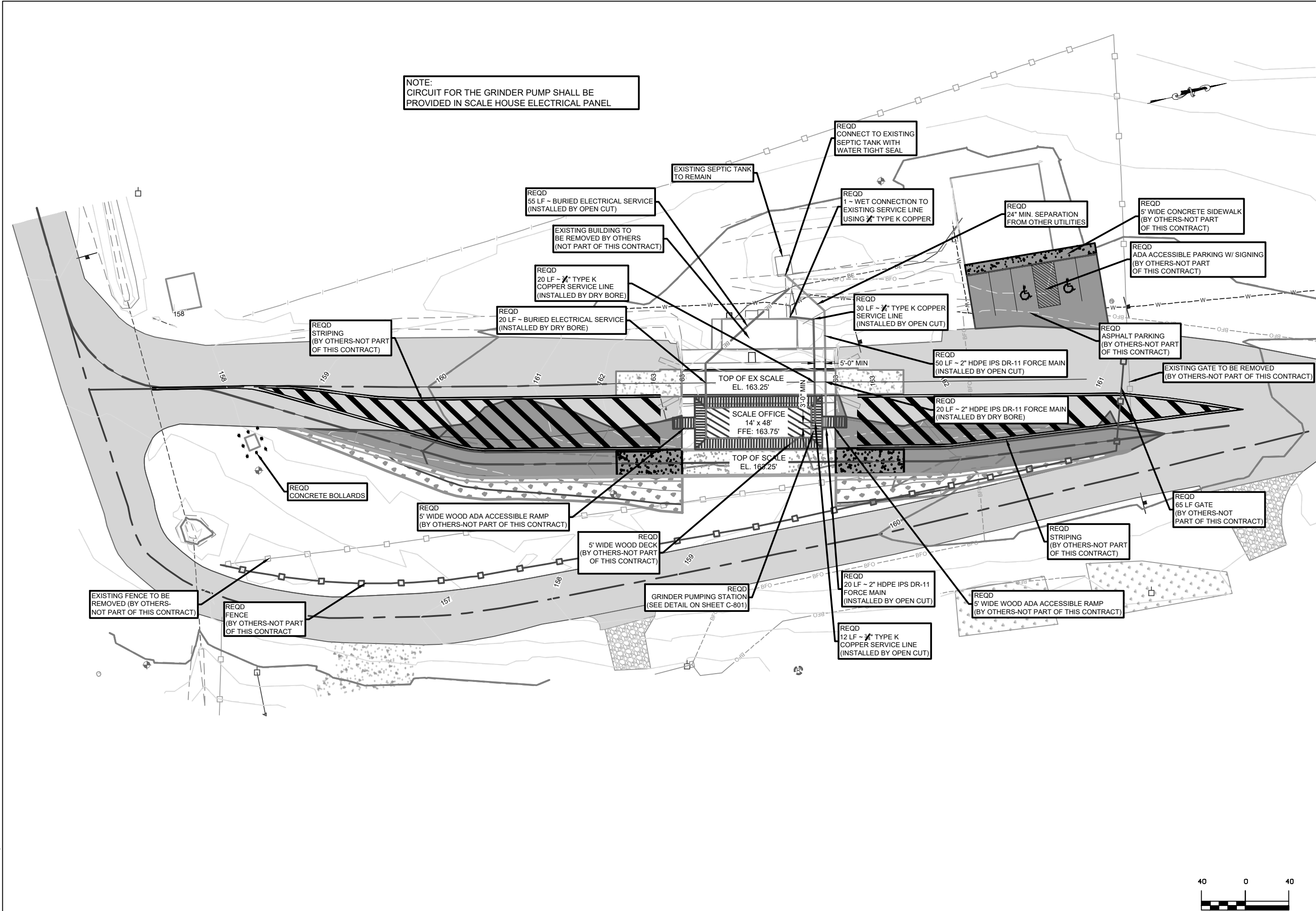
1840 EAST THREE NOTCH ST.
ANDALUSIA, AL 36421
P.O. BOX 278 (36420)
PH: (334) 222-9431

EXISTING CONDITIONS AND SITE CONTROL
MACBRIDE LANDFILL SCALEHOUSE
FOR BALDWIN COUNTY COMMISSION
LOXLEY, ALABAMA

DRAFT

SCALE:	AS SHOWN
DATE:	9/24/20
REVISED	
PROJECT NO:	R079319035
SHEET NO.	C-301

C-302 - SITE PLANS.dwg





Engineering Environmental Answers

1840 EAST THREE NOTCH ST.
ANDALUSIA, AL 36421

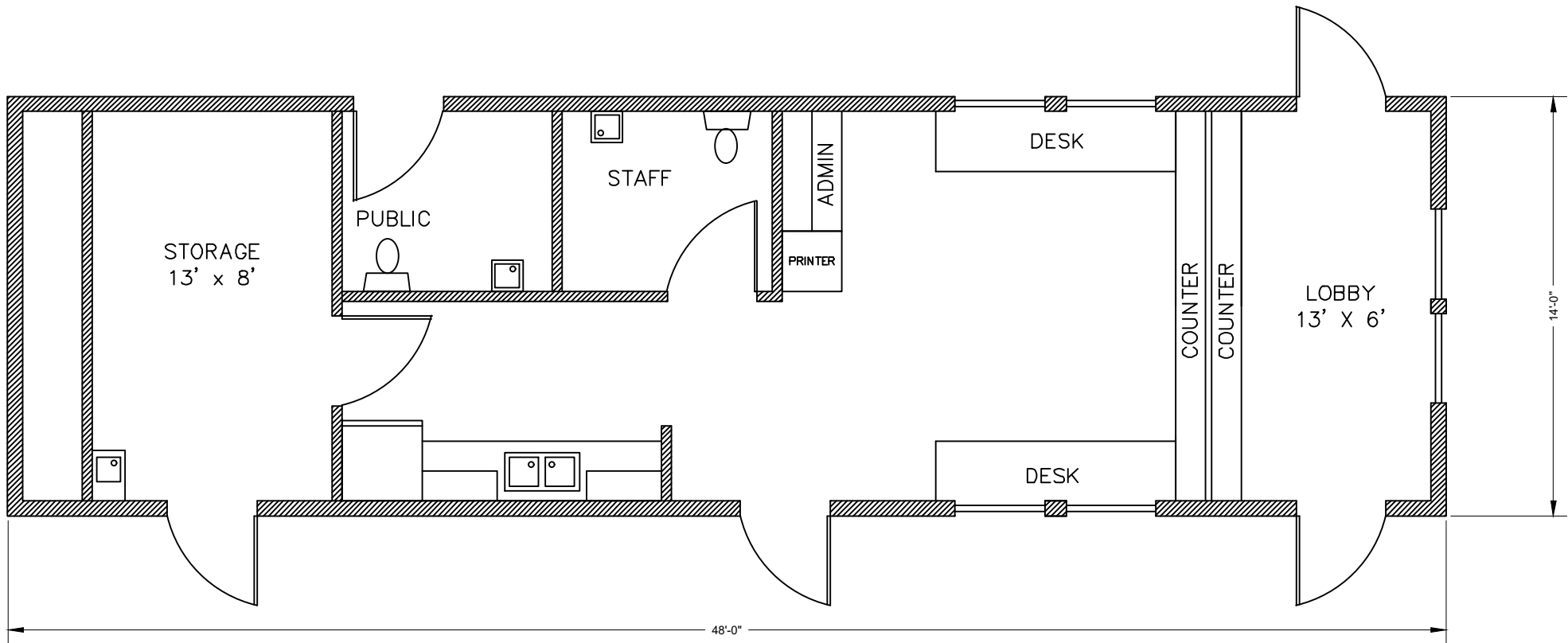
P.O. BOX 278 (36420)
ALBERTVILLE, AL 35950
AUBURN, AL 36830
DOTHAN, AL 36743

SITE CONSTRUCTION PLAN

MACBRIDE LANDFILL SCALEHOUSE
FOR BALDWIN COUNTY COMMISSION
LOXLEY, ALABAMA

DRAFT

SCALE:	AS SHOWN
DATE:	9/24/20
REVISED	
PROJECT NO:	R079319035
SHEET NO.	C-302



General 14' x 48' Scale office
672 square feet
Business occupancy
Alabama label, AMHC approval
International Building Code
MBI seal
Wind speed 150 MPH Vult
Roof load 5# Ground snow load

Frame 14' x 48' perimeter frame with 12" I beam
Removable hitch
8" steel floor joists at 16", welded inside of frame
(2) 6000# brake axles with 14 ply tires
(2) 6000# idler axles with 14 ply tires

Floor Woven nylon impregnated bottom board
R-30 Unfaced insulation
Two layers 5/8" tongue and groove plywood floor decking
LVT plank, 20 mil, choice of factory colors
4" rubber base cove throughout with pre-molded inside & outside corners
No floor covering or base cove in storage room

Walls Single top and single bottom steel track
2" x 4" steel joists @ 16" on center, 8' 6" interior wall
R-13 Unfaced insulation interior walls
2' x 6" steel joists @ 16" on center, 8' 6" exterior wall
R-21 Kraft faced exterior walls
½" gypsum, tape/mud/paint over ¼" hush board
3 coats of paint; primer and two finish coats
Fiberlite by Nudo FRP in restrooms, choice of colors
½" unfinished moisture resistant gypsum on storage room walls
(1) 36" x 36" pass thru window
Interior doors (2) 36" x 80" solid birch slab doors in bronze Redi-frame
(2) Door closers
(2) Privacy lever locks

Roof Gable roof with hip on front end, 3:12 pitch
8" overhang on all sides
26 gauge Hi-rib steel roofing
Steel trusses at 16" on center
5/8" plywood decking
2' x 2' suspended ceiling at 8' above finished floor
R-38 Unfaced insulation held up with netting

Plumbing (2) Single ADA restrooms
PEX supply lines
PVC waste, stub out below bottom board
(2) Wall hung sinks with mirror in stainless steel frame, Bobrick or equal
(2) Vinyl anti scald cover for trap & supply
(2) ADA toilet with Sloan flush valve, 3 grab bars
(1) 20 gallon water heater, Lo-Boy located under the cabinet
(1) Mop sink with legs and faucet located in storage room
(1) Double stainless steel sink with gooseneck faucet
(2) Stainless steel toilet paper dispensers, B 264
(2) Stainless steel paper towel dispensers, B 262
(2) Stainless steel waste receptacles, B 279
(2) Stainless steel soap dispensers, B 2111

Cabinets 12 Linear feet of high pressure laminate base cabinets and counter top
9 Linear feet of HPL overhead cabinets
16 Linear feet of HPL desktop with (4) grommets
26 Linear feet of HPL writing ledge at 44" AFF
(1) 4 x 4 plywood phone board with fire retardant paint
(1) Semi recessed fire extinguisher cabinet with 10# fire extinguisher

Electrical (1) 125 AMP, single phase
Copper romex wiring with MC in ceiling cavity only
20-AMP receptacles per code
(3) GFCI receptacles
(1) Dedicated receptacle for the refrigerator
(1) Exterior GFI with locking cover
(1) Heat tape receptacle under the building
(6) 2 x 4 junction boxes at 16" above finished floor with conduit stub outs
(2) Exit/emergency combo with remote heads
(8) 2' x 4' LED flat panel lights, 48 watt, 5070 lumens, 4000K in T grid
(6) Occupancy sensors
(5) LED porch lights with photocell (18W)

HVAC (1) 3 ton wall hung HVAC units with 10kw heat, dehumidification (11 EER)
(1) 7-day programmable thermostat with humidity control
Plenum wall
Galvanized metal duct supply and return
(2) 100 CFM vent fans

Exterior 5/8" plywood sheathing, full wrap
Moisture resistant house wrap, full perimeter
26 Gauge Hi-Rib steel siding and trim
(6) 36" x 48" fixed windows in bronze aluminum frame, Low E, insulated
(6) 2" faux blinds
(4) 36" x 80" Steel doors in steel jamb
(3) 6" x 30" wire mesh view blocks; storage room door is blank
(4) closers, keyed levers/deadbolt (all doors keyed alike)
Steel skirting or equivalent

Foundation Poured footers required per approved drawings by the factory engineer.
All footers shall be reinforced and inspected by the Alabama Manufactured Housing Commission prior to pouring cement.
There shall be at least 3 test cylinders, tested weekly after the pour or the contractor must wait 28 days per State code before setting the building. Once the cylinder breaks at 3,000 psi, the building may be set upon the footers. After the building is set, all piers must be mortared with cement in the cells of the piers.
There shall be a 3/8" weld plate embedded into the top of each piers.
The I beam frame of the building shall be welded to the weld plate on each pier.

Site Notes The site pad must be crowned or sloped so that storm water will not pond or flow under the building.
The site must have a 2000 lb. minimum soil compaction

Communication Number and locations to be determined.
Contractor to provide central location for access to all FCP internal connections for the purpose of connecting to external network and phone lines.
Cable drops for computer, phone and electrical systems are to be sufficiently accessible to allow future repairs, maintenance and expansion.
Ethernet and phone outlets (number and type outlet to be determined) are to be installed near electrical outlets, preferably within three feet.

OFFICE FLOORPLAN AND SPECIFICATIONS
MACBRIDE LANDFILL SCALEHOUSE
FOR BALDWIN COUNTY COMMISSION
LOXLEY, ALABAMA

DRAFT

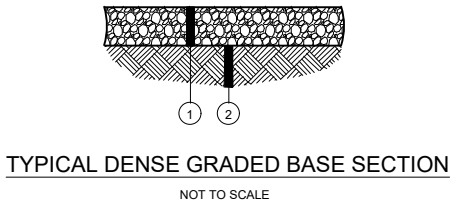
SCALE: AS SHOWN

DATE: 9/24/20

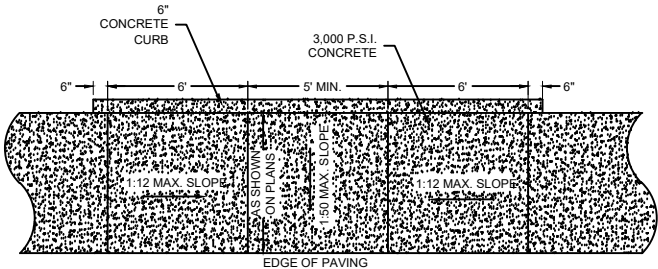
REVISED

PROJECT NO: R079319035

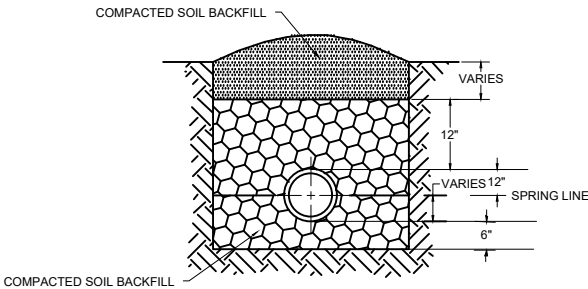
SHEET NO. C-501



1. CRUSHED AGGREGATE BASE COURSE, ALDOT 825, TYPE B, 6" COMPACTED THICKNESS, AS PER ALDOT SSHC 2012 OR LATER
2. SUB-GRADE (SUB-GRADE (COMPACTED TO 98% STANDARD PROCTOR)
- (BY OTHERS-NOT PART OF THIS CONTRACT)



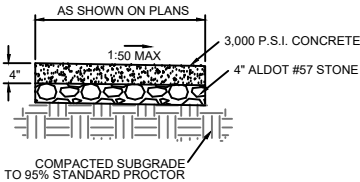
- NOTES:
1. CROSS SLOPE SHALL NOT EXCEED 2% IN ANY DIRECTION.
2. 24" WARNING STRIPS SHALL BE INSTALLED AT EACH RAMP.
- ADA ACCESSIBLE RAMP**
- NOT TO SCALE
- (BY OTHERS-NOT PART OF THIS CONTRACT)



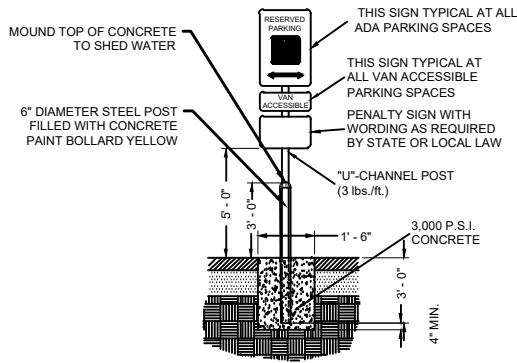
EMBEDMENT REQUIREMENTS

NOT TO SCALE

(BY OTHERS-NOT PART OF THIS CONTRACT)



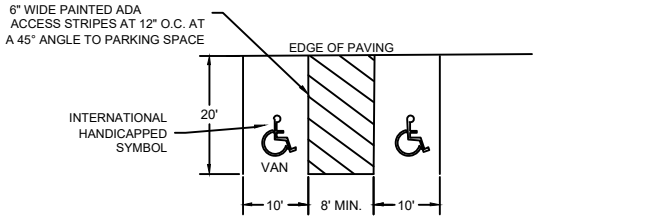
- NOTES:
1. CUT 1/2" TRANSVERSE DUMMY JOINTS AT 6'-0" O.C.
2. EXPANSION JOINTS REQUIRED AT 30' O.C.
- CONCRETE SIDEWALK**
- NOT TO SCALE
- (BY OTHERS-NOT PART OF THIS CONTRACT)



ADA SIGNAGE W/ BOLLARD

NOT TO SCALE

(BY OTHERS-NOT PART OF THIS CONTRACT)

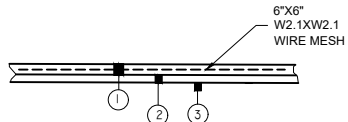


- NOTES:
1. ALL PARKING LOT STRIPING TO BE TRAFFIC BEARING PAINT.
2. ALL PARKING LOT STRIPING SHALL RECEIVE TWO COATS OF TRAFFIC PAINT.
3. PAINT COLOR TO BE GLIDDEN BOLLARD BLUE #61803 OR APPROVED ALTERNATIVE BY ENGINEER
4. ALL PARKING LOT STRIPING TO BE A MIN. OF 4" WIDE UNLESS OTHERWISE NOTED.

TYPICAL STRIPING DETAILS

NOT TO SCALE

(BY OTHERS-NOT PART OF THIS CONTRACT)

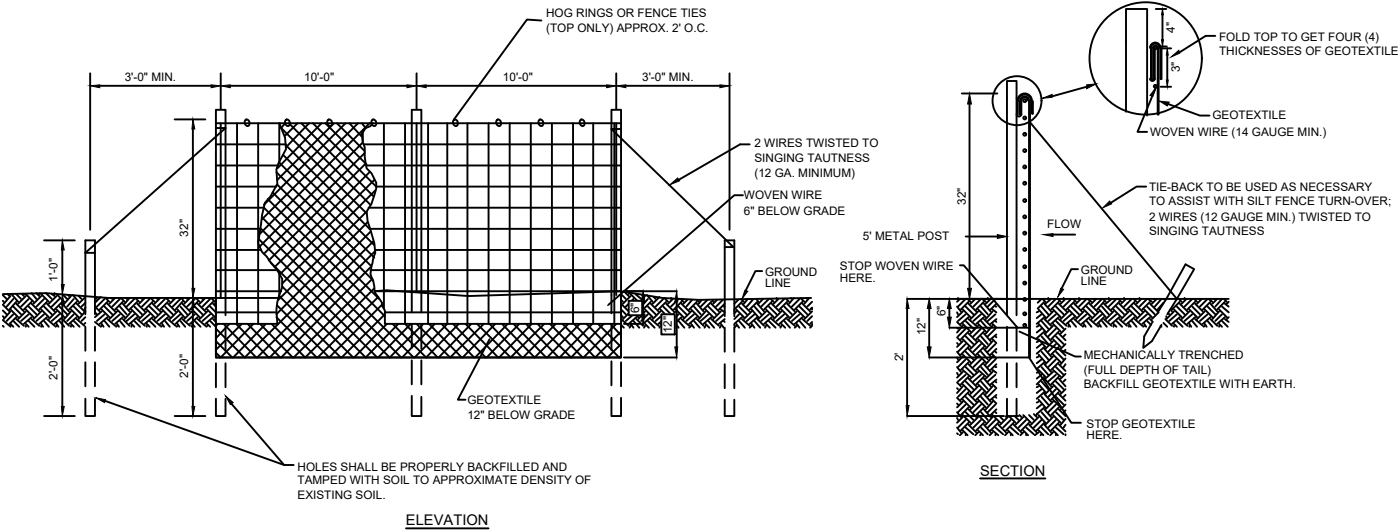


1. CONCRETE PAVEMENT (4,000 P.S.I.), 5" THICK, WITH 10' JOINTS
2. CRUSHED AGGREGATE BASE COURSE, ALDOT 825, TYPE B, 6" COMPACTED THICKNESS
3. SUB-GRADE (COMPACTED TO 98% STANDARD PROCTOR)

TYPICAL LIGHT DUTY CONCRETE PAVING SECTION

NOT TO SCALE

(BY OTHERS-NOT PART OF THIS CONTRACT)

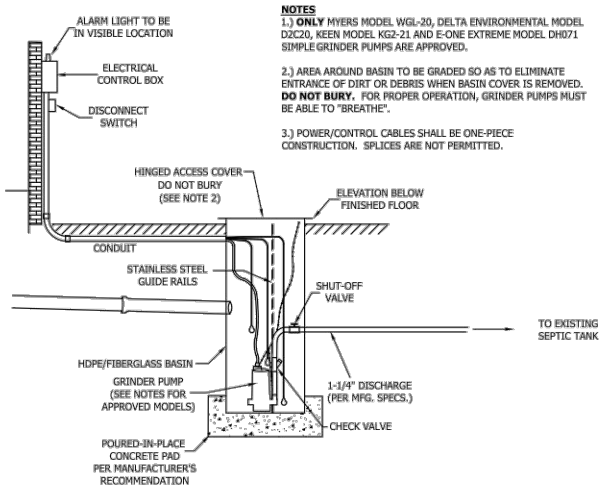


TYPE "A" SILT FENCE SEDIMENT BARRIER DETAIL

NOT TO SCALE

(BY OTHERS-NOT PART OF THIS CONTRACT)

- GENERAL NOTES:
1. SILT FENCE IS A TEMPORARY EROSION CONTROL ITEMS THAT SHALL BE ERECTED OPPOSITE ERODIBLE AREAS SUCH AS NEWLY GRADED FILL SLOPES AND ADJACENT TO STREAMS, CHANNELS, STREETS, CURBS, ETC.
2. SILT FENCE SHOULD BE PLACED WELL INSIDE CLEARING LIMITS. THIS WILL ALLOW ROOM FOR A BACK-UP FENCE IF FIRST BECOMES FULL. SILT FENCES SHALL BE IN PLACE PRIOR TO ANY CONSTRUCTION OPERATION.
3. WHEREVER POSSIBLE, SILT FENCES SHALL BE CONSTRUCTED ACROSS A FLAT AREA IN THE SHAPE OF A HORSESHOE. THIS AIDS IN PONDING OF RUNOFF AND FACILITATES SEDIMENTATION.
4. SILT FENCE SHALL BE FASTENED TO UPSTREAM SIDE OF POST & WIRE BY HOG RINGS OR FENCE TIES. (17 GAUGE MIN.)
5. REMOVE SEDIMENT DEPOSITS WHEN THEY REACH A DEPTH OF 15" OR 1/2 THE HEIGHT OF THE FENCE AS INSTALLED TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN EVENT AND TO REDUCE PRESSURE ON THE FENCE
6. SHOULD THE SILT FENCE BECOME DAMAGED OR OTHERWISE INEFFECTIVE WHILE THE BARRIER IS STILL NECESSARY, IT SHALL BE REPAIRED PROMPTLY WITH A NEW SECTION OF FILTER OVERLAPPING A MINIMUM OF 12 INCHES ON EACH SIDE OF A BREAK.
7. AFTER THE CONSTRUCTION AREA IS STABILIZED AND EROSION ACTIVITY CURTAILED, SILT FENCES SHALL BE REMOVED AND THE DISTURBED AREA FROM REMOVAL SHALL BE GRASSED TO STABILIZE.



GRINDER PUMP

NOT TO SCALE